

PLANNING DEPARTMENT STAFF ANALYSIS DEVELOPMENT MASTER PLAN

DATE February 14, 2022

CASE NO. 2022-0017

APPLICANT Glacier City Development, LLC

REPRESENTATIVE Z Architects

REQUEST Development Master Plan for Glacier City Center

LOCATION Tract E3, Girdwood Elementary School Subdivision

COMMUNITY COUNCILS Girdwood Board of Supervisors

TAX NUMBER 075-031-41

GRID SE4715

ATTACHMENTS

1. Maps
2. Application
3. Reviewing Agency & Public Comments
4. Affidavit of Posting

RECOMMENDATION SUMMARY Approve with conditions

SITE

Area: ±1.5 acres (65,512 square feet)

Vegetation: Mostly cleared, some trees near property lines

Zoning: gC-8 New Townsite North Commercial

Existing Use: Vacant

Topography: Generally flat

Utilities: No public water and wastewater

COMPREHENSIVE PLAN

Classification: "Commercial" per the *1995 Girdwood Area Plan*

SURROUNDING AREA

	<u>NORTH</u>	<u>EAST</u>	<u>SOUTH</u>	<u>WEST</u>
Zoning:	gC-6	gC-6	gC-8	GOS
	Crow Creek Road Commercial/ Residential	Crow Creek Road Commercial/ Residential	New Townsite North Commercial	Girdwood Open Space

	<u>NORTH</u>	<u>EAST</u>	<u>SOUTH</u>	<u>WEST</u>
Land Use:	Commercial/ Residential	Commercial/ Residential	Commercial, Parks	Open Space

BACKGROUND AND REQUEST

This is a request for approval of a Development Master Plan for Glacier City Center. Glacier City Center is proposed to be a horizontal mixed-use development with ten townhouse-style multifamily dwelling units (totaling 19,440 square feet) and a commercial building (totaling 8,886 square feet). The site plan shows the condominiums towards the western side of the tract towards California Creek and the commercial building at the southeast corner of the tract to face Hightower Road and the post office. The multifamily condominiums would each be two-bedroom units with a garage on the first story, living space on the second story, a smaller front deck, and a larger back deck facing California Creek. There would be five units in two adjacent buildings. The commercial building is anticipated to have a craft microdistillery, sandwich shop, and coffee shop. Construction would be done in two phases, with the residential condominiums built before the commercial building.

Plat 95-35 outlines property boundaries and easements for the tract. The proposed condominiums near the western property boundary extend within the 25-foot building setback easement, 20-foot telecommunications easement, and 8-foot electrical easement shown on Plat 95-35. A 200-foot well site reserve radius shown on Plat 95-35 was reduced prior to the construction of the post office south of the subject site and no longer applies to this tract. The application narrative also mentions a stream protection easement to be vacated, but the petitioner confirmed this will not be necessary after additional verification of the easement location with the Municipality. It is recommended a condition of approval for the Development Master Plan be that the 25-foot building setback easement shown on Plat 95-35 be vacated, and the 20-foot telecommunications easement and 8-foot electrical easement shown on Plat 95-35 be vacated or realigned such that no buildings are constructed within the easements. The changes to the easements would be done through a separate platting action and do not need to be explicitly approved with the Development Master Plan.

The microdistillery falls into the use category of a bar or tavern following Director's Policy 2017-02 (as amended). The sandwich shop would fall into the use category of a restaurant. The application narrative groups the square footage of the bar or tavern use and the restaurant use together to be 8,800 square feet and calls it commercial space. There is not a required municipal review for commercial space. However, Table 21.09-2 for allowed uses in Girdwood requires an administrative site plan review for gross floor areas between 2,000 and 4,000 square feet and a major site plan review for gross floor areas between 4,000 and 10,000 square feet for the uses of bar or tavern, brewpub, and restaurant. *Anchorage Municipal Code (AMC) 21.01.060A. Conflicting Provisions – Conflict with Other Public Laws, Ordinances, Regulations, or Permits* reads as follows: *Where conditions, standards, or requirements imposed by any provision of this title are either more restrictive or less restrictive than comparable standards imposed by any other public law, ordinance, or regulation, the provisions that are more restrictive or that impose higher standards or requirements shall govern.* The Development Master Plan review is more restrictive than a site plan review and will be

the provision that applies. Approval of the Development Master Plan would serve as approval for the proposed uses in the commercial building.

Anchorage Municipal Code (AMC) 21.09.030F. outlines administrative and review procedures for development master planning. A development master plan may be developed for any multi-building development in Girdwood. Title 21 describes a development master plan as intended to shape and manage future growth of a site and provide certainty to the community with a clearly articulated vision for site development that results in met or exceeded Title 21 standards. AMC 21.09.030F.4. describes how a development master plan may set different standards (design alternatives) than those required in Title 21:

21.09.030F.4. Development and design standards. The development master plan shall establish specific circulation systems; land uses; site dimensional, design, and development standards; and building design standards for its development areas. These elements may set different development standards than those found in Title 21 including Sections 21.09.060, 21.09.070, and 21.09.080. The development master plan shall list the specific sections of Title 21 for which different standards are to be established. Where different standards are approved in the development master plan, those standards shall be applied instead of the corresponding standards in Title 21.

Six design alternatives are listed in the application narrative for the Development Master Plan. The design alternatives are analyzed in detail under review criterion g. that covers design standards. In summary, the six proposed design alternatives include cover the following sub-sections of Chapter 9 in Title 21:

- *21.09.040 Zoning Districts* – Design alternatives are proposed from standards required for the gC-8 District. Residential uses would be on the upper and lower stories; there would not an arcade for the condominiums; and a roof overhang would extend into the side setback for the commercial building.
- *21.09.060 Dimensional Standards* – Condominiums would exceed the maximum front setback.
- *21.09.080 Dimensional Standards* – Commercial building roof pitch and commercial building eastern wall scale/size would deviate from requirements.

COMMUNITY COMMENTS

On January 21, 2022, the Planning Department mailed out 239 public hearing notices in accordance with the procedures of AMC 21.03.020H. As of this writing, one comment was submitted online to the Planning Department. The commenter was concerned about noise from construction and from the proposed deck of the commercial building facing Hightower Road. The commenter was also concerned about noise from people at the microdistillery after 8pm.

A public hearing notice was also mailed to the Girdwood Board of Supervisors. The Girdwood Board of Supervisors passed and approved Resolution 2022-01 in support of the Glacier City Center Development Master Plan. The resolution noted support for the following design alternatives: horizontal mixed use instead of vertical mixed use, no

continuous roofed walkway for residences, covered walkway with 4-foot overhang on south wall of commercial building, residential buildings exceeding the maximum front yard setback, a continuous wall of the commercial building longer than 42 feet, and a shallower roof pitch design to hold the snow load. In addition, the developer agreed to reduce the deck depth on the second floor of the commercial building from 12 feet to 8 feet and limit its use to between 8am and 8pm in response to neighbor concerns about noise.

DEPARTMENT COMMENTS

Department comments are included in Attachment 3. Summaries of the comments by department are in the bullets that follow:

Traffic Engineering

Traffic Engineering recommends the site plan be revised and resubmitted due to the following compliance issues with Title 21:

- Reduce number of driveway connections to Hightower Road from two to one.
- Proposed development deviates from AMC 21.09.070F.4. Townsite Commercial Area Streets with no off-site improvements. Either request appropriate variances or require improvements, including placement of sidewalk within municipal right-of-way as required by AMC 21.07 and 21.09. Traffic Engineering recommends installation of sidewalk and extension of existing curb and gutter along property frontage.
- Additional information on existing street lighting levels needs to be provided to determine if street lighting will be required for the section of Hightower Road that has frontage along this parcel.
- Provide analysis to determine if 14-foot poles are sufficient for exterior parking space lighting for commercial portion of the development.
- Sheet L1.0 shows required landscaping is located in existing municipal right-of-way, which is not allowed by municipal code. Move landscaping to property.
- Revise architectural and civil site plans to provide adequate details for a complete review of compliance with AMC 21.07 design standards, including dimensions of driveways, circulation, and parking spaces as well as grade information for parking lot and sidewalk.
- Provide adequate details to show compliance with the American with Disability Act to include grade, dimensions, signage, and striping.
- Provide adequate details on bicycle parking to show if there is enough square footage and that the location is within the required distance from the main entrance as required in AMC 21.07.09K.
- Record a parking agreement as a condition of approval.

Private Development

Recommends approval if the following issues are addressed:

- Development plan shows insufficient driveway separation.
- Submit comprehensive grading and drainage plan and storm water management report.
- Construct curb, gutter, and sidewalk on the west side of Hightower Road, fully fronting and adjacent to the subject property.
- Enter into an Improvement to Public Place agreement with Private Development for Hightower Road improvements.

Anchorage Health Department

Meet AMC 15,70 noise level requirements, particularly during construction and at property line limits. Reminder to contact Anchorage Health Department/Food Safety & Sanitation for plan review and health permitting as necessary for commercial businesses on premises.

Addressing

Address posting will be required in two locations. One posting is required at the driveway entrance off Hightower Road showing the range of addresses in the following format: "House Number-House Number Hightower Road" with a minimum of 8-inch letters/numbers. Individual addresses posted for each unit at the front door are also required.

Right of Way

No comment and no objection.

Anchorage Water & Wastewater Utility (AWWU)

No comment and no objection to Development Master Plan, with notes that AWWU water is not available to the tract and AWWU sanitary sewer is available to the tract.

State of Alaska Department of Public Safety

Requires review by Alaska State Fire Marshal since the multi-family structure is four or more dwelling units and there is also a commercial building.

APPROVAL CRITERIA

A development master plan may be approved if the Planning and Zoning Commission finds all of the following criteria have been met:

- a. **The development master plan substantially conforms to the principles and objectives of the Girdwood Area Plan, any approved neighborhood, district, or area plans, and the general purposes of this chapter, as stated in section 21.09.010;**

This criterion is met with conditions of approval.

The *Girdwood Area Plan* has four broad goals with general policies/strategies. The proposed development is pertinent to the following goals and policies/strategies:

- 1) *GOAL: Perpetuate Girdwood's Small-Town Atmosphere¹*
 - a. *Expand the town core as a commercial and community center.*
The site of the Development Master Plan is within the New Girdwood Townsite. The project will expand the town core.
 - b. *Reduce vehicular congestion through efficient land use, local circulation patterns, and adequate parking.*

¹ Goals and policies/strategies are on page 35 in Chapter 5 of the *Girdwood Area Plan*.

Glacier City Center will make use of parking spaces in a nearby community lot in addition to on-site parking spaces to meet parking requirements as allowed by Title 21 within the gC-8 District. This is an efficient land use and will help reduce vehicular congestion at the site. There are still an adequate number of parking spaces proposed to be located on the site. The approval conditions will ensure a public sidewalk remains in the right-of-way and provides a safe pedestrian connection to the existing sidewalk network. The development will be located along the Glacier Valley Transit public transportation route, which could potentially also reduce vehicular congestion in accessing the site.

2) *GOAL: Preserve Girdwood's Natural Environment.*

a. *Avoid placement of buildings intended for human occupancy in natural hazard areas.*

The buildings will be located in accordance with required stream setbacks for California Creek. They are not in avalanche hazard areas or wetlands.

This parcel is classified as "Commercial" in the *1995 Girdwood Area Plan*. The classification is for areas already substantially developed for commercial purpose and expected to remain so and for vacant areas best suited for commercial development. Commercial areas are still identified as allowing residential units as a secondary use to commercial uses. The proposed mixed-use development aligns with the commercial land use category classification.

b. **The streets, roads, and other transportation elements are in conformance with applicable transportation plans;**

This criterion is met with conditions of approval.

Hightower Road runs along the eastern edge of the tract. The *2014 Official Streets and Highways Plan (OS&HP)* identifies Hightower Road as a Class IA Commercial/Industrial Collector. Collectors are intended to serve between 2,000 and 10,000 daily vehicle trips, and Hightower Road will be able to accommodate the intended vehicular traffic generated by the development. Guidelines for collector streets in the *OS&HP* are to limit driveway access and to provide pedestrian amenities. The approval conditions will reduce access to Hightower Road from two driveways to one driveway will locate a sidewalk in the right-of-way connecting to the existing sidewalk network. These conditions bring the development in conformity with the *OS&HP*.

The undeveloped right-of-way for California Creek Way is dedicated along the northern edge of the tract. The *OS&HP* categorizes this segment of California Creek Way as a Class IA Commercial/Industrial Collector. No improvements are recommended for California Creek Way at this time.

An organizing concept for the New Girdwood Townsite in the *Girdwood Commercial Areas and Transportation Master Plan* is the development of Hightower Road as a real main street for Girdwood. The project will further this concept and the conditions of approval for barrier curb, gutter, and sidewalk within the right-of-way brings the project into alignment with furthering the main street development of Hightower Road.

The Tiny Creek Trail (California Creek Trail) running adjacent to this tract is identified in the *Crow Creek Neighborhood Land Use Plan*. This trail is on a neighboring tract and will not be affected by this development. The boundaries of the *Crow Creek Neighborhood Land Use Plan* do not contain the subject site. There are no anticipated conflicts with the draft *Girdwood Trails Plan*.

c. The development has no substantial adverse fiscal impact on the municipality.

This criterion is met with conditions of approval.

This project is funded entirely by private developers. The Municipality will not bear any financial burden from its development. Conditions of approval for the Glacier City Center Development Master Plan are for the petitioner to install curb, gutter, and sidewalk within the right-of-way adjacent to the full-length of the property line along Hightower Road, provide analysis for street lighting, and to enter into an Improvement to Public Place (IPP) agreement. These conditions will prevent excess municipal funds from being spent improvements expected and required to be put in place by developers.

d. The development provides significant community benefits in terms of design, community facilities, open space, and other community amenities.

This criterion is met with conditions of approval.

The facility design and materials are in keeping with the desired natural aesthetic of the Girdwood community. The narrative in the application mentions the project goal of bringing more housing into the New Girdwood Townsite. Additional housing units will have benefits for the Girdwood community. The proposed commercial building will also provide a missing service for event space in Girdwood. The conditions of approval to locate the sidewalk in the right-of-way and install barrier curb and gutter along Hightower Road will provide safe public sidewalk facilities.

e. The development minimizes any potential adverse impacts to surrounding residential areas to the maximum extent feasible.

This criterion is met with conditions of approval.

The subject tract is within the gC-8 District. Adjacent parcels are in commercial or open space districts, but the property across Hightower Road to the east has condominiums. The petitioner has communicated with the Girdwood

community and is considering the final designs for lighting and landscaping with the neighboring condominiums in mind. The developer agreed to reduce the deck depth on the second floor of the commercial building from 12 feet to 8 feet and limit its use to between 8am and 8pm in response to neighbor concerns about noise. The application narrative discusses the plan for phased development of Glacier City Center with attention to minimizing road closures and construction noise. The project will submit a Storm Water Pollution Prevention Plan.

- f. **Sufficient public safety, transportation, and utility facilities and services are available to serve the subject property at the proposed level of development, while maintaining sufficient levels of service to existing and anticipated development in the surrounding areas.**

This criterion is met with conditions of approval.

The parcel is within the Girdwood Valley Service Area for Police and Fire. Electrical power and sanitary sewer serve the site. A water main beneath Hightower Road will serve the proposed development. The level of development is anticipated to be met with these utilities and the petitioner stated in their narrative that they would work with utility providers to meet their requirements. Fixed-route public transportation is available from the petitioning site via Glacier Valley Transit. The route for Glacier Valley Transit goes along Hightower Road from the Community Center and Downtown past the petitioning site on to Girdwood Elementary.

The conditions of approval to locate the sidewalk in the right-of-way and install barrier curb and gutter along Hightower Road will address transportation and safety services and bring them to sufficient levels. A condition of approval also requires the vacation or relocation of utility easements where they are in conflict with the location of proposed buildings. Amending the easements through a separate platting action will meet this development master plan review criterion.

- g. **The design standards are equivalent to or exceed the generally applicable development standards of sections 21.09.060, .070, and .080, and result in high quality, environmentally sensitive development in keeping with the *Girdwood Area Plan*, the intent of this chapter, and the character of Girdwood.**

This criterion is met with conditions of approval.

Table 1 on the following page summarizes six proposed design alternatives in the Glacier City Development Master Plan that deviate from Title 21 requirements. The petitioner may request design alternatives in accordance with development master plan procedures. The Girdwood Board of Supervisors passed and approved Resolution 2022-01 in support of the Glacier City Center Development Master Plan, inclusive of all of the proposed design alternatives. The design alternatives address community concerns and result in high quality

development. The design alternatives are equivalent to or exceed the generally applicable development standards in Chapter 9 of Title 21.

Table 1. Design Alternatives in the Glacier City Center Development Master Plan

Code Citation	Requirement	Alternative
21.09.040C.3.a.	Residential uses permitted only on upper story above commercial ground floor in gc-8 District.	Residential uses on upper story and on ground floor for the proposed condominiums. The proposed design is private residential garages on the ground floor and private living space on upper story. The development still provides mixed-use in a horizontal configuration instead of a vertical configuration.
21.09.040C.3.b.	Arcades and roofed walkways required along the street face of new buildings.	An arcade is provided for the commercial building. The multifamily dwelling units do not have an arcade.
21.09.040C.3.c.iv	Roof overhangs shall not project more than 2 feet into a setback area.	A roof overhang projects 4 feet into side setback south of the commercial building and provides a roof for the pedestrian walkway.
21.09.060B., Table 21.09-2	Maximum front setback of 20 feet, minimum front setback 16 feet.	The commercial building meets this standard. The residential condominiums are proposed to exceed maximum 20-foot setback from front property line. This configuration lends more privacy to the residential units and will help address concerns from the existing condominiums across Hightower Road.
21.09.080F.2.d.	Commercial building standard, Scale and size: No wall shall be longer than 42 feet without a change or alternation in alignment.	The eastern wall of the commercial building along Hightower Road is approximately 67 feet long. This wall is proposed to have large windows to mitigate the building mass for pedestrians.
21.09.080F.3.a.	Commercial building standard, Roof form, Pitch: Pitch for primary roof structure between 8:12 and 12:12, but may be as shallow as 5:12.	The commercial building roof pitch proposed to be 2:12 for snow safety and a cohesive look with condominiums. The new Girdwood Clinic has a similar roof slope.

While a development master plan may propose design alternatives, the development standards in Title 21 must still be met if an alternative to them is not proposed. The gC-8 District intent in Title 21 describes a strong relationship to the street and a human scale for the new townsite core. AMC 21.09.040F.4. gives requirements for townsite commercial area streets, which shall have a paved sidewalk of seven feet or greater, individual driveways and curbs cuts discouraged, and curb and gutter provided where practicable. The additional required analysis or changes to the site design in the recommended conditions of approval for will bring the project into compliance with applicable development standards in Title 21. The conditions of approval address requirements for curb, gutter, and sidewalk for Hightower Road, driveway connections to Hightower Road, landscaping, site lighting, street lighting, drainage, parking lot circulation and space dimensions, bicycle parking design requirements, ADA requirements, utility easements, and fire safety.

The site meets requirements in Table 21.09-10 for minimum vegetation coverage on the property and removing landscaping shown in the right-of-way for the Development Master Plan is a condition of approval. AMC 21.09.070L.2. allows non-residential uses within the gC-8 District to have required parking located off-site in a community parking facility within 600 feet of the property under a municipal parking agreement. Recording this parking agreement is a recommended condition of approval. The community parking facility within 600 feet of the site along with the proposed on-site parking spaces will meet requirements in Title 21.

The conditions of approval addressing the Hightower Road right-of-way improvements are in keeping with the *Girdwood Area Plan*, the intent of Chapter 9 of Title 21, and the character of Girdwood. The building locations on the site are the required construction distances from California Creek. The design is sensitive to environmental conditions of the site.

DEPARTMENT RECOMMENDATION

The Department recommends approval of the Glacier City Center Development Master Plan, subject to the following conditions of approval:

1. The Development Master Plan shall be substantially in compliance with the petitioner's application, narrative, submittals, and the plans on file at the Planning Department, except as modified by these conditions of approval.
2. A notice of zoning action shall be filed with the State of Alaska Recorder's Office before operation of the establishment.
3. Amend the Development Master Plan to show barrier curb, gutter, and sidewalk within the right-of-way adjacent to the full-length of the property line along Hightower Road.
4. Remove landscaping shown within the right-of-way.
5. Reduce the number of driveway connections to Hightower Road from two driveways to one driveway.
6. Vacate the 25-foot building setback easement and vacate or realign the 20-foot telecommunications easement and 8-foot electrical easement on Plat 95-35 where in conflict with proposed structures near the western property line through a separate platting action.
7. Resolve with Traffic Engineering the following:
 - a. Provide additional information on existing street lighting levels to determine if additional street lighting will be required for the section of Hightower Road that has frontage along this parcel.

- b. Provide analysis to determine if 14-foot poles are sufficient for exterior parking space lighting for the commercial portion of the development.
 - c. Revise architectural and civil site plans to provide adequate details for a complete review of compliance with AMC 21.07 design standards, including dimensions of driveways, circulation, and parking spaces as well as grade information for the parking lot and sidewalk.
 - d. Provide adequate details to show compliance with the American with Disabilities Act, to include grade, dimensions, signage, and striping.
 - e. Provide adequate details on the bicycle parking spaces to show if the square footage of the spaces and their location on the site meet requirements of bicycle parking spaces in AMC 21.07.09K.
 - f. Record a parking agreement.
8. Resolve with Private Development the following:
- a. Submit comprehensive grading and drainage plan and storm water management report.
 - b. Enter into an Improvement to Public Place agreement for Hightower Road improvements.
9. Obtain review by Alaska Fire Marshal.


Advisory Comments:

Contact Anchorage Health Department/Food Safety & Sanitation for plan review and health permitting as necessary for commercial businesses on the premises.

Meet AMC 15.70 noise level requirements, particularly during construction and at property line limits.

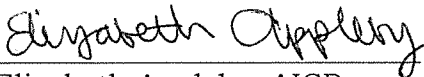
Address posting will be required in two locations. One posting is required at the driveway entrance off Hightower Road showing the range of addresses in the following format: "House Number-House Number Hightower Road" with a minimum of 8-inch letters/numbers. Individual addresses posted for each unit at the front door are also required.

Reviewed by:



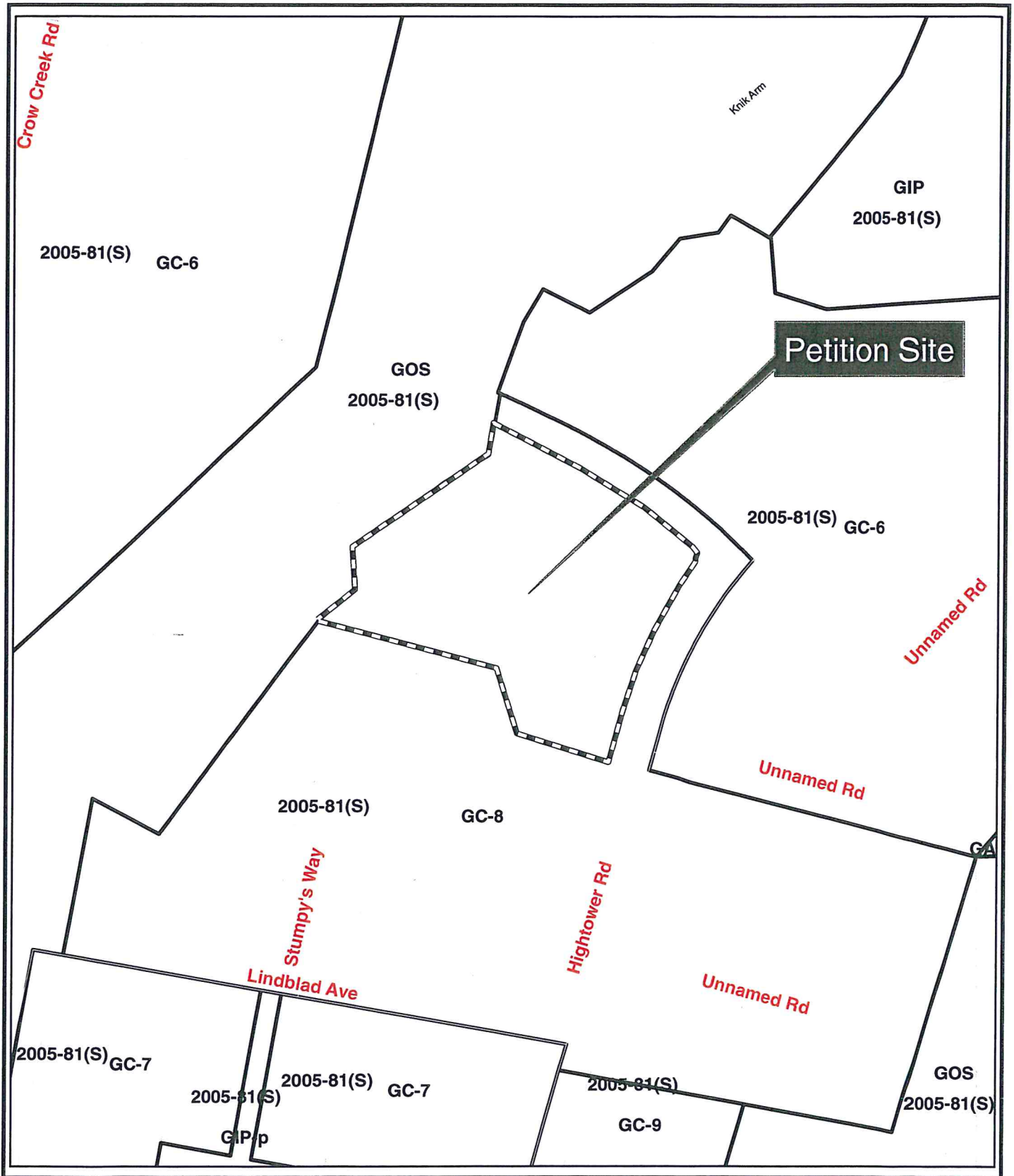
Craig Lyon
Director

Prepared by:

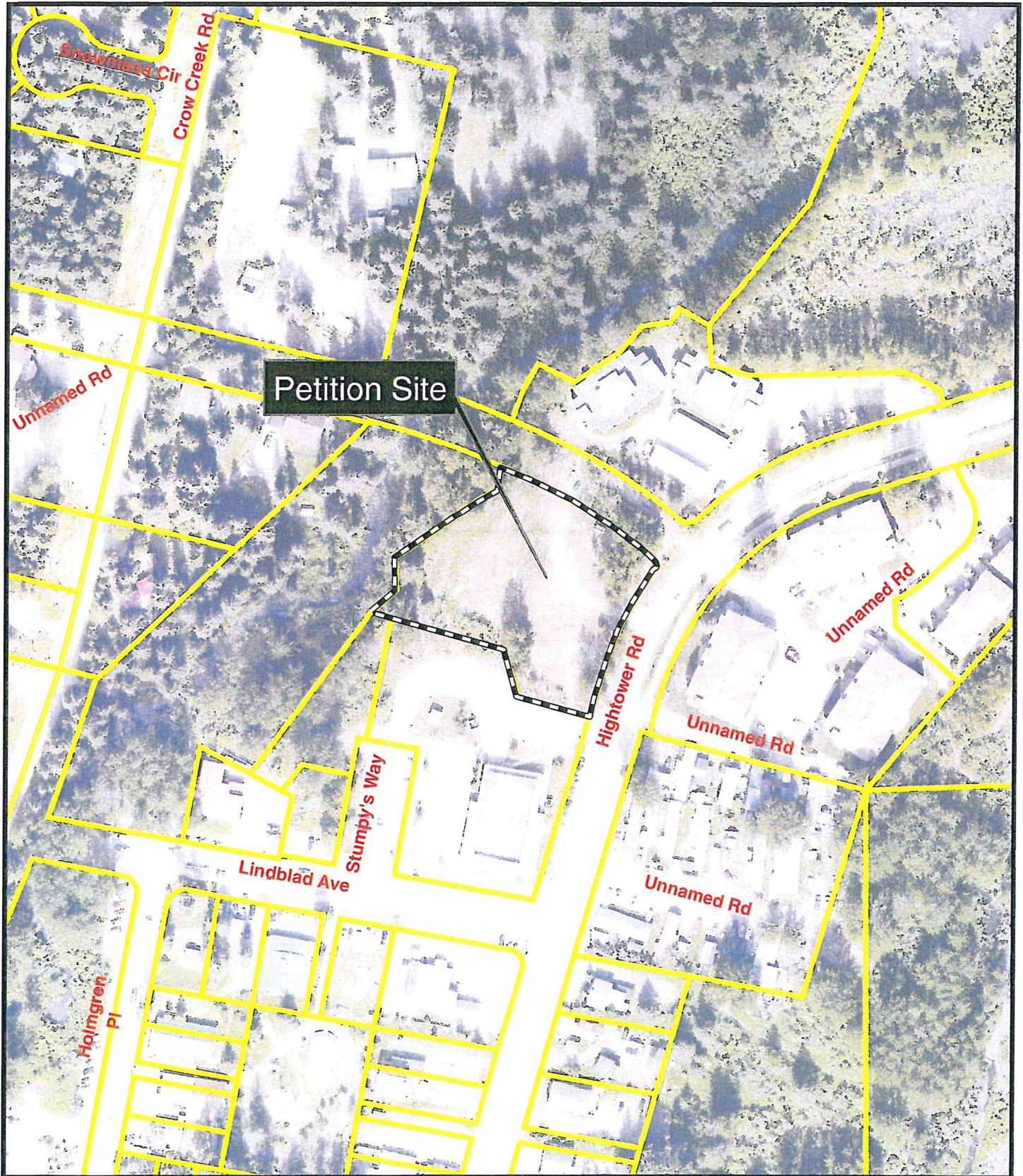


Elizabeth Appleby, AICP
Senior Planner

MAPS



2022-0017



APPLICATION

December 21, 2021

Mr. Dave Whitfield, Planning Manager
Planning Department
Municipality of Anchorage
P.O. Box 196650
Anchorage, Alaska 99519-6650

SUBJECT: Glacier City Center
Development Master Plan

Dear Mr. Whitfield:

Z Architects is submitting a development master plan review application package, per AMC 21.09.030.F, for the Glacier City Center to be located on Tract E3 (*property identification numbers: Parcel: 075-031-41-000*) located within Girdwood Elementary School Subdivision in Girdwood, Alaska.

Property owner and applicant is Glacier City Development LLC. Mailing address: PO Box 274, Girdwood, AK 99587. Phone: (907) 351-6636. Email: nathen49@gmail.com

Schematic design drawings including site and grading plan, floor plans, building elevations, renderings, and a landscape plan have been provided as part of this Development Plan. However, the plans may change slightly as the designs are further developed. The drawings will be finalized and submitted for a Land Use permit for summer 2022 construction.

It is our understanding that the project will be placed on the February 14, 2022 Planning and Zoning Commission agenda. If this is not the case, please let me know.

If you have any questions or require additional information, please contact me at 907-783-1090 or marco@zarch-ak.com. Thank you.

Sincerely,
Z Architects, LLC



Marco Zaccaro
Attachments: As stated.



Glacier City Center Development Master Plan

December 21, 2021



commercial • planning • interiors • residential

2022-0017
P2C: 02/14/2022

21-25 Glacier City Center Development Master Plan Application rev. 12-18-21

Table of Attachments

1. Development Master Plan Narrative
2. Authorization to Represent
3. Parking Analysis
4. LUC October 2021 agenda final
5. LUC October 2021 minutes final
6. GBOS Oct 2021 minutes final
7. Public Inquiry Parcel Details / Property card
8. Pre-Application Conference – 11/3/21 Planning Department notes.
9. Drainage Project Notification and WMS Mapping Request
10. 21-25 GCC - Design and Permitting Schedule revised 12-4-21
11. Plat 95-35
12. Plat 85-38
13. Chugach Electric Association proposed electrical easement re-align 12-2-21
14. FEMA Panel 0200051559D
15. Wetland Map
16. Zoning map
17. Storm Drain Map
18. Sew_SE4715
19. Wat_SE4715
20. Drawing Sets, Development Master Plan Submittal, Dated 12-6-21

Glacier City Center
Development Master Plan Narrative
December 2021

Request for Approval

We are requesting a Development Master Plan Approval for the development of the Glacier City Center located on Tract E3 of the Girdwood School Subdivision in Girdwood, Alaska. Please see the narrative below and the attached plans for more information.

Introduction

The project is located on Tract E3, Girdwood School Subdivision in Girdwood, Alaska. The parcel is 1.5 acres situated between California Creek and Hightower Rd and located approximately 40 miles south of Anchorage. In 2001, the Girdwood Commercial Areas and Transportation Master Plan was developed to assist in guiding development in the Girdwood area.

Nathen and Liz Ellis, who recently purchased Tract E3 are developing Glacier City Center, they have lived in Girdwood for several years and have children attending Girdwood School. The previous owner had worked to develop a mixed commercial center on the site but the 2008 financial Crisis caused the project to be put on hold. The Ellis' saw the parcel as having potential to alleviate some of Girdwood's housing needs as well as provide economic support with a commercial building. This horizontal mixed-use development concept allows them to develop their vision.

The project proposes development in two phases of ten townhouse-style multifamily dwellings and a separate commercial building. The dwellings will be market rate condominium units. The commercial building will come in a later phase and will contain a craft distillery, sandwich shop and coffee shop. The total gross floor area of the project will be 28,326 sf (19,440 sf in the townhouses and 8,886 sf in the commercial building (including a 685 sf mechanical mezzanine)). Housing continues to be a significant obstacle to current and would-be residents of Girdwood. Local businesses identify recent upward trends in housing prices as an obstacle to employee retention. The intent of the project is to provide more housing options in the New Townsite area.

The purpose of the Development Master Plan is to provide a clearly articulated vision for the character, layout, and design of the new Glacier City Center in accordance with local adopted plans and the MOA Girdwood Land Use Regulations AMC 21.09, while also complying with the requirements of AMC 21.09.030F. Development Master Planning.

Community Meeting

Representatives of Z Architects and the Ellis' presented the project to the Girdwood Land Use Committee (LUC) on 11 October 2021 and the Girdwood Board of Supervisors (GBOS) on 18 October 2021. The 11 October meeting served as the community meeting, and notices were mailed more than 21 days before. The MOA provided the mailing list. The submittal of this application occurs prior to the cut-off date for the Planning and Zoning Commission hearing on 14 February 2022. The project team anticipates presenting to the LUC on 10 January 2022 and to GBOS on 17 January 2022 requesting a letter of support.

Attendees generally supported the project and saw this as a welcomed addition to the community (see appended meeting minutes).

Conformance with Municipality of Anchorage Title 21.09.030F Development Master Plan

A. Submittal Requirements:

A. Lot Description

The legal description, acreage, and boundaries of the proposed petition area, an explanation of boundary delineation, pursuant to subsection 21.09.030C, if applicable.

The Development Master Plan area is Tract E3. The project area is approximately 1.5 acres (65,512 sq ft) and is located on the west side of Hightower Rd immediately north of the Girdwood Post Office. Total building footprint is approximately 10,765 sf of the project area.

The project site is zoned gC-8, New Townsite North Commercial. The property is surrounded on two sides by the gC-6, Crow Creek Road Commercial/Residential zoning (three sides if the zoning west of California Creek is counted), and the areas to the north and east, immediately across platted rights-of-way, have been developed exclusively with multifamily housing in accordance with the gC-6 standards. The parcel has much more in common in both size and conditions with this existing development, surrounding it, than with the much smaller lots and densities along Hightower Rd to the south. Southeast of the parcel, across Hightower Rd, is a mobile house park with gC-8 zoning. The parcel immediately south of the site is the Girdwood Post Office. It has gC-8 zoning as does a small HLB parcel (Girdwood Post Office Subdivision, Lot 2) just west of the Post Office. The Anchorage School District parcel to the west (Tract E5, Girdwood

Elementary School) is zoned GOS (Girdwood Open Space). This parcel contains California Creek.

B. Existing Site Plan

A site plan of any existing development, including buildings, roads, utilities, drainage systems, trails, and a general description of existing vegetation.

See attached sheet C1.0 for existing site plan. Tract E3 is currently vacant land, it was cleared of natural vegetation at some time in the past and has areas of new vegetative growth. This vegetation consists of grasses and low woody plants, mature shrubs like alder and willow, and cottonwood trees. Larger isolate conifers predate previous development. The west property line roughly parallels an earthen dike that defines the California Creek channel.

There are several easements that encumber the property. There is a T&E easement along Hightower Rd. Along the west side of the property are two easements, a 25' building setback that was intended to provide protection to California Creek. This stream protection easement may be vacated because the stream protections in AMC Title 21 are a better method for regulating development. Another T&E easement follows this easement along the property line. Chugach Electric Association has agreed to re-align a portion of this easement (see attached sketch dated December 2, 2021). All the utility easements are in use. A water main and sewer main run below Hightower Rd, and a storm drain system terminates at the very south corner of the property.

There has been nascent community use including camping, dumping, and during Girdwood Forest Fair the site served as a temporary parking area. Tiny Creek Trail runs adjacent to California Creek off the property and approximately 90 feet west of the nearest proposed development.

C. Site Topography

The topography of the petition area, with contours lines shown at intervals of four feet or less, including any unique natural or historical features.

Tract E3 is generally level. However, there is an inconsistent downward slope toward the south. There are local low areas as well as a low ridge west of the property boundary. See attached existing site plan C1.0 with one foot interval contour lines.

There are no known historic features on the property and development is unlikely to yield any archeological features because of prior disturbance (clearing and grubbing). The Girdwood area may be within the traditional lands of the Upper Inlet Dena'ina, and Tribal consultation will occur if construction does identify historic features.

D. Existing Streams and Waterbodies

The location of existing streams, water bodies, wetlands, drainage courses, and flood plains, and proposed changes to such features.

California Creek runs parallel to the west boundary of Tract E3. FEMA mapping for the area designates most of the site as Zone AE, which indicates areas with 0.2% annual chance flood hazard. A portion of the lot is in Zone AO which is a special flood hazard area with a base flood elevation. No building is located in this portion of the site. The southeast corner of the site is outside of mapped flood hazard zones. There are no mapped wetlands that impact the property.

E. Grading Plan

A grading plan and detailed study of existing and proposed drainage, using baseline climatic and environmental data that reflects Girdwood conditions.

See attached sheet C2.0 for the proposed drainage plan.

The proposed development for Glacier City Center will disturb approximately 1.25 acres of vegetated ground cover. The Anchorage Stormwater Manual (ASM) classifies this level of disturbance as a Large Project which must meet the following requirements: Water Quality Treatment; Extended Detention; Conveyance; Detention and Peak Flow Control; Operation and Management Plan; Stormwater Management Report; and Wetland Compliance.

The completed improvements will follow the existing topography to the extents possible to maintain existing drainage pathways and use new landscaped areas to meet the water quality treatment objective. Other stormwater controls that may be considered to meet the Water Quality and Detention objectives are: vegetative swales, filter strips, natural vegetation retention, landscaped depressions, and dry ponds.

The soils on site are generally well draining alluvial gravels and deposits. A geotechnical report is available upon request.

F. Proposed Site Plan

A proposed site plan, showing roads, trails, building locations and uses, parking lots, open space, and any other proposed development. The site plan shall include the total number and type of dwelling units, and the total combined floor area of commercial and industrial uses.

See sheet A0.1 for proposed site plan. Development will include construction of three structures: a commercial building having 8,886 sf and two structures each with five townhouse-style dwelling units. These 10 dwellings will have two bedrooms and an attached garage. Other site development will be a parking area and landscaped areas. Part of the site is reserved for a future building that is not part of this Development Master Plan. A pedestrian pathway will be on-site that parallels Hightower Road and provides connection to the New Girdwood Townsite to the south and adjacent parcels to the north.

As discussed in *B. Existing Site Plan*, the proposed development will require vacation of the building setback stream protection easement and the electrical and telephone lines that run through the western T&E easement will need re-aligning and vacation of a portion of the utility easement.

G. Landscape Plan

A landscape plan, including vegetation retention areas.

See sheet L0.1 for proposed landscape plan. The much of the west portion of the tract is within the stream setback of California Creek. The project will retain this area as natural vegetation. Other setbacks will have new vegetation, as will islands in the parking area.

H. Building Design

Floor plans, building elevations, and renderings for all buildings.

See architectural drawings. The proposed residential buildings have three levels. The commercial building has two levels.

I. Road Cross-Sections

Road cross-sections.

See civil drawings. Section drawings provided through driveways.

J. Other Development Details

Details of any other development proposed.

See Landscape drawings for planting area details.

K. Schedule

An implementation schedule. See attached Design, Permitting and Construction Timeline.

- Spring 2022: Approval of Development Master Plan and Easement Vacation approval.
- Early summer 2022 through early summer 2023: Residential building and site improvement construction. Construction will take roughly twelve months to complete.
- Summer 2023: Residential buildings approved for occupancy.
- Summer 2023 through 2028: Commercial Building A and associated site improvement construction. Construction will take roughly one calendar year to complete. However, changes in market demands, material and labor availability, and other unforeseen factors may delay groundbreaking from Summer 2023.
- Summer 2024 through 2029: Building A approved for occupancy.
- Development Master Plan will be fully implemented by 2029.

B. Development and Design Standards

The development master plan shall establish specific circulation systems; land uses; site dimensional, design, and development standards; and building design standards for its development areas. These elements may set different development standards than those found in title 21 including sections 21.09.060, 21.09.070, and 21.09.080. The development master plan shall list the specific sections of title 21 for which different standards are to be established. Where different standards are approved in the development master plan, those standards shall be applied instead of the corresponding

standards in title 21.

This section details the code standards this plan modifies, subject to approval. Each code reference includes its Anchorage Municipal Code citation, title, and text. Following is a proposed alternative standard or statement demonstrating the proposed design meets or exceeds the code standard. Each of these will be noted as a DESIGN ALTERNATIVE or INFORMATION. Design alternatives propose an equal or better standard to a section of code to meet the intent of adopted standards. Informational sections do not offer an alternative but note another action from a different agency like an Easement Vacation. At the end of each bullet, a commentary section provides greater clarity to the proposed alternative and offers justification. For ease of review, the citations start in Chapter 9, Girdwood Land Use Code, and then continue with pertinent sections from the remainder of Title 21.

- 21.09.040D.3.a. [District-Specific Standards for Commercial Districts] Ground-Floor Residential:
 - *In gC-2, gC-5, gC-7 and gC-8, residential uses are permitted only on the upper story above the ground floor. Commercial and/or other non-residential uses shall occupy the ground floor.*
 - DESIGN ALTERNATIVE:
 - Provide two stories of commercial uses along Hightower Road to encourage pedestrian traffic extending north of the New Girdwood Townsite. Multiple entries and garage doors associated with residential units are away from Hightower Road, so they do not disrupt the pedestrian edge.
 - Encourages residential units to occupy the most desirable part of the site from a livability standpoint. Discourage sandwiching of residential units between Hightower Road and the parking lot as the standard suggests. Residential units occupy a more private and desirable part of the site adjacent to the California Creek riparian edge zone, making the residences more attractive to live in. An entry vestibule is the only living space on the ground floor of each residential unit.
 - Commentary: The intents of these zones are to create a commercial-lined street front that encourages pedestrian traffic. The buildings are to have

residential uses in the upper floors. The main reasons for this are to a) provide a welcoming street edge and shopping for visitors b) encourage people to live in the district c) provide privacy for the residents and d) reduce residential disruptions, on the ground floor, to the commercial street edge. These proposed townhouses are away from Hightower Rd and any pedestrian traffic along it. These buildings enhance the desired outcomes: placing the unit garages on the ground floor provides the residential areas greater privacy, placing them away from Hightower on the most desirable part of the site, from a residential standpoint, encourages people to live in the district and allows individual garages (also highly desirable) without disrupting the street edge. The proposed design exceeds the standard in code.

- 21.09.040C.3.b. Arcades and Covered Walkways in the New Girdwood Townsite:
 - *In [...] gC-8 [...], arcades or roofed walkways are required along the street face of all new buildings and as part of any application for modification or redevelopment. In the gaps between buildings within these districts, privately maintained walkways are required. Development standards for arcades and walkways on building frontages are established in subsection 21.09.080E.5.d.*
 - DESIGN ALTERNATIVE:
 - Building A provides a covered walkway along its street-face per the district standard. A sidewalk, North of building A, dedicated to public use, privately maintained and lighted, occupies the same portion of the front yard setback as the arcade. This sidewalk extends to California Creek Way right-of-way and if, in the future, the northeast corner of the site becomes economically developable, the resulting commercial building will have an arcade meeting code. In the gap between the two commercial buildings the walkway will meet the standard. As a result, Hightower Road edge will meet the district standard. Building A main entry is connected to the Hightower Road arcade by a roofed walkway, a feature which exceeds the district standard.
 - Multifamily buildings are located away from the street edge to a private part of the site; the design alternative deletes the continuous roofed walkway from their front façade because these

are private front yard spaces, and it is not desirable to encourage pedestrian traffic through them. Additionally, a covered walkway at this location would be impractical.

- Commentary: This desire for catering to pedestrians appears in the requirements for arcades and covered walkways. Girdwood has heavy rain and snow quantities, and these are nice amenities. For this reason, the commercial building incorporates roofed walkways in its design. However, the multifamily buildings do not provide a continuous covered walkway. Instead, a deck on the level above and six-foot-deep front roof overhangs offers weather protection for each unit and garage entrance. Pedestrian traffic along the front of these buildings would be unsafe and should not be passing along their fronts. Although they face a driveway, they are not adjacent to the street. The design directs this traffic along Hightower Rd and around the edges of the commercial building. This portion of proposed design meets and exceeds the standard in code.
- 21.09.040C.3.c. iv. Roof overhangs in commercial districts
 - *Except for arcaded or roofed walkways, no architectural elements attached to a building, such asroof overhangs ... shall project more than two feet into a setback area.*
 - DESIGN ALTERNATIVE: Per 21.09.040C.3.c.v Walkways and terraces may use up to 50 percent of the side and rear setback. The design makes use of the side setback, immediately south of building A, as a pedestrian walkway, see A0.1, accessing the south facing public seating areas. The roof overhangs above project 4 feet into the side setback to act as a roof for that walkway. This feature exceeds the district standard.
 - Commentary: the intent of restricting projections into side setbacks is to ensure fire separation distances between neighboring buildings. In this case there is no immediately adjacent neighboring building, but instead, a paved publicly accessible driveway parallels the south property line. This edge of the property is more like a south facing street front, is accessible by pedestrians, and warrants weather protection similar to other pedestrian areas adjacent to buildings.

- 21.09.060B. Tbl. 21.09-2
 - *Min. Front Setback: 16 ft, Maximum setback 20 ft. (Footnote 8: Maximum Front Setback Exception: limited portions of building frontage may, subject to admin site plan review, be allowed to step back further than the maximum allowed front setback to create small usable public spaces in the front of the building.*
 - DESIGN ALTERNATIVE: See site plan A0.1. Building A meets this standard. The residential buildings for the reasons discussed above are set on the west portion of the property.
 - Residential buildings are allowed to exceed the maximum front yard setbacks.
 - Commercial buildings are required to meet the standard.
 - Commentary: To provide quality public pedestrian spaces along a street this standard requires buildings be close to the front property line. The current commercial building and any future commercial buildings meet this standard. However, the residential buildings do not have public functions and are not accessible to the public; their distance from the street comes from a desire to maintain a public street front for the commercial uses on the site. Because of the depth of the lot, it can have commercial spaces along the rights-of-way that are separate from residential uses. These can be adjacent to the natural vegetation near California Creek and distant from the collector roads that border the site. This is a more desirable location for residents which will encourage people to live in the district. The existing standard was crafted around the much smaller lots in the gC-7 and gC-9 zoning districts and does not fully allow for taking advantage of a large site with multiple attributes. The proposed design meets the standard in code.
- Tbl. 21.09-2 Footnote (3):
 - *Gross floor area: permit/review required: Permitted (P): <2000 sf, Admin Site Plan Review (S): 2000-4000 sf, Major Site Plan Review (M): 4001-10,000, Prohibited: >10,000 sf.*
 - INFORMATION: This project includes over 8,800 sf of commercial space requiring an Administrative Site Plan Review. Because this project is

proceeding with a Development Master Plan, an Administrative Site Plan Review would be duplicative and is unnecessary.

- Commentary: A Development Master Plan is more intensive and provides greater public input than an Administrative Site Plan Review. This provides community members the chance to voice concerns or wishes about a certain development. The DMP proposes alternative standards than in code and the Planning Department reviews the development with compliance with these and those in code. Conducting an Administrative Site Plan Review would not provide additional information to the planning department and would be duplicative to a DMP. The proposed process exceeds the Administrative Site Plan Review standard in code.
- 21.09.070G.2 Exterior Site Lighting:
 - INFORMATION: The sidewalk parallel to Hightower Road will be lit for pedestrian safety, especially at the driveway crossing, but care will be taken to make sure that site lighting is at the minimum levels necessary to light the paths and parking areas. The intent is meet Girdwood land use regulations desire for dark skies, 'to minimize glare or light trespass onto adjacent properties or light pollution in the valley' the design goal is to not inconvenience the neighboring multifamily units across Hightower Road to the east with excessive light spilling off the GCC site into their living spaces.
- 21.09.080F.2.d. [Commercial, Resort and Public/Institutional Building Design Standards] Size and Scale:
 - *No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.*
 - DESIGN ALTERNATIVE: See Building A architectural plans Aa1.1. Commercial building walls visible from the public way are 38'-6" in the

longest plane. The west wall of Building A is angled to match the property line and is approximately 67 feet long total.

- Design alternative addressing long wall: west point of building is made completely transparent through this narrow part of the floor plan via the use of large windows on opposing walls. the solid portion of the west wall is shorter than 42 feet. A viewer can completely see through any portion of the building with a wall longer than 42 feet.
 - Commentary: Except for the angled wall, all the walls of Building A comply with the standard. This angled wall faces away from the street and therefore is not readily visible to the public. The intent of this code section is to reduce the visual mass of a building by introducing changes in wall plane. This same sense of smaller scale can come from the use of windows and storefront wall systems especially when these are used to make a portion of the building completely transparent and showcase the distillery equipment inside (see rendering on sheet Aa2.1). This design alternative accomplishes what the standard intends in a far more architecturally interesting way. The visual depth of the room and landscape beyond achieves the same effect as would modifying the wall plane. In addition to the visual effect of façade modulation is the desire for interesting building designs. Having the wall angled and meeting at a knife-edge point significantly heightens the interest of the massing. The proposed design exceeds the standard.
- 21.09.080F.3.a. [Roof Form] Pitch:
 - *Roofs visible from a public way shall be primarily pitched. The pitch for the primary roof structure shall be between 8:12 and 12:12, but may be as shallow as 5:12, as long as the eave overhangs are at least two and one half feet. Segments of the roof may be flatter or steeper slopes, however, to achieve a specific design effect. Wherever a portion of the roof has a shallower pitch than the standard, or if it is flat, provision shall be made to avoid glaciation.*
 - DESIGN ALTERNATIVE: Building A Roof forms are pitched at 2:12.
 - Roof pitches as steep as required create unsafe snow sliding conditions especially on larger buildings. The roof will be designed to hold the snow and prevent snow slides.

- Roof design and materials will not create conditions for glaciation.
 - The Roof form is designed to direct water away from all perimeter pedestrian areas unless those areas are protected by a canopy.
 - The form maximizes solar orientation into second floor building spaces.
 - All of these desirable design goals are difficult to achieve with steeper roofs without the roofs becoming much more visually imposing and out of scale with the existing structures in the New Girdwood Townsite to the south.
 - Commentary: As Building A will be a “cornerstone” building, it is appropriate that it have heightened aesthetic attributes but not an overbearing massing. There is also a desire for a wholistic design aesthetic through the site. With the residential buildings having low-slope roofs, keeping with that style in the commercial building allows the site to feel like a cohesive campus. This code section makes allowances for “flatter or steeper” roofs, and these proposed roofs will not cause glaciation. Because of the large area of the building, steeper roofs will have more surface area and pose a greater danger for snow sliding which is detrimental to the desire to have pedestrian spaces around the perimeter of the building. This improvement on safety, a roof designed for snow county, and heightened aesthetic attributes shows the proposed development meets the intent of the design guidelines. The proposed design exceeds the standard.
 - Note: the new Girdwood Clinic being constructed to the south of Building A has a very similar roof design and slope. Similar architectural language in new similarly sized buildings in the New Girdwood Townsite is desirable.
- 21.03.230B. [Vacation of Public and Private Interest in Lands] Application Submittal:
 - Applications for vacation requests shall contain the information specified in the title 21 user’s guide, and shall be submitted to the platting officer on a form provided by the department.
 - INFORMATION: This project as proposed will require the vacation of a

stream protection easement.

- **Commentary:** The proposed design places one of the residential buildings in a platted stream protection easement that parallels the west property boundary. There is precedent for vacating these easements as the stream protection standards in Anchorage Municipal Code are more favorable to agencies and property owners. Before receiving a Land Use Permit, the project team will submit an application to vacate the easement per the procedure outlined in 21.03.230.

C. Approval Criteria

General Design Objectives:

Townhouse-style multifamily dwelling units continue to be popular for developers and residents. The buildings can have small footprints and each unit has multiple levels and views from two directions. These units provide the amenities a resident of Girdwood needs. As they have two bedrooms, they can accommodate small families as well.

Each unit has a garage and entry on the main level. The entry has areas for storage and the garage has greater depth than would accommodate a car, leaving additional storage space or a work area. The second floor contains the living spaces for the unit, with a kitchen and open dining and living room. There is also a small half-bath. The double-frontage of the townhouse gives each unit two decks. The smaller front deck will provide transitional living area as the evening sun warms this space. The back deck faces the vegetated riparian areas along California Creek and is more private than the front deck. The top floor of the unit has two bedrooms and two baths. The master bedroom has en suite bathroom and closet. These residential units meet a demand in the current housing market.

Beside the layouts of the units, the buildings will have materials that fit within the existing built environment. The building form, materials, and colors will meet and exceed the expectations of the prescriptive requirements in the Girdwood Land Use Code. Horizontal and vertical siding will ground the buildings to Girdwood while bright trim colors and design features will add visual interest. The roof forms will be atypical butterfly roofs. These help address the challenges of living in a town with heavy snows and rains. These also break up the mass of the building by fracturing its top into chiseled crags like the mountains beyond.

The site design will provide easy connexions to adjacent areas. A pedestrian way will enter the site from Hightower Rd and extend to the dwellings. The parking area will function as a

buffer for the residential units from the street. Vegetation around these areas will give greater senses of privacy to the residents. The site will be insulated but also reaching out to the surrounding townsite.

a. Planning Objective and Design Considerations

The development master plan substantially conforms to the principles and objectives of the Girdwood Area Plan, any approved neighborhood, district, or area plans, and the general purposes of this chapter, as stated in section 21.09.010

Girdwood Area Plan

The GAP identifies four primary goals, two of which pertain to the project. The proposed project meets these:

1. Perpetuate Girdwood's small-town atmosphere:
 - "Situate multi-family housing in dispersed pockets with higher density development located within the resort areas, or next to major commercial centers." These multifamily buildings are adjacent to the New Townsite commercial area instead of near residential neighborhoods.
 - "Expand the town core as a commercial and community center." This development includes new commercial spaces that will extend the town core further along Hightower Rd.
 - "Reduce vehicular congestion through efficient land use, local circulation patterns, and adequate parking. The site layout provides an efficient vehicular circulation and the necessary off-street parking spaces. This does not burden other businesses in the area. Road access will be at only two driveways in order to reduce the traffic impacts to Hightower Rd.
2. Preserve Girdwood's Natural Environment:
 - "Avoid placement of buildings intended for human occupancy in natural hazard area". The project site is outside of avalanche hazard areas and flood hazard areas.

The GAP also includes a Land Use Plan Map. This designates the site with Commercial land use. "This classification is for areas substantially developed for commercial purposes and are expected to remain so for the duration of the Plan, and for vacant areas best suited to commercial development." However, it is immediately adjacent to an area designated with Commercial/Residential land use. "This classification is for areas substantially developed with a mix of commercial and residential uses and area

expected to remain so for the duration of the Plan, and for vacant areas best suited to a mix of commercial/residential uses. Later, the GAP clarifies that “The Plan also allows multi-family housing in the areas classified commercial/residential, commercial, [...]”. The Land Use Map treats the New Townsite as a commercial hub with mixed residential and commercial areas between it and the school. This project meets the density goals for the New Townsite and addresses contemporary demands for residential and commercial space in Girdwood.

The GAP also provides provisions for multi-family housing and its location and scale. The buildings in this project are dispersed throughout the site and do not exceed three stories. The new buildings will be no taller than nearby buildings. The economy of construction inherent (the repetition of design reduces labor costs) with townhouse-style multifamily developments will allow the units to be more affordable to full-time residents. Seasonal residents will find them attractive as well for their proximity to the New Townsite, but the distance from the resort may discourage second-home buyers who ski.

Compliance with codified development requirements will ensure the form of the project will not disrupt the visual context of the area. Landscaped areas around the building will improve the visual appearance and ecological function of the site as well. Building will be small in scale and provide commercial and residential areas. For these reasons, the project meets the goals of the GAP.

Girdwood Commercial Areas and Transportation Master Plan

The GCATMP identifies community-derived objectives for the New Townsite. Generally, the GAP notes a community goal to “make the New Townsite the true heart and center of the Girdwood community.”

- Encourage the development of a diverse mix of commercial and retail services that appeal to both locals and visitors.
 - The project proposes a café and craft distillery that will have appeals for both locals and visitors. There is not currently a business in the New Townsite for grab-and-go café foods and sandwiches. The distillery is without precedent in Girdwood and the popularity of such distilleries in other Alaskan towns implies a similar reaction locally.
- A conceptual plan for commercial infill in the New Townsite identifies the site as a potential site for lodging.
 - The earlier development proposal included a hotel for this site. However, because of changes to market demands in Girdwood, the

current proposal seems more appropriate. The plan does generally describe the area north of Town Square as an ideal location for residential units as well.

b. Street Design

The streets, roads, and other transportation elements are in conformance with applicable transportation plans.

Official Streets and Highways Plan

The OSHP identifies Hightower Rd as a Class IA industrial commercial collector with an average daily traffic load of 2,000 to 10,000. The addition of these units will not require upgrades to Hightower Rd. The OSHP does show an additional Class IA industrial commercial collector in the right-of-way along the north of Tract E3. This project does not propose its construction, but does have a planned driveway connexion when that occurs.

Girdwood Area Plan

The GAP identifies three key factors for the Girdwood “circulation system”. The first is that the system be “efficient and free of congestion”. This project does not propose a new roadway or any improvements to Hightower Rd. It will likely continue to have the same levels of congestion.

The second factor is to provide multi-modal facilities. Active transportation is important in Girdwood and throughout the year. There is a bike path along the east side of Hightower Rd that connects the New Townsite and Lower Iditarod Trail at the Girdwood School and a sidewalk along the west side of the road that starts at the Post Office. This project proposes a pedestrian connexion to a new sidewalk along the west side of the road.

Third, the GAP encourages development along roadways that “add to, rather than detract from, the small-town resort character of the valley.” This project places the commercial building close to Hightower Rd. This enhances the streetscape by continuing the sense of a commercial center along the road. The design responds to the architectural and natural context with multiple roof lines and large areas of glazing. The building materials will be appropriate as well and make the building visually interesting while matching the surrounding materiality.

The GAP proposes a new connector road in the vicinity of the project, but it does not appear that this proposed building or parking area improvements will impede this in the future. The other applicable recommendations include creation of a transit system. The Glacier Valley Transit is a free shuttle service and all routes service the New Townsite. Hightower Rd has service to the school as well. These transit stops are with walking distance of the proposed building site, although the shuttles will frequently pick up riders between stops. Another specific GAP direction is the encouragement for reduction of vehicle trips between Anchorage and Girdwood. We anticipate providing these additional housing units will help meet this goal.

Girdwood Commercial Areas and Transportation Master Plan

The GCATMP identifies transportation infrastructural improvements throughout the Girdwood Valley. In the New Townsite area some of these improvements have already occurred, like the reconstruction of Hightower Rd. The plan identifies a new roadway from Hightower to Crow Creek Rd that runs along the north side of the property.

Girdwood Valley Trails Management Plan

The GVTMP creates a framework for area trails and their development. Specifically it aims “to create a highly functional, interconnected, multi-use trail system that meetings current and future needs of the community.” While this project does not propose any new trails or improvements to existing ones, the proposed development is approximately 90 feet from Tiny Creek Trail also known as California Creek Trail. This trail is a Class 3 biking and hiking trail that parallels California Creek from the school to the New Townsite. The trail is completely within Tract E5 and does not have a dedicated easement. Connection to this trail will be possible for residents but is not planned. The plan calls for trail easements for some trails like Tiny Creek on private land. Because the existing trail is coincident with a utility easement and stream setback, a specific trail easement is not necessary.

c. Project Costs

The development has no substantial adverse fiscal impact on the municipality.

The project is entirely on private property. The only impacts anticipated for municipal systems will be improvements in the Hightower Rd right-of-way. This may include connexion to the waterline under the road. These improvements will impede traffic on the road for a short time. Other costs will include staff time.

d. Community Benefits

The development provides significant community benefits in terms of design, community facilities, open space, and other community amenities.

This development provides several amenities to the benefit of the community. Generally, the project is creating 10 residential units. We anticipate this to alleviate some of the existing demand for housing throughout Girdwood. The project also adds two unique commercial uses to the New Townsite area, a distillery and a café.

e. Adverse Impacts

The development minimizes any potential adverse impacts to surrounding residential areas to the maximum extent feasible.

Tract E3 is between a multifamily residential development and the Post Office, and between multifamily residential areas and California Creek. As development completely surrounds the lot, with the exception of California Creek, this project will bring an otherwise vacant lot into a condition more akin to its neighbors. The scale will be harmonious and does not introduce a commercial use that will adversely impact the neighborhood. Like Girdwood Brewing Company, the proposed distillery will close at 8 PM. Patron noise will therefore not extend into the night, disturbing nearby residents.

Road closures associated with construction will occur in one season. Because construction of the buildings will occur in two phases, there will be multiple seasons of construction noise. This will not extend beyond a year for either phase. The added traffic to Hightower Rd will not be significant. Because of its proximity to the New Townsite and community parking areas, visitors to the café and distillery will likely come by non-vehicular means. This will not generate high levels of traffic and parking congestion as seen at Girdwood Brewery, which is isolated from other uses. The planned intent for the New Townsite is a commercial core, and like the most successful examples it has facilities for central parking. Visitors to the area can park and walk to multiple businesses. Future development of the planned roadway to Crow Creek Rd will alleviate some vehicle traffic congestion associated with this development.

Any impacts to runoff that the proposed development creates will not affect residential areas downstream. The project will be subject to a Storm Water Pollution Prevention Plan and will implement Best Management Practices for impacts to California Creek.

f. Service Levels

Sufficient public safety, transportation, and utility facilities and services are available to serve the subject property at the proposed level of development, while maintaining sufficient levels of service to existing and anticipated development in the surrounding areas.

Tract E3 is accessible to fire apparatus and public safety. The addition of 10 residential units in this area does have the possibility to increase the number of calls and trips to the area. However, this additional density is not likely to adversely affect service to other areas of Girdwood. The units represent a significant increase to the density of neighborhood, but because the units are in a two buildings response times will remain the same as the current time. Similar outcomes will result from the addition of the commercial building to the site.

Transportation needs of residents may increase ridership of public transit shuttles and vehicle trips on Hightower Rd. However, shuttle service is frequent and rarely at capacity. Although residents may be driving along Hightower Rd, they will be using new on-site parking facilities on Tract E3.

The utilities currently serving the site are electrical power and sanitary sewer. There is a water main in Hightower Rd that will provide public water to the development. Some utility improvements may be necessary as the particular service companies require.

g. Design Standards

The design standards are equivalent to or exceed the generally applicable development standards of sections 21.09.060, .070, and .080, and result in high quality, environmentally sensitive development in keeping with the Girdwood Area Plan, the intent of this chapter, and the character of Girdwood.

See Section B for commentary. We propose several alternative standards that meet or exceed the development standards in Chapter 9 and other areas of Title 21.

APPENDIX A: PUBLIC MEETING COMMENTS:

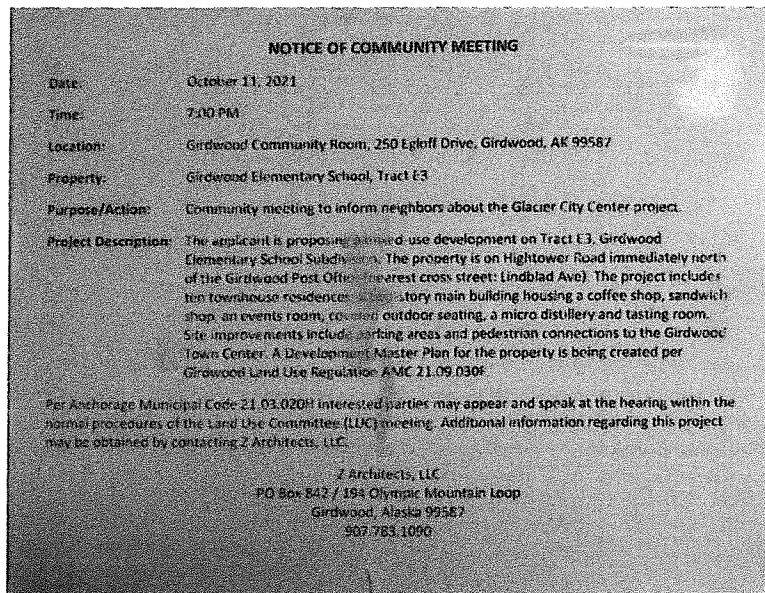
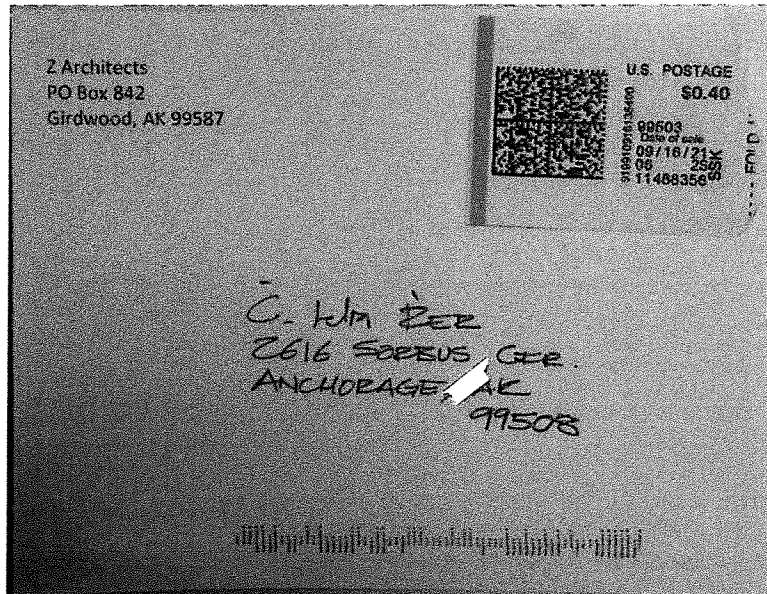
On 11 October and 18 October the project team presented to the Girdwood Board of Supervisors (GBOS) Land Use Committee and GBOS respectively. The first meeting served as the community meeting required for the DMP. Mailers went to addresses provided by the MOA Planning Department (see below). The bullets below provide a list of comments and questions from members of the public and Board of Supervisors for both meetings.

- 11 October 2021: Girdwood Board of Supervisors (GBOS) Land Use Committee – Served as Community Meeting
 - Shannon O’Brien: Are we asking for any variances?
 - Mike Edgington: Are we expecting all ten to be second homes or will there be provisions for locals to live in them?
 - Kalie Harrison: What is the price point on the townhouses?
 - Jerry Fox: Concerned about short term rentals. Do you have a schedule?
 - Brian Burnett: Is the tiny creek trail corridor drawn into the plans? Will the trail be respected?
 - Kyle: Request that no bump-outs are installed and something about drainage
- 18 October 2021: GBOS
 - Mike Edgington: What happens next?
 - Jen Wingard: Is the overflow parking for the townhomes the same as the commercial parking?
 - Christina Hendrickson: Need adequate parking so we don’t impact the post office parking which is already being used by other businesses. Need direct crosswalk to the bike path. With these new townhouses and Holton Hills, does the post office have enough PO boxes?

The project team responded to the questions during the meeting and the owner was present at the meetings. There were few design changes that came from the comments. Because of the

DMP, the project team does not anticipate applying for any variances. The owner said that they were not planning on creating covenants prohibiting short-term rentals. Because the trail is not on the project parcel this development does not create an easement. The project team presented the question about the curb and street edge design to the pre-application conference. The agencies determined an acceptable alternative would be a rolled curb. All the parking for the residential structures will be on-site and there is adequate parking when including district parking and land banked parking in the undeveloped ROW. Unless required by a reviewing agency, the project does not propose a crosswalk. The project team believes there is adequate parking

Public Notice:



APPENDIX B: PREAPPLICATION CONFERENCE NOTES:

Attached in following pages.

December 21st 2021

Subject: Letter of Authorization for Permitting

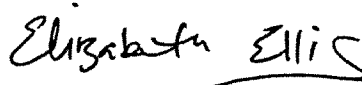
This letter serves as authorization for Z architects, LLC and staff members thereof, to act on the behalf of Glacier City Development LLC owned by Nathen and Elizabeth Ellis, for permitting applications and procedures through the Municipality of Anchorage for our property at Tract E3 of the Girdwood Elementary School Subdivision in Girdwood Alaska.

Sincerely,

Glacier City Development LLC owners

A handwritten signature in black ink, appearing to read 'Nathen Ellis', with a stylized, cursive script.

Nathen Ellis

A handwritten signature in black ink, appearing to read 'Elizabeth Ellis', with a stylized, cursive script.

Elizabeth Ellis

**ASSIGNMENT OF
GLACIER CITY DEVELOPMENT, LLC
MEMBERSHIP INTEREST**

JEFFREY DEMAIN and EILEEN DEMAIN whose address is 625 Highlander Circle, Anchorage, Alaska 99518 (the "Assignors"), hereby grants, transfers and assigns to NATHEN ELLIS and ELIZABETH ELLIS whose address is _____ (the "Assignees") Assignors' entire one hundred percent (100.00%) ownership interest in GLACIER CITY DEVELOPMENT, LLC, an Alaska limited liability company (the "Company").

Dated this 30 day of ~~June~~, 2021.

August

ASSIGNORS:



JEFFREY DEMAIN



EILEEN DEMAIN

**ACKNOWLEDGEMENT AND ACCEPTANCE
OF ASSIGNMENT**


Assignees hereby acknowledge and accept the foregoing Assignment and agree to become members in the Company and to be bound by the terms and conditions of the Company's articles of organization and operating agreement.

Assignees agree to indemnify and hold harmless the Assignors from and after the date of this Assignment from and against any and all claims asserted against Assignors as a member in the Company.

Dated this 19 day of ~~June~~, 2021.

Aug. *EC*

ASSIGNEES:



NATHEN ELLIS



ELIZABETH ELLIS

ASSIGNMENT OF
GLACIER CITY DEVELOPMENT, LLC
MEMBERSHIP INTEREST

- 1 -

December 4, 2021

RE: **Glacier City Center PARKING ANALYSIS - Rev.4**

Building Code:

Anchorage Municipal Code (AMC) Title 21

21.07.080 E.2c Parking Lot Interior Landscaping

See landscape plan.

Table 21.07-4 Off Street Parking

Commercial and Manufacturing Uses.

Building A - Parking Required:

See building plans for use areas and associated parking counts.

Second Floor:

- | | |
|--|--------------|
| • Tasting Room: 1,731 s.f. Parking 1:100 GFA (Bar)= | 17.31 Spaces |
| • Event Space: 2185 s.f. Parking 1:100 GFA (Restaurant)= | 21.85 Spaces |
| • Outdoor seating: 298 s.f. Parking 1:100 GFA (Bar)= | 2.98 Spaces |

First Floor:

- | | |
|--|--------------|
| • Distillery: 1,012 s.f. Parking 1:750 GFA (Manufacturing) = | 1.35 Spaces |
| • Coffee and Sandwich shop: 3,273 s.f. Parking 1:100 GFA (Restaurant)= | 32.73 Spaces |
| • Outdoor seating: 298 s.f. Parking 1:100 GFA (Restaurant)= | 2.98 Spaces |

Building A Parking Spaces Required	79 Spaces
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Residential Uses.

Townhouse- Parking Required:

All units are two-bedroom.

1 per one bedroom Unit	1.0
Add 0.5 for each additional bedroom	.5
Add .15 guest parking for each townhouse	.15
Base onsite parking required per two-bedroom residence	1.65
<u>Townhouse Parking Spaces Required</u> 10 units x 1.65 =	17 Spaces

Total base parking required on site: 79 (building A) + 17 (Residential) =	96 Spaces
--	------------------

21.09.070L.2 Girdwood Specific Parking Regulations

gC-5, gC-8, and gC-9 districts. Required parking for any non-residential use in the gC-5, gC-8 or gC-9 districts may be located off-site within the adjoining right-of-way or within 600 feet of the site in community parking facilities under a municipal parking agreement. Properties may also use the reduced parking requirements and parking reductions provided in Section 21.07.090. (RESERVED: Tailored parking requirements and reductions for the new townsite area will be further developed in coordination with the update to the Girdwood Area Plan and adopted as an amendment to this section.)

Community Parking within New Girdwood Townsite:

70 community parking spaces are within 600' walking distance of Glacier City Center. See drawing A0.5 Community Parking Access Plan.

Parking Provided:**On Site:**

Townhouse garage and driveways:	20 spaces
Townhouse guest parking:	2 spaces
Glacier City Center Parking Lots:	40 spaces

Off Site:

Community Parking facilities:	34 spaces
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Total Provided:	96 spaces
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Table 21.07-6 Off Street Loading Berths for building A

Not required for less than 10,000 s.f.

Table 21.07-8 Accessible Parking Spaces for building A

Total Parking Spaces Provided	Accessible	Number that shall be Van-Accessible
76 to 100	4	1

21.07.090E.5. Parking location

Except as provided in subsection 21.07.090 F., all required parking shall be on the same lot as the use served. However, required parking may be on an abutting or adjacent lot provided the zoning district in which the lot is located allows for off-street parking as a permitted principal use, site plan review use, or conditional use; in which case there shall be a parking agreement which meets the requirements of subsection F.1. below.

The Following allowed reductions have not been used in the above parking calculations but are noted here for reference. All are based on total base parking requirement (96 spaces).

21.07.090F.8 Uses adjacent to transit service

Uses adjacent to transit service. A use is eligible for a reduction of up to five percent of the minimum number of required parking spaces if it is located within 800 feet of the street right-of-way centerline of any municipal public transit route, subject to approval by the traffic engineer and the director. The public transportation department may require a public use easement or transit stop and/or transit shelter improvements if the subject property abuts an existing or planned transit stop. If the public transportation department requires such an easement or improvements, then the use is eligible for an additional reduction of two percent or one more parking space, whichever is greater.

Nearest public bus stop is at the corner of Hightower Road and Linblad Ave. 300 feet walking distance from Glacier City Center.

Reduces parking count by 4.8 ($96 \times .05 = 4.8$) to 91.2

21.07.090F.10 Transit pass benefits.

A use in which the owner or employer offers transit passes cost-free to all employees or residents is eligible for a parking reduction of up to ten percent of the minimum number of required parking spaces. The use shall be located within 800 feet of the street right-of-way centerline of any municipal transit route. The public transportation department may require a public use easement or transit stop and/or transit shelter improvements if the subject property abuts an existing or planned transit stop. If the public transportation department requires such an easement or improvements, then the use is eligible for an additional reduction of two percent or one more parking space, whichever is greater.

Reduces parking count by 9.12 ($91.2 \times .1 = 9.12$) to 82

21.07.090F.21 Smaller parking spaces for parking structures and low-turnover uses.

If approved by the traffic engineer, up to 20 percent of the total number of required parking spaces located in a parking structure and/or designated for employee or resident parking only may be eight feet six inches wide, subject to the requirements of Table 21.07-7, Parking Space and Aisle Dimensions. Such spaces shall be signed for employee or resident parking only.

21.07.090F.22 Bicycle parking. Bicycle parking. A use is eligible to permanently or seasonally substitute bicycle parking spaces for required automobile parking spaces. Each automobile parking space shall be replaced by a minimum of six bicycle parking spaces not required by this title. Bicycle parking spaces shall comply with the standards of subsection 21.07.060 F.15. and be separated from motor vehicle areas by bollards or other physical buffer approved by the traffic engineer.

12 bicycle parking spaces are shown on drawing A0.1 Site Plan.

Reduces parking count to 80

Girdwood Land Use Committee
Notice of Meeting on October 11, 2021
7PM
Agenda Final

This meeting will be held via Teams teleconference.

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

The Girdwood Land Use Committee operates under the Girdwood Public Meetings Standards of Conduct.

Agenda Item LUC 2110-01:

Call to order

Agenda Approval for October 11 2021 meeting

Minutes Approval for the September 13 2021 meeting

LUC Officer reports

Announcements & Presentations:

LUC is seeking a volunteer to attend Federation of Community Councils meetings, which are held the 3rd MON each month 6PM-8PM.

Agenda Item LUC 2110-02: Public Comment (3 minutes each) Persons offering public comment must state their full name and address. Public Comment must be on subjects not listed on the agenda.

Agenda Item LUC 2110-03: Committee written reports are included in the meeting packet monthly.

Any items that require additional discussion should be brought up at this time.

Old Business:

Agenda Item LUC 2008-04: Update on draft land acknowledgment statement (Diana Stram).

Agenda Item LUC 2109-04: Review LUC Operating Procedures re ability to hold hybrid and/or virtual meetings.

Agenda Item LUC 2109-05: Notice of Liquor license renewals in 2022.

Request for LUC recommendation for GBOS Letter of Non-Objection Re: 2022 Annual Liquor License Renewals 2022

5466	Bore Tide Deli	1632	Jack Sprat	3446	Seven Glaciers Lounge
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287	Crow Creek Mercantile	3263	Chair 5 Restaurant	3447	Sitzmark Bar & Grill
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996	La Bodega	3445	Hotel Alyeska	5498	Girdwood Picnic Club
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Agenda Item LUC 2110-07: Review MOA Omnibus Ordinance (Case #202-0126) scheduled for planning and zoning commission hearing on Nov 8, 2021. (Mike Edgington)

Agenda Item LUC 2109-06: Bikewood (formerly Girdwood Mountain Bike Alliance) request for LUC recommendation of GBOS Resolution of Support for proposed Mountain Bike Master Plan to be submitted with construction grant applications.

Agenda Item LUC 2110-06: Girdwood Community Land Trust request for LUC recommendation for a GBOS Resolution of support for grant applications for the Girdwood Community Land Trust. (Item moved to Old Business due to time sensitive RURAL CAP grant application cycle). (GCLT, Krystal Hoke)

New Business:

Agenda Item LUC 2110-04: Initial presentation of Glacier City Center, proposed mixed use development located off Hightower Road immediately north of the Post Office. Group will be seeking LUC recommendation for GBOS Resolution of Support for Development Master Plan. this meeting will also serve as the community meeting as required by AMC 21.03.020C. (Marco Zaccaro, presenting).

Agenda Item LUC 2110-05: Initial Presentation of Alyeska Employee Housing II, proposed for Tract B, Alyeska Prince Addition on Northface Road immediately west of Hotel Alyeska, east of existing Employee Housing. Group will be seeking LUC recommendation for GBOS Resolution of Support for Development Master Plan. This meeting will also serve as the community meeting as required by AMC 21.03.020C. (Connor Scher, presenting)

Agenda Item LUC 2110-08: HLB request for LUC Recommendation to GBOS Resolution of Support for Rezone of approximately 6.35 acres from GIP (Institutions & Parks) to GR3 (Residential), located within Tract B, Girdwood Elementary School Subdivision (Plat 85-38). (Shelley Rowton, HLB)

Request for GBOS/LUC Joint Meeting (1 of 2 completed in 2021): Held April 29, 2021

Adjourn

Girdwood Land Use Committee Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>

Girdwood Land Use Committee

Notice of Meeting on October 11, 2021

7PM

Minutes Final

This meeting will be held via Teams teleconference.

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any Girdwood Valley resident eighteen (18) years of age or older. Non-resident property owners, businesses, and non-profit associations are allowed one (1) vote per entity. Detailed voting qualifications can be found in the rules outlined in the Girdwood Land Use Committee Operating Principles.

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The Girdwood Land Use Committee operates under the Girdwood Public Meetings Standards of Conduct.

Agenda Item LUC 2110-01:

Call to order 7PM, Kevin McDermott, Chair

Agenda Approval for October 11 2021 meeting with revisions

Mike Edgington/Brian Burnett

Item 2110-07 moved to Old Business as it will be addressed by Planning before the next LUC meeting

Item 2001-06 moved to Old business during the meeting as RurAL CAP grant cycle has just been announced.

Application is due prior to next LUC meeting.

Minutes Approval for the September 13 2021 meeting

Kalie Harrison/Shannon O'Brien

LUC Officer reports: None

Announcements & Presentations:

LUC is seeking a volunteer to attend Federation of Community Councils meetings, which are held the 3rd MON each month 6PM-8PM. Any member of LUC is invited to volunteer for this assignment. Individual would attend FCC meetings and report back to LUC. Community councils across Anchorage share information and resources through the FCC meetings. It's a good opportunity for context and perspective of items impacting other neighborhoods in the MOA.

Agenda Item LUC 2110-02: Public Comment - None

Agenda Item LUC 2110-03: Committee written reports are included in the meeting packet monthly. HLBAC is discussing purchase of USFS land that they occupy. This would allow USFS to build a dormitory. Existing developed 5 lots at Industrial Park: leaseholders have right of first refusal for purchase their lots.

Old Business:

Agenda Item LUC 2008-04: Update on draft land acknowledgment statement (Diana Stram). No report, no public input received.

Agenda Item LUC 2109-04: Review LUC Operating Procedures re ability to hold hybrid and/or virtual meetings. GBOS made change to their Rules and Procedures to allow for virtual meetings during federal health emergency. LUC made their determination to hold this meeting virtually due to COVID case counts. Hybrid meetings remain difficult due to technology issues. LUC could consider adding option of hybrid meetings if community invests in a system that makes access for all attending equal.

Agenda Item LUC 2109-05: Notice of Liquor license renewals in 2022.

Request for LUC recommendation for GBOS Letter of Non-Objection Re: 2022 Annual Liquor License Renewals 2022

5466	Bore Tide Deli	1632	Jack Sprat	3446	Seven Glaciers Lounge
287	Crow Creek Mercantile	3263	Chair 5 Restaurant	3447	Sitzmark Bar & Grill
996	La Bodega	3445	Hotel Alyeska	5498	Girdwood Picnic Club

No negative comments have been brought forward regarding any of the upcoming liquor licenses.

Motion:

The Girdwood Land Use Committee moves to recommend a GBOS Letter of Non-Objection to the 2022 liquor license renewals.

Motion by Ron Tenny, 2nd by Kalie Harrison

22 in favor, 0 opposed, 3 abstaining

Motion carries

Agenda Item LUC 2110-07: Review MOA Omnibus Ordinance (Case #202-0126) scheduled for planning and zoning commission hearing on Nov 8, 2021. (Mike Edgington). Public can view this draft ordinance on line at this location:

<https://www.muni.org/CityViewPortal/Planning/GetFile/99244>

Girdwood Land Use Committee Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>

One element specifically is related to Girdwood T21C9, a minor text correction related to private vs public parking.

Other elements are Areawide, but there are several points that will relate to Girdwood, if approved:

- Land Use Permit currently requires that construction begin within a year and then can be delayed for 12 months. Proposed change would allow for construction to be delayed by 2 years with extension application, still requires start of project within a year.
- Paving currently required would not be required if project is connecting 2 gravel roads or small parking area. Girdwood already has proposal in commercial parking amendment that is similar to this.
- Parking calculations at restaurants would calculate parking needs differently so that SF of storage, for example, is not calculated at the same rate as calculation for restaurant dining area.
- Section 15 regarding subdivision of property currently capped at 8 lots to remove that restriction.

Group discusses whether to recommend to GBOS a resolution of support or other feedback. Group ultimately decides that no formal action is needed. As no action is recommended, item will be removed from GBOS agenda.

Agenda Item LUC 2109-06: Bikewood (formerly Girdwood Mountain Bike Alliance) request for LUC recommendation of GBOS Resolution of Support for proposed Mountain Bike Master Plan to be submitted with construction grant applications.

Dan Starr with Bikewood presents that this request is based on need for Bikewood to have such a recommendation in order to apply for grant funding opportunities that will come up this fall for summer 2022 construction. Adoption of Trails Master Plan is farther off, although local process has begun. Bikewood received support from GTC at their September meeting. This proposal was made in 2019 but was dropped while the community pursued work on the Trails Master Plan instead. At that time LUC made the recommendation to GBOS to write a Resolution of Support. Content of proposal has not changed, although Girdwood Mountain Bike Alliance has rebranded to Bikewood. If changes occur to the Trails Master Plan, they will be reflected in Bikewood plans.

Motion:

Land Use Committee moves to recommend a GBOS Resolution of Support for the proposed Mountain Bike Master Plan for Bikewood to use in pursuing grant funds for trail construction in the Mountain Bike Park, as presented.

Motion by Brian Burnett, 2nd by Lisa Miles

24 in favor, 0 opposed, 4 abstaining

Motion carries

Agenda Item LUC 2110-06: Girdwood Community Land Trust request for LUC recommendation for a GBOS Resolution of support for grant applications for the Girdwood Community Land Trust. (Item moved to Old Business due to time sensitive RurAl CAP grant application cycle).(GCLT, Krystal Hoke)

Item is moved to Old Business during the meeting as a grant opportunity with RurAl CAP has just been announced and the application deadline is prior to the next LUC meeting. (Motion by Krystal Hoke, 2nd by Jerry Fox, group assent, no formal vote).

RurAl CAP grant offers funding for community gardens and other sustainability projects. The current grant is focused on planting fruit trees in rural areas. Group discusses location for this, process is in GCLT hands to pursue change of code to allow community gardening on public land. Girdwood Community Land Trust has identified private land that would allow for such use.

Motion:

Land Use Committee moves to recommend a GBOS Resolution of Support for RurAl Cap grant application by the Girdwood Community Land Trust.

Motion by Krystal Hoke, 2nd by Ron Tenny

26 in favor, 0 opposed, 3 abstaining

Motion carries

New Business:

Agenda Item LUC 2110-04: Initial presentation of Glacier City Center, proposed mixed use development located off Hightower Road immediately north of the Post Office. Group will be seeking LUC recommendation for GBOS Resolution of Support for Development Master Plan. this meeting will also serve as the community meeting as required by AMC 21.03.020C. (Marco Zaccaro, presenting). Location is between the Post Office and Creekside apartments. Nate and Liz Ellis are working with the Demains on this project, which is mixed use multi-family. Original project on this location was proposed in 2006 however was dropped prior to ground breaking.

Residential part of project is 10 townhouses in 2 buildings at the west side of the lot, backing up on California Creek setback, 100' from the creek. Set up is bottom floor garage, 2nd floor living area, 3rd floor bedrooms. Possible that there may be covenants regarding nightly rental, to encourage longer minimum stay.

Commercial part of the project is a single separate building envisioned to hold a coffee shop, distillery, sandwich shop. These will have south facing windows and outdoor space as possible. Development of this is on the Southeast corner of the lot, facing south toward the

back of the Post Office. This provides separation of the housing and commercial elements, and also keeps those separate from other residential development in the area.

Concepts for both residential and commercial buildings includes solar panels.

Project requires a Development Master Plan, which means that as long as the project meets or exceeds the underlying design standards, the architect can create their own standards. This was the case with the Nordic Spa as well. Areas that they will pursue that is different than existing code are:

- Mixed use code specifies lower level to be commercial use and upper levels residential in the same building. Separating these uses seems beneficial both to the commercial entities and to the residential owners.
- Increase roof overhang from 2' to 4' to allow more overhead coverage for pedestrians using the sidewalk
- Less incline of roof pitch to eliminate unintended roof avalanches. The pitch of this roof is similar to that of the new clinic design and currently under construction nearby.

Public discussion:

Developers hope to sell condos to local families but there are no planned restrictions.

Price point is currently not known.

Impact to Tiny Creek/California Creek – staying out of the setback, no impact.

Goal is to break ground summer 2022.

Request not to use bump-outs on road. These are difficult for plowing and melt/drainage. Request tie into existing drain system around Town Square.

Concept will be presented at GBOS next week as well, then project packet will be submitted to Planning, it is expected to return to local public process for review and vote in January 2022.

Agenda Item LUC 2110-05: Initial Presentation of Alyeska Employee Housing II, proposed for Tract B, Alyeska Prince Addition on Northface Road immediately west of Hotel Alyeska, east of existing Employee Housing. Group will be seeking LUC recommendation for GBOS Resolution of Support for Development Master Plan. This meeting will also serve as the community meeting as required by AMC 21.03.020C. (Connor Scher, presenting)

This project was part of the Nordic Spa concept as there will be need for housing of new employees. Adjacent to the current employee housing, this project will push back existing vegetative buffer into the area used for storage currently. Footprint of this building is similar to that of the existing employee housing. It is 3 floors tall and will be apartment style, not dormitory style. Goal for this housing is mid-management, long term housing, possibly families. Total of 58 units in 1 building, compared to 24 units in 3 buildings. No additional parking will be needed as there is a surplus of parking currently as established in parking study performed for the Nordic Spa, Arlberg Rd was developed for this amount of traffic, no road upgrades are needed. Project will be able to tie into existing utility infrastructure, no additional lines are required.

No negative impacts to the MOA are anticipated. Positive impacts are additional housing, ability to retain long term employees to join the community. Transportation options with intermodal options (tie in to trails for non-motorized access for recreation and other uses). Possible that a play area may be included, this depends on study of expected user group.

This project also requires Development Master Plan. Anticipate Planning and Zoning review in February 2022.

Public discussion:

58 units compared to 24 is denser than existing employee housing.

Encourage resort to consider green options to offset construction impact.

Agenda Item LUC 2110-08: HLB request for LUC Recommendation to GBOS Resolution of Support for Rezone of approximately 6.6 acres from GIP (Institutions & Parks) to GR3 (Residential), located within Tract B, Girdwood Elementary School Subdivision (Plat 85-38). (Shelley Rowton, HLB)

Rezone of GIP to GR# to allow for attainable housing development in these two areas. One is within the Holtan Hills, accessed from the existing water road, other is parcel accessed off Crow Creek Road. Buildable acreage is about 1.1 acre in Holtan Hills and 2.25 acres off Crow Creek Rd.

This project will be presented at GBOS this week and 2nd presentation next month at LUC and GBOS.

Public Discussion:

Add Athabasca Trail and Iditarod Trail to mapping.

Concern of proximity to school and concern for possible expansion of school if population increases. – School district owns other parcels to the south and east of existing building.

Has school district been approached about this development? This is not a requirement of rezone.

Possible to replace land that is rezoned from GIP to other location? This is not a requirement of rezone.

Request for GBOS/LUC Joint Meeting (1 of 2 completed in 2021): Held April 29, 2021

Adjourn 9:37PM

Municipality of Anchorage



P.O. Box 390
Girdwood, Alaska 99587
<http://www.muni.org/gbos>

David Bronson, Mayor

GIRDWOOD VALLEY SERVICE AREA BOARD OF SUPERVISORS

Mike Edgington & Briana Sullivan, Co-Chairs

Jennifer Wingard, Amanda Sassi, Guy Wade

October 18, 2021 GBOS Regular Meeting Minutes Final 7:00 p.m. via Microsoft Teams

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

The Girdwood Board of Supervisors operates under the Girdwood Public Meetings Standards of Conduct.

Call to Order 7:00 p.m. Briana Sullivan, Co-Chair

Roll Call: Attending are Briana Sullivan (BS), Mike Edgington (ME), Jennifer Wingard (JW), Amanda Sassi (AS)

Guy Wade is excused

Disclosures:

Briana Sullivan is supporter of Bikewood (#6) No substantial conflict determined

Mike Edgington is also a supporter of Bikewood (#6) and occasionally works for Z Architects (#10, #11). No substantial conflict determined.

Amanda Sassi is former volunteer with Girdwood Fire Dept (#5). No substantial conflict.

Prior to discussion of liquor licenses, Amanda also discloses that she works for Alyeska Resort. Group votes (3-0) on nature of this conflict finding it to be substantial enough to require her abstention from the discussion and vote on license renewals.

Agenda Revisions and Approval

October 18 2021 meeting agenda approved

ME/JW 4-0

Amended topic # 12 to make this topic generally supporting community garden grants

ME/JW 4-0

September 20 2021 GBOS Regular meeting minutes approved

ME/JW 4-0

Introductions, Presentations and Reports:

1. Legislative Report

Sen. Roger Holland – No report

Rep. James Kaufman, staff Matthew Harvey provides update. Working with Legislative Legal Dept to understand the Economic Development Tax exemptions mismatch of state law and municipal code that Mike Edgington has brought forward. IT would be good to get this to the legislature in January to address. Currently in Special Session #4, with the following items to be addressed: supplemental permanent fund dividend; revision of PFD formula consideration; appropriation limits; new revenue sources.

Rep Kaufman website: [Representative James Kaufman - House District 28 - Alaska \(akrepkaufman.com\)](http://Representative.James.Kaufman.akleg.gov)

To contact Rep Kaufman and his staff: Representative.James.Kaufman@akleg.gov

Assembly members J. Weddleton, S. LaFrance: John Weddleton reports that Assembly is working on 2022 budget currently, encourages public to review and provide input. Townhall on WED 6PM at the Wilda Marston Theater regarding homelessness. Mask Emergency Ordinance passed by Assembly after Mayor vetoed it originally. This expires after 60 days. Original Mask Ordinance is still on the table. There has been a lot of testimony on this in person and via email/comment form to the assembly.

GBOS Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>

Motion:

GBOS moves to encumber \$60,088 from the GVSA Roads Capital account to complete engineering, design, permitting and construction support by HDR of fish passages to be rebuilt at Alyeska Creek on Mt. Hood Dr. and Davos Rd and at Moose Creek at Lake Tahoe Rd.

Motion by Mike Edgington, 2nd by Jennifer Wingard

4 in favor, 0 opposed in roll call vote

Motion carries

NEW BUSINESS:

10. **Agenda Item LUC 2110-04:** Initial presentation of Glacier City Center, proposed mixed use development located off Hightower Road immediately north of the Post Office. Group will be seeking GBOS Resolution of Support for Development Master Plan. (Marco Zaccaro, presenting).

Updated meeting packet has majority of the presentation. Plan is for 10 condo units in 2 buildings along the California Creek side of the lot. Corner near the post office will have commercial building that holds distillery, coffee shop and sandwich shop, with upstairs space for events. Ellis Family has acquired the property from the Demains and plan to build a mixed use project that will benefit the community through additional housing, meeting and social space.

Development Master Plan will deviate from existing code requirements as long as the project meets or exceeds the existing standards/code. 3 areas that will differ from code in the GC8 zoning area are: horizontal rather than vertical mixed use; deeper overhangs of roof, which will protect sidewalks/pedestrians; shallower roof pitch, which is also safer for pedestrians than steep pitch.

This item will be sent to the MOA for review, and will return to LUC and GBOS once that review is complete and prior to Planning and Zoning hearing. Group plans to begin construction in summer, 2022

Group discusses parking. It is noted that parking at Post Office is now more full because of clinic construction. Staff are likely to park offsite of clinic after construction is complete as well. No direct crosswalk is currently in place from this lot to the bike path. Bike path is across the street, access currently is either at the Post Office or Creekside. Question if Post Office can accommodate need for more PO Boxes related to various proposed housing developments.

11. **Agenda Item LUC 2110-05:** Initial Presentation of Alyeska Employee Housing II, proposed for Tract B, Alyeska Prince Addition on Northface Road immediately west of Hotel Alyeska, east of existing Employee Housing. Group will be seeking GBOS Resolution of Support for Development Master Plan. (Connor Scher, presenting)
- Updated meeting packet has most of the presentation. Plan is for 56 units on 3 floor development, mostly 1 bedroom and studio apartment style living in similar footprint as existing Alyeska Employee housing, which is more dormitory style. Surplus of parking already, no need to provide more. Square footage of secure storage areas exceeds amount needed, although configuration is different that what is outlined in code.
- This project also is working through Development Master Plan. Areas that differ from existing code include appearance, need for kids play space (as demographic is not likely to have kids), and walkways to access existing paths, onsite storage configuration. Project will return to LUC and GBOS for action once MOA review is complete and prior to Planning and Zoning hearing. Group plans to begin construction in summer 2022.

Motion:

GBOS moves to extend meeting to 10:30PM.

Motion by Mike Edgington, 2nd by Jennifer Wingard

4-0 motion carries

12. **Agenda Item LUC 2110-06:** Girdwood Community Land Trust request for GBOS Resolution of Support for Grant Applications related to community gardens by Girdwood Community Land Trust (GLCT, Krystal Hoke)
- GCLT originally was working on RurAL CAP grant with imminent deadline, however that grant is not available for Girdwood projects. Now seeking a more general Resolution of Support to include with grant applications related to community gardens.
13. **Agenda Item LUC 2110-08:** HLB request for GBOS Resolution of Support for Rezone of approximately 6.6 acres from GIP (Institutions & Parks) to GR3 (Residential), located within Tract B, Girdwood Elementary School Subdivision (Plat 85-38). James Winegarner, Acting MOA Real Estate/HLB Director, presenting.
- Rezone request is for the acreage to be removed from Girdwood Institutions and Parks (GIP) and rezoned as GR3, which allows for single family homes. Plan is for this area to provide for Girdwood residential housing. School enrollment is at 76% of capacity, ASD has no plans to expand Girdwood School in the foreseeable future, or to add a high school within Girdwood.

Concerns expressed are:

Proximity of the proposed development to the Athabaskan Trail and Iditarod Trail. The Athabaskan Trail is within school property. Although not removed by the development, the Athabaskan trail could be impacted by nearby development. A buffer is requested to maintain the character of the trail.



[◀ Back](#)

[Taxes](#)

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Public Inquiry Parcel Details

[Show Parcel on Map](#)

PARCEL: **075-031-41-000** 01/01 Commercial Vacant Land 12/03/21

GLACIER CITY DEVELOPMENT LLC

GIRDWOOD ELEMENTARY SCHOOL

TR E3

625 Highlander Cir

Anchorage

AK 99518 0000 Site

Lot Size:	65,512	---Date Changed---	----Deed Changed----	GRW: PIWt
Zone :	GC8	Owner : 07/15/21	Stateid: 2021 0031029	
Tax Dist:	004	Address: 07/15/21	Date : 06/02/21	
Grid :	SE4715	Hra # :	Plat : 950035	
GRW: PIWC			REF #: 06/09/95 075-031-31-000	

ASSESSMENT HISTORY

	---Land--	--Building-	---Total---	
Appraised Val 2019:	424,100	0	424,100	
Appraised Val 2020:	432,900	0	432,900	--Exemption---
Appraised Val 2021:	441,700	0	441,700	-----Type-----
Exempt Value 2021:	0	0	0	
State Exempt 2021:			0	
Resid Exempt 2021:			0	
Taxable Value 2021:			441,700	

Liv Units: 000 Common Area: Leasehold: Insp Dt: 08/19 Land Only
/

[Feedback E-mail: wwfipa@muni.org](mailto:wwfipa@muni.org)

Notes from Development Master Plan Pre-Application Conference
Girdwood Mixed Use Development
November 3, 2021

Review from the Concept Meeting

- The microdistillery would be allowed by-right without a conditional use permit. If the square footage of the microdistillery is over 2,000 square feet, additional site plan review would be required (see discussion under Current Planning).
- Discussed the setback from California Creek during the concept meeting; since then, the ordinary high-water mark had been surveyed.
- The proposed design of the townhouses is a residential garage on the first floor with residential living space above. Title 21 requires second-story residences to be above a commercial ground floor use within the gC-8 District. An approved development master plan calling out the proposed design as varying from Title 21 would allow for the residential garages to be on the first floor with living space above.
- Marco (Z Architects) added some thoughts on the proposed design: Wanted the residences on the west side and the commercial space on the south side. The proposed site plan does not impede views from residential buildings on neighboring properties. The commercial building abides with Girdwood commercial guidelines and parking is centralized. The parking strategy uses a two-way driveway with a hammerhead turnaround for fire safety and takes advantage of several parking reductions.
- Nathan (petitioner) added that the project has a huge amount of public support. The project will improve both the need for housing and need for commercial gathering space in Girdwood.
- Municipal staff asked for clarification on proposed Building B that is also marked as a snow storage location. The petitioner clarified that there are not definitive plans for Building B yet and its construction would likely be 4 years out. It would likely have a commercial use. The area of proposed Building B is needed for snow storage, but may not be in the future if they are able to reduce required parking spaces. Another option allowed in Girdwood could be truck snow off the site. Municipal staff recommended removing the markings for proposed Building B since it is not part of the current proposed site layout; having it there may lead to confusion since you would need to show enough parking for Building B.

Current Planning

- Current Planning asked about the size of the microdistillery. If the microdistillery is under 2,000 square feet it is permitted by-right. An administrative site plan review is required for a microdistillery between 2,000 to 4,000 square feet. If an administrative site plan review is required, this could possibly be incorporated into the development master plan—talk to Planning staff if this will end up being a requirement for a distillery of over 2,000 square feet in size. Contact Francis with additional questions on the Alcohol SLUP.
- Alcohol SLUP separation distances: okay for distance to Girdwood Elementary parcel because there is no separation distance requirement for a microdistillery classified as a bar.

- Current Planning asked about the event space use. The petitioner replied that it would be an extension of the bar/brewpub. Current Planning agreed the intend use fell under the bar/brewpub use and did not meet the definition of a club/lodge/meeting hall or a restaurant.
- Dave commented on the three parking stalls nearest the residential area. It looks like you may not have turning maneuver for that without the fire lane being built. Coordinate with Traffic on this. Traffic added that 24-feet would be adequate and to include dimensions on the site plan as it does look tight. It looks like those 3 space would be for visitor parking and they should be parked as such.
- Remove the note showing snow storage in the fire lane.
- Consider plan north vs. true north in explaining projects (not a requirement; just consider in explaining the project to Commissioners since often they assume plan north is true north).
- Ensure scale bar is accurate in application submittal.
- The intent in Title 21 for the gC-8 District includes a human scale and strong relationship to the street; ensure you address the zoning district intent in the application.
- Ensure there are pedestrian connections within the parking lot for people to cross and roofed entrances; understand that a walkway across all driveways for townhouses does not make sense – still need pedestrian connection from the townhouses to the mixed use development.

Long Range Planning

- Consider improving street frontage and connection to the street.
- Review the description for the town center in the [Girdwood Area Plan](#).
- Also review the [Girdwood South Townsite Master Plan](#), and the [Girdwood Commercial Areas and Transportation Master Plan](#).

Private Development

- Development Services confirmed no required improvements in California Creek right-of-way and petitioner confirmed no plan for improvements in California Creek right-of-way.
- Curb, gutter, and sidewalk will be required along the full property frontage along Hightower Road.
- Discussion on drainage: There is a ditch on west side of Hightower Road. When that is filled in for the sidewalk, drainage will push into the curb line and the curb line is funky because of the driveways and curb bumps. There is an existing storm drain to that you can tie into. Drainage is coming south in the ditch. The drainage will need to go somewhere and will need to be diverted; cannot block drainage with the new sidewalk. Could it be taken down California Creek Way towards California Creek? Discussed and that is unlikely. Road drainage as well as parking lot drainage will have to be accommodated; the curb line is tricky. Chris Burt on the petitioner's team will address drainage. Could potentially have an inlet between the driveways with ditches on the other side of the sidewalk. Town center areas have 11-foot lanes, so 22 feet of pavement excluding shoulders for the roads. Drainage plan is still being developed.
- Discussion on curb and gutter: Rolled curb or no curb is the petitioners' preference. No curb is not an option; curb and gutter must be provided. Municipal staff to have follow-up discussion on curb requirements. WMS interested in curb follow-up discussion as it relates to drainage. 21.09 requires barrier curb in the commercial town site. Petitioner stated rolled curb is easier to maintain and variances from Title 21 may be requested with the development master plan.

- Discussion on lighting: See that the street lighting stops at the post office and then picks up north of the site towards Girdwood Elementary. Will leave to Traffic to determine street lighting requirements. Municipal staff to have follow-up discussion on lighting requirements.
- Separate internal meeting held (see comments at end of notes) to clarify guidance on drainage, curb and gutter, parking, and lighting.

Traffic Engineering

- Two driveways are allowed if they are separated by 20 feet and they will improve site circulation. The proposed layout seems to meet those requirements.
- ADA parking is sharing an aisle.
- Confirmed on diagram the parking and land banking is shown in the right-of-way for California Creek. This is an issue because land banking is for developed rights-of-way.
- Confirmed the proposed parking spaces are outside of required setbacks.
- Marco flashed parking reduction draft document on screen, which was later shared with Traffic Engineering for initial review.
- A separate discussion is necessary for the parking reductions. Make sure you are able to get the parking reductions before the Municipality reviews the site plan. It would make permitting go more smoothly to do that. Reductions are approvable by the Traffic Engineer and Planning Director. The new Municipal Traffic Engineer is Brad Coy.
- There is not residential office support for the townhouses for parking space considerations.
- If there is rolled curb, it should be detached from the sidewalk. If there is barrier curb, then it can have attached sidewalk.

Girdwood Service Area Manager

- Tying into existing drainage system that is working in Town Square is preferable.
- The undeveloped right-of-way is important for snow storage.

Watershed Management

- Most of the site is within the 500-year floodplain. There are no municipal requirements for the 500-year floodplain, so this would be an advisory comment. In general, flood maps in Girdwood are out of date, so an area within the 500-year floodplain may have a greater chance to be mapped more restrictively in the future. That mapping change is probably out of the timeframe for this project. Be aware that different lending institutions have different constraints in case the 500-year floodplain would potentially affecting funding.
- Building A is outside of the 100-year floodplain. The northeast corner of proposed future Building B might be within the 100-year floodplain.
- Jeff Urbanus will share a flood map for Girdwood made by HDR a few years ago.
- Setbacks should be based upon the most recent 2021 survey marking ordinary high water and not the 2006 survey; show that clearly on submitted maps. Communicate with Kyle Cunningham if necessary.
- The back side of the townhouses are really close to the riparian edge zone. The riparian edge zone must not be disturbed during construction.

- Decks, not to exceed 500 square feet, can overhang into the riparian edge zone. There may be multiple 500 square-foot decks and up to half of the riparian edge setback area.
- T&E utilities can be within the riparian edge zone. Marcus confirmed the lines are underground and would remain underground.
- Support design showing no basements for this site.

Fire, AWWU, State of Alaska DOT&PF

Not present.

Additional post-meeting comments from municipal staff:

- General:
 - Development Master Plan must specifically call out any proposed variances from Title 21 code requirements.
- Lighting:
 - Hightower Road is classified as a collector roadway in the [OS&HP](#). This parcel also fronts a portion of Hightower Road that would meet Girdwood "Town Site Commercial Area Streets". Petitioner should expect that additional street lighting will be required with the development. The fixture type and quantity will require submittal from electrical engineering showing that minimum standards of Chapter 5 of the DCM are met for roadway and pedestrian safety parameters.
 - A map of existing streetlights is available here: <https://muniorg.maps.arcgis.com/apps/webappviewer/index.html?id=4d15f7b65cdb4ddc930ad1feb6f40758>
- On-site parking:
 - The petitioner needs to provide parking calculations for all uses on the site.
 - The preliminary site plan shows Building B. If this remains, then calculations will be required based on retail use per AMC Chapter 7.
 - There are no calculations supplied for the proposed residential uses, but it appears that adequate parking may be provided for that use. Designate guest parking spaces on the plans.
 - Parking requirements will go down slightly since petitioner was using restaurant use requirements for initial parking calculations.
 - Provide turning radii for Fire Department review.
- Parking reductions:
 - Petitioner needs to set up a meeting that includes both Traffic Engineering and Planning staff, to include both Planning Director and Traffic Engineer.
 - Traffic Engineering had the following comments on draft proposed reductions in a document sent to them for review:
 - The percentage reductions are multiplicative and not additive. For example, $0.9 \times 0.95 = 0.855$ reduction.
 - F.8: Use adjacent to Transit. Petitioner needs to provide information that there is an active bus stop with 800 feet of the property. Since Glacier Transit is not a municipal bus route, the bus stop information needs to be provided for determination. (5%)

- F.10. Transit Pass Benefits: Is the Girdwood shuttle free? How do we grant transit pass benefits for a free shuttle? (10%) There may be a precedent to grant this reduction from Girdwood Brewery.
- F.12. Land Banking: Proposed area of land banking is in the municipal right-of-way. Land banking in the right-of-way is not allowed since the property is not owned by the petitioner. If this parking were needed in the future, then California Creek Way would be required to be developed.
- F.16.D Shared parking within 800 feet. The site plan does not show any other use that they would be sharing with at this time. This would also only be eligible if the adjacent shared use had parking in excess of their needs. (Not applicable to this development)
- F.21. Small Parking Spaces for Employee Parking. The current site plan shows full-size spaces. This reduction only allows for 20% of required parking to be narrower in width. This does not appear to be applicable at this time. It also does not reduce any number of required spaces, just the space size.
- F.22. Bicycle Parking. Petitioner will be required to show the 12 proposed bicycle spaces on drawings that meet standards in 21.07.060 F.15
- 21.09.070 L.2 Girdwood Specific Parking Regulations. Petitioner needs to identify the spaces that are within 600 feet of the property that they propose to use.
- Curb and gutter:
 - Curb and gutter is required per 21.09.070F.4.b.
 - The curb bulbs will be problematic for drainage. Recommend getting rid of parking bulbs for the bays on Hightower Road and straightening the curb line.
 - There is no rolled curb in the existing developed areas of the Girdwood town square area. All of it is barrier (vertical) curb. Municipality would like Hightower Road to have vertical curb to match existing development in the Girdwood town center and to meet intent of gC-8 District.
 - Vertical barrier curb is okay with Girdwood Service Area Manager for maintenance if the curb bump out bulbs in the design along Hightower Road are removed to create a straight curb line.
 - Traffic Engineering okay if sidewalks are attached to back of vertical curb (but must not be attached for rolled curb).
 - Vertical curb will direct runoff better.
- Drainage issues:
 - Use existing town square drainage system.
 - Tie into existing storm drain system to beehive and send to inlet. There is no ditch leading to inlet; it ends at the post office.
 - On-site drainage treatment: need to show swales or other LID.
 - Undeveloped right-of-way important for snow storage.

WMS Archive File Name: _____

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: _____
- Project Location, Tax ID, or Legal Description: 075041/38/39/40/42
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

_____ 29 **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

DOES contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

ADDITIONAL INFORMATION:

- | | | |
|---|--|---|
| <input type="checkbox"/> Y <input type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | |

Inspection Certified By: _____

Date: _____

[Signature]

12-13-21

DRAINAGE PROJECT NOTIFICATION AND WMS MAPPING REQUEST

Applicant Name*	Nathen Ellis	Contact Information* (Phone and email)	nathen49@gmail.com
Mailing Address*	PO Box 274 Girdwood, AK 99587		
Property Description* (subdivision, lot(s), and block)	Commercial Vacant Land; Lot		
Plat/Grid Number	Grid: SE 4715 / Plat: 950035	MOA Assessor's Office Property Identification Number*	075-031-41-000
MOA Case Number(s) (Indicate which provided)			
Project Category* (Check one)	<div style="display: flex; justify-content: space-between;"> <div> Crossing: Single-Lot Residential: Small: Large: </div> <div> <input type="checkbox"/> Class 1A <input type="checkbox"/> Simple <input type="checkbox"/> Simple </div> <div> <input type="checkbox"/> Class 1B <input type="checkbox"/> Complex <input checked="" type="checkbox"/> Complex </div> <div> <input type="checkbox"/> Class 1C <input type="checkbox"/> Class 1D </div> </div>		
Parcel Physical Location* (Driving directions, roads, etc)	Drive North on Alyeska Highway, take left on Hightower Rd, the property is		

Requested Services*

- ☐ Review watercourse mapping
- ☐ Special review services requested
- ☒ Flag stream features on-site
- ☒ Notify prior to site visit
- Attempt to notify will be made using the contact information provided; however, pre-visit contact or scheduling for applicant presence cannot be guaranteed

on the left right after the Post Office.

Requested completion date: As soon as possible; 08/11/21 (Preferred completion date)

No later than completion date: 08/20/21 (Later completion may incur significant project delay)

Dates and service availability cannot be guaranteed. Scheduling is based on Planning Department priorities, request receipt order, and seasonal constraints (at minimum, mapping review requires channels to be free of snow and ice)

* Required Information

Attachments: ← Site-plans previously submitted.

- ☐ Draft map of known watercourses showing all streams and major drainageways entering, crossing or exiting the project, and the location(s) of downstream receiving waters
- ☐ Preliminary post-development site map
- ☐ Threshold calculation (required for Single-Lot Residential and Small Projects only)
- ☐ Tabulation of pre- and post-development landcover (required for Small and Large Projects only)

Certification:

By signature below, I certify that I am legally entitled to authorize the requested services and that the attachments provided are complete and accurate representations of known site conditions and project plans. I further authorize Municipality of Anchorage (MOA) personnel to access the referenced site on foot for the purposes of identifying and / or mapping drainage features

This form and its attachments constitute my notice to the MOA that I am developing plans for a drainage project or platting action and will be submitting a report of existing or proposed drainage conditions. I understand that all drainage projects are governed by the MOA Project Management and Engineering Design Criteria Manual, the MOA Drainage Design Guidelines, the Anchorage Municipal Code, and other state and federal regulations and permits

NE

Signed

8-5-21

Date



Marco Zaccaro
PO Box 842
Girdwood, AK 99587

(907) 783-1090
(907) 783-1095 fax
zarchitects@alaska.net

GLACIER CITY CENTER Design, Permitting, and Construction Timeline **rev. 12/20/21**

Items in green are completed.

Items in blue are proposed design/progress meeting dates

Items in black are in process or to be done.

Project Schedule

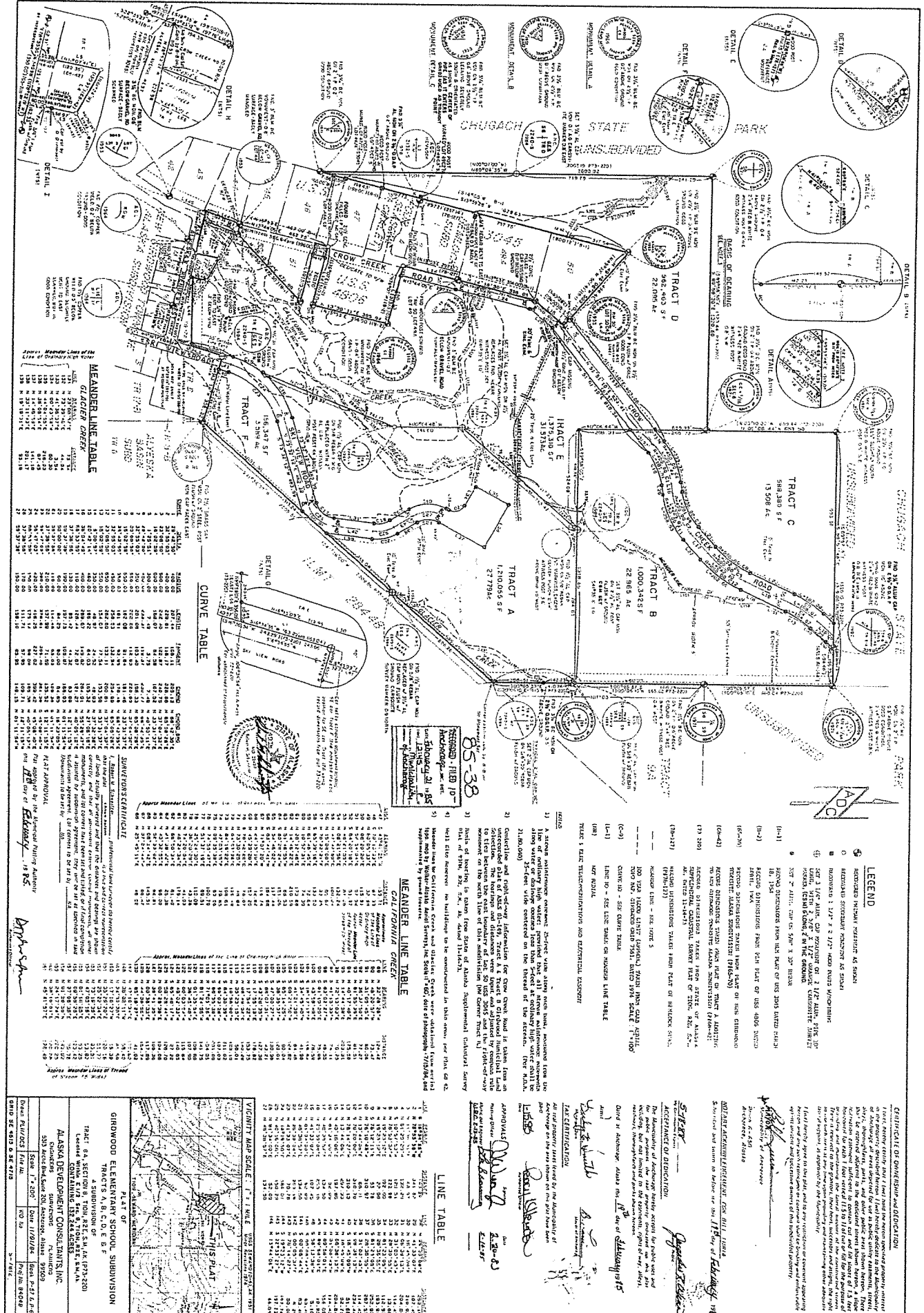
- May 6, 2021 Initial Site Visit
- May 11, Start programming effort
- May 25, Finish Zoning Analysis.
- May 26, GCC Client Meeting - programming and stacked condo concept, Design Review with client.
- June 1, Received program info from client.
- June 2, Change condo buildings to townhouse.
- June 3, Start townhouse footprint studies site plan.
- June 20, Completed first pass concept design for Building A.
- June 20, Preliminary parking analysis completed.
- June 29, GCC Meeting – Review site plan concepts and Building A concept design.
- July 6, Start addressing stream setback ordinance change on GCC site plan.
- July 8, Received old stream edge AutoCAD drawing from surveyor.
- July 9, Finish site plan D addressing new stream setback and taking advantage of vacating stream plat note.
- July 12, MOA design concept meeting narrative completed.
- July 27, GCC Meeting – MOA Planning Department design concept meeting.
- July 30, MOA determination received regarding residential uses on first floor, distillery, and new stream setback ordinance.
- August 5, Informal permitting discussion with Mike Edgington.
- August 9, Start Development Master Plan.
- August 20, Building A code analysis (partial).
- August 25, GCC stream edge mapping – MOA Watershed Management and F.R. Bell survey of mapping.

- September 3, 3D Massing model for building A due for client review and comment.
- September 14, Stream edge survey document due from F.R. Bell.
- September 14, 3D Townhouse massing model due for client review and comment.
- [September 14,](#) 3D Concept Design Review Meeting; Attendees: Marco, Nathen, and Liz. Review project schedule.
- September 20, Deadline for notice of community meeting to be sent out per AMC 21.03.020.C.4
- **September 20,** 15% 3D Conceptual site model with building massing models submittal for client review and comment.
- September 30, Owner comments regarding concept site and building 3D models due.
- October 1, Start Architectural 35% Schematic Design phase.
- [October 11,](#) 35% Architectural Design Review Meeting and submittal: Site, Building A and Townhouses; Attendees: Marco, Nathen, and Liz.
- October 11, Girdwood Land Use Committee first presentation. This will serve as the Community meeting as required by AMC 21.03.020.C.2.a.vi
- October 18, Girdwood Board of Supervisors first presentation.
- November 3, MOA Planning Department Pre-Application conference.
- November 4-15, Sent: DMP engineering assistance RFP's:
 - Landscape Architect, Site Electrical, and Civil RFP for entire project. requested separate fee for Development Master Plan Component.
 - Requested fee for building A mechanical to 15% for civil assistance.
- November 4, Sent: Structural engineering RFP for townhouses.

- November 5, State Fire Marshal determination that townhouses will require stamped M&E drawings.
- November 5, Sent: Mechanical and Electrical RFP for townhouses.
- November 9, Received preapplication meeting notes from MOA planning department.
- November 9-16, Received: Landscape Architect, and Civil proposals for DMP.
- November 8-17, Received: Structural, Mechanical, and Electrical Engineering proposals for townhouses. Site electrical engineering for Development Master Plan.
- November 11, Client – Contractor initial constructability meeting.
- November 19, N.T.P.: 35% Civil, electrical and Landscape site design for DMP.
- November 19, N.T.P.: 35% Electrical, and Structural design for Townhouses.
- November 22, N.T.P. Mechanical Design for Townhouses.
- November 22, Resume electrical line reroute effort based on surveyed riparian zone edge.
- November 30, Plan review meeting with MOA traffic engineer.
- December 2, Electrical easement reroute proposal from CEA.
- **December 5,** **35% Design Submittal for Development Master Plan:** Architectural, Civil, Landscape and Site Lighting Plan as required for MOA 'Development Master Plan'.
- **December 6,** **Submit 'Development Master Plan'** to MOA planning department. Cut-off date for February 14 Planning and Zoning Hearing.
- **December 13,** **35% Townhouse Schematic Design Submittal:** Architectural and Structural.

- December 21, End of MOA completeness check.
- December 23, DMP application sent to GBOS/LUC.
- **January 4,** **35% Townhouse Schematic Design Submittal: Mechanical and Electrical.** 35% electrical Site plan and mechanical assist civil in sizing utilities to building A.
- January 10, Girdwood LUC hearing. Cannot hold in February as it conflicts with the P&Z hearing. LUC will have application but not staff report.
- January 17, Girdwood GBOS hearing: request a resolution of support.
- January 31, End of MOA review period and MOA staff report sent.
- **January 31,** **65% Townhouse Design Development Submittal - Architectural and Structural.** These documents will also respond to any MOA comments that have been received.
- **February 7,** **65% Townhouse Schematic Design Submittal: Mechanical and Electrical.** 65% electrical Site plan.
- **February 14,** **Planning and Zoning Commission Hearing.** Development Master Plan approved. Date preliminary pending publication of 2022 hearing dates.
- **March 4,** **Civil Documents Submittal:**
 - AWWU plan set and application for the water and sewer to building A and townhouses
 - 100% stamped drawings for water and sewer to townhouses.
 - Grading and drainage plan for the entire site.
 - Townhouses Plot Plan
- **March 7,** **AWWU Water and Sewer Permit Application.**
- **March 14,** **95% Townhouse Construction Documents and Land Use Permit Submittal.** All disciplines. *LUP submittal requires architectural plans, section, elevations, civil and landscape permitting drawings*


- March 21, Anticipated AWWU permit approval date.
- March 30, Start deep utility installation – only requires an AWWU permit.
- April 1, **100% Townhouse Construction Documents Submittal.** All disciplines. Submit townhouses to Alaska DPS (state fire marshal) for full Plan Review (if required). *Date dependent on receipt of plot plan.*
- April 14, Anticipated MOA Land Use Permit approval date.
- May 1, Start of migratory bird restrictions (no tree clearing allowed after this date).
- May 1-30 Typical load restriction period.
- May 20, Anticipated Alaska DPS townhouses full approval.
- May 30, 2022 Start site and townhouses construction, after load restrictions lifted.
- May 30, 2023 Finish major construction. Start FF&E.
- June 14, 2023 Site and Townhouses competed.
- **Note: Building A construction schedule to be determined.**



[illegible]

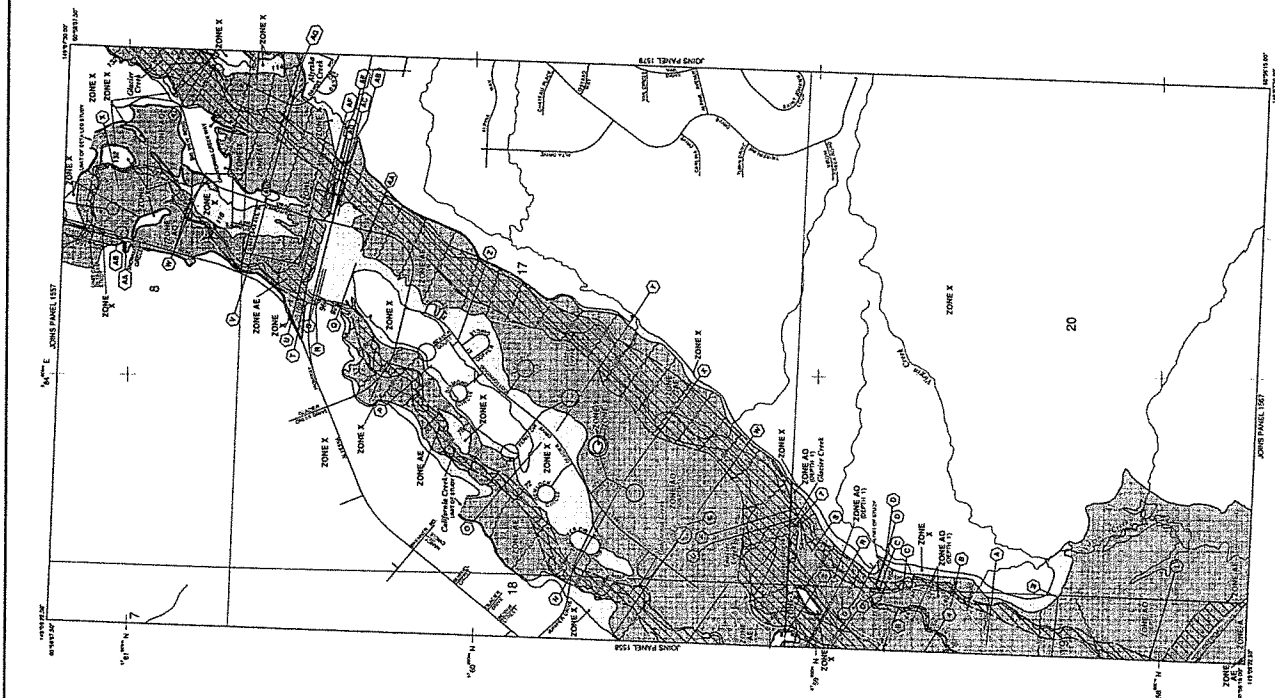
1 SITE PLAN, REV. E
SCALE: 1" = 20'

Chugach Electric Association proposed
electrical easement re-align 12-2-2021



INTERIM DESIGN DEVELOPMENT
11-2-21



[illegible][illegible]

PANEL 1559D
 FIRE
 FLOOD INSURANCE RATE MAP
 MUNICIPALITY OF
 ANCHORAGE,
 ALASKA
 ANCHORAGE DIVISION COUNTY
 PANEL 1559 OF 1975
 SEE MAP INDEX FOR PANEL, PLAT, LOT, OR
 BLOCK
 ISSUED BY: DANIEL J. KELSO
 CHARTERED SURVEYOR
 1975

MAP NUMBER
 0200031559D
 MAP REVISED
 SEPTEMBER 25, 2009

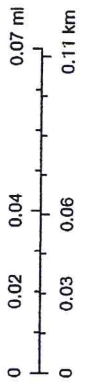
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NATIONAL FLOOD INSURANCE PROGRAM

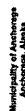
The map displays a network of roads and landmarks. Key features include:

- A solid black line representing a primary road route, passing through several small square markers.
- A prominent vertical blue line running down the center of the map.
- Yellow dashed lines indicating secondary roads or boundaries, such as one labeled "Stump's Store" and another labeled "Lynch Ave".
- A yellow shaded area located in the lower-left corner of the map.
- Various labels and markers along the routes, including "Stump's Store", "Lynch Ave", and "Hawkins Rd".

1:4,514



70



Zoning

Business Zoning

[illegible]

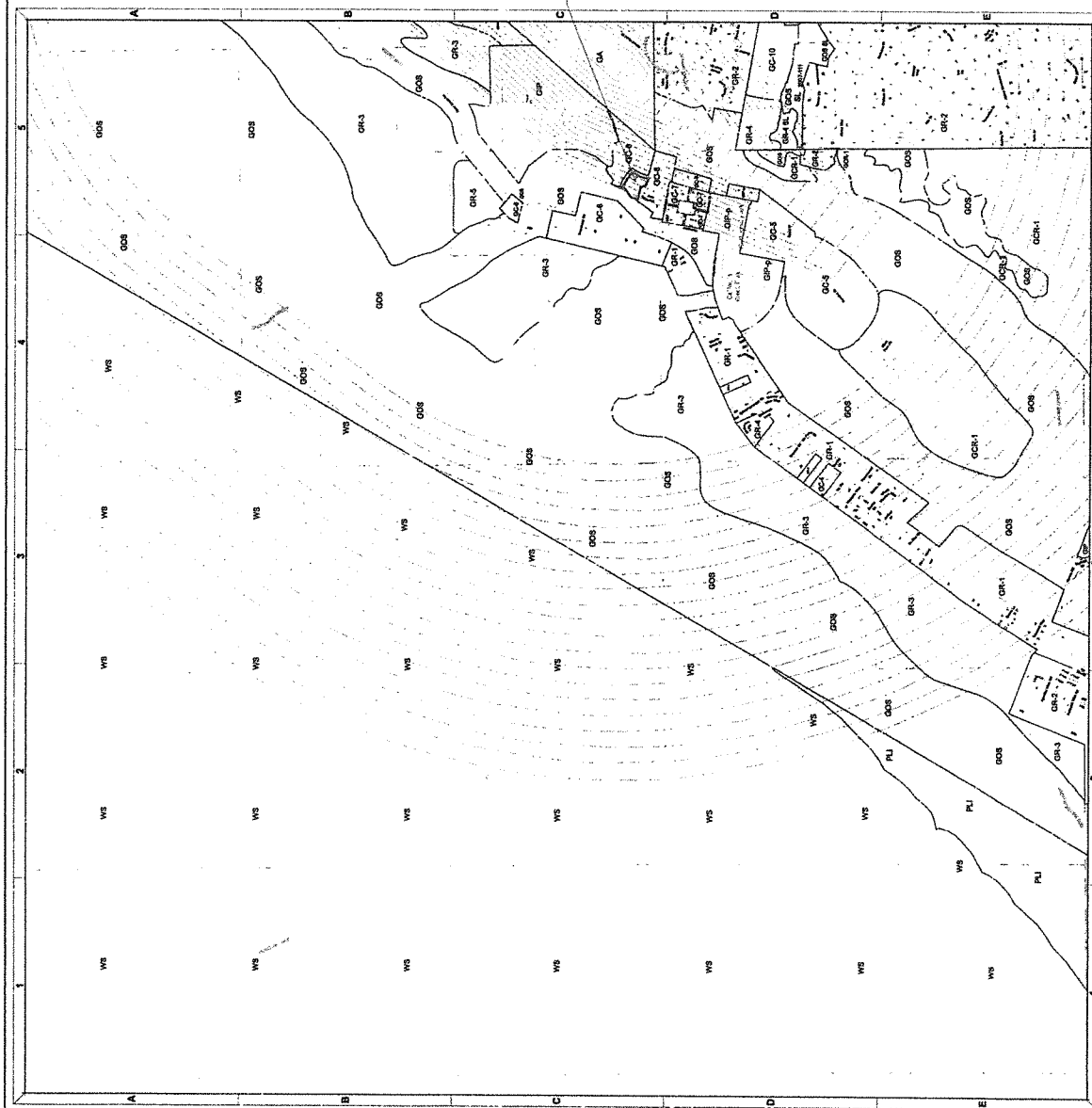
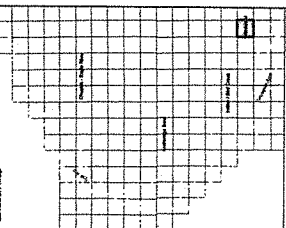
The Flood Hazard areas shown on the map are to be used for planning purposes only. Flood hazard areas are mapped and approved by the Federal Emergency Management Agency (FEMA). Copies of FEMA Flood Insurance Rate Maps (FIRMs) can be obtained by contacting the Municipal Flood Program, 207-343-6023, or visiting FEMA's Map Service Center.

Altitude Height Ordinance Depicts
F.A.R. Part 77 (20' height contour
intervals unless otherwise noted)

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The above chart refers to gold numbers for the Municipal $r^2 = .507$ cubic map series. Use the numbers below and numbers bracketing the map area to identify particular grid locations.

Location Men

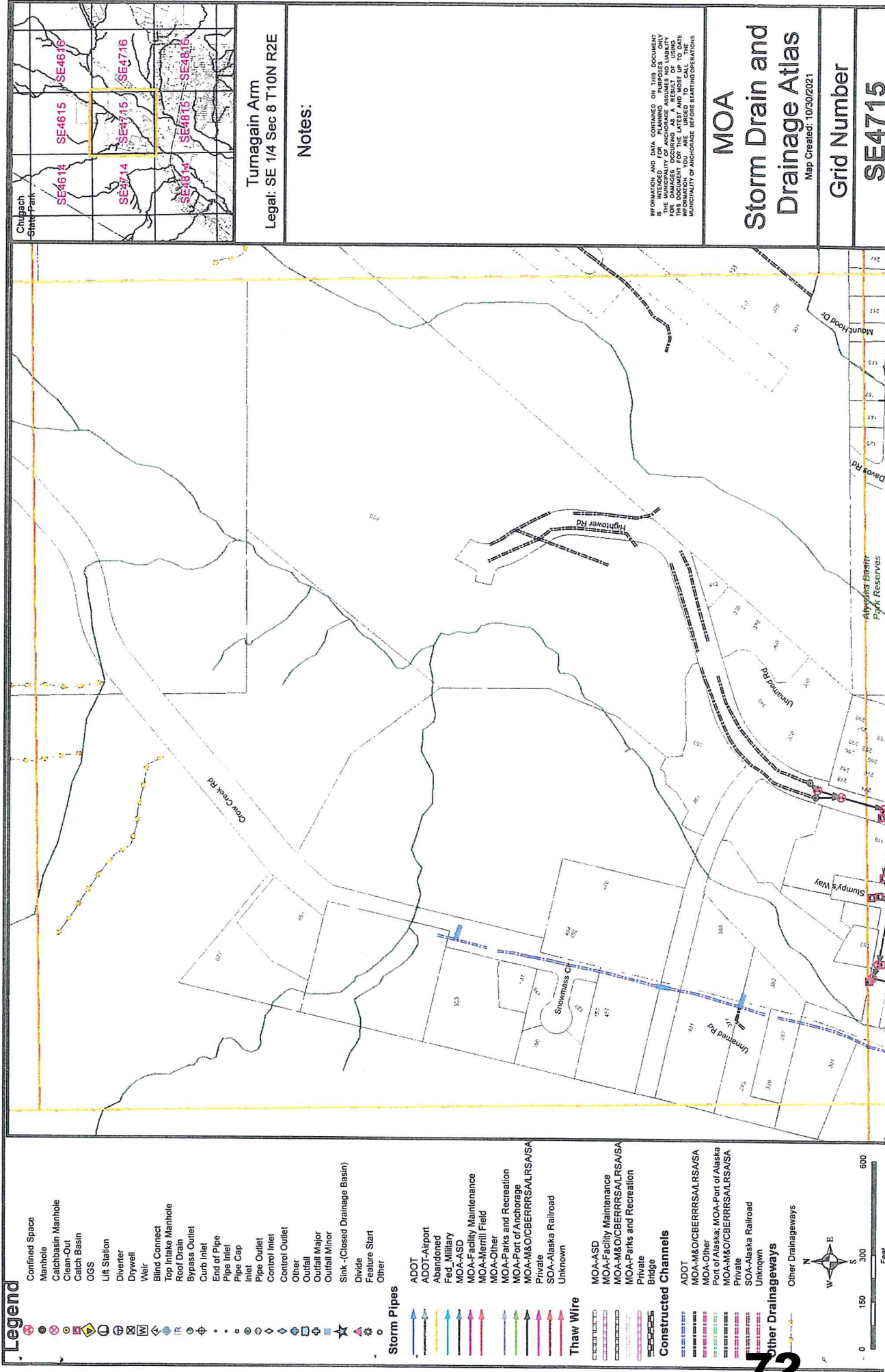


Zoning Legend

[illegible]

Infrared Joints (INJRS)		Joint Count Rating		Joint Count Rating	
0-1	None	0-1	None	0-1	None
2-3	Minor	2-3	Minor	2-3	Minor
4-5	Moderate	4-5	Moderate	4-5	Moderate
6-7	Severe	6-7	Severe	6-7	Severe
8-9	Very Severe	8-9	Very Severe	8-9	Very Severe
10-11	Extremely Severe	10-11	Extremely Severe	10-11	Extremely Severe
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[illegible]



Legend

- Confined Space
- Manhole
- Catchbasin Manhole
- Clean-Out
- Catch Basin
- OGS
- Lift Station
- Diverter
- Drywell
- Weir
- Blind Connect
- Top Intake Manhole
- Roof Drain
- Bypass Outlet
- Curb Inlet
- End of Pipe
- Pipe Inlet
- Pipe Cap
- Inlet
- Pipe Outlet
- Control Inlet
- Control Outlet
- Other
- Outfall
- Outfall Major
- Outfall Minor
- Sink (Closed Drainage Basin)
- Divide
- Feature Start
- Other

Storm Pipes

- ADOT
- ADOT-Airport
- Abandoned
- Fed_Military
- MOA-ASD
- MOA-Facility Maintenance
- MOA-Memorial Field
- MOA-Other
- MOA-Parks and Recreation
- MOA-Port of Anchorage
- MOA-M&O/CBERRRSLR/SA
- Private
- SOA-Alaska Railroad
- Unknown

Thaw Wire

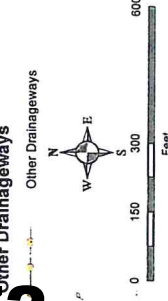
- MOA-ASD
- MOA-Facility Maintenance
- MOA-M&O/CBERRRSLR/SA
- MOA-Parks and Recreation
- Private

Constructed Channels

- ADOT
- MOA-M&O/CBERRRSLR/SA
- MOA-Other
- Port of Alaska; MOA-Port of Alaska
- MOA-M&O/CBERRRSLR/SA
- Private
- SOA-Alaska Railroad
- Unknown

Other Drainage

- Other Drainage



Turnagain Arm
Legal: SE 1/4 Sec 8 T10N R2E

Notes:

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MOA
Storm Drain and
Drainage Atlas
Map Created: 10/30/2021

Grid Number
SE4715

Municipality of Anchorage



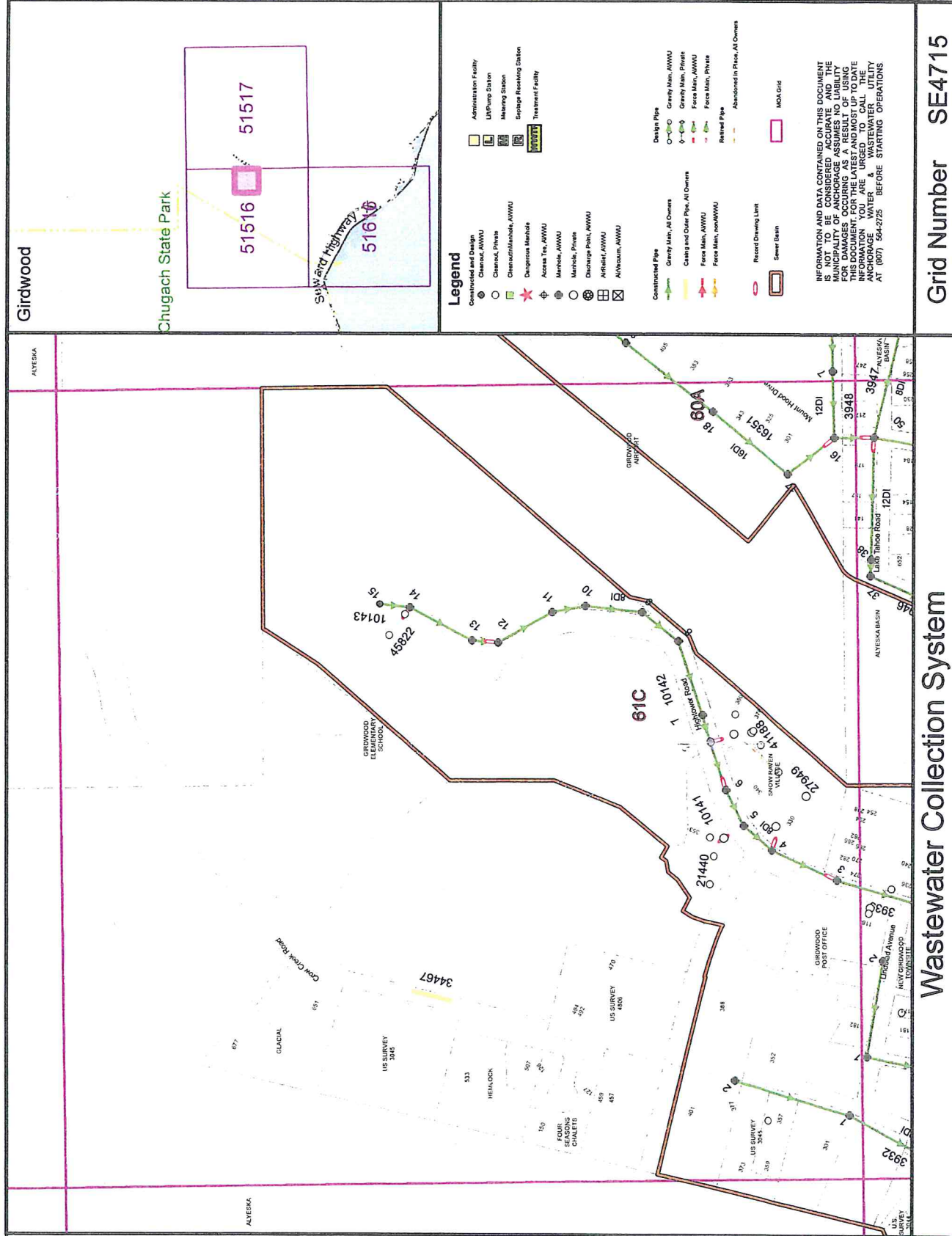
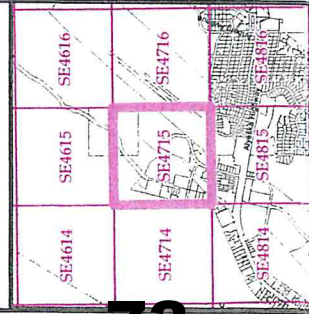
Pipe Types

ABS
AC
AC
CC
CI
CIPP
CMP
GN
CU
Copper
DI
Ductile Iron
FC
Formed Concrete
GI
Galvanized Iron
HDPE
High Density Polyethylene
MLC
Mortar Lined Concrete
PE
Polyethylene
PVC
Polyvinylchloride
RC
Reinforced Concrete
ST
Steel
TC
Techline
UNK
Unknown
VC
Vitrified Clay
WS
Wood Slave
WST
Welded Steel
NP
No Print
Private System



Map Created: 01/12/2021

Legal:
SE 1/4 Sec 8 T10N R2E



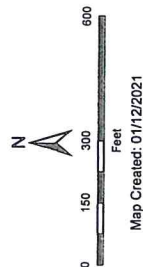
Wastewater Collection System

Grid Number SE4715

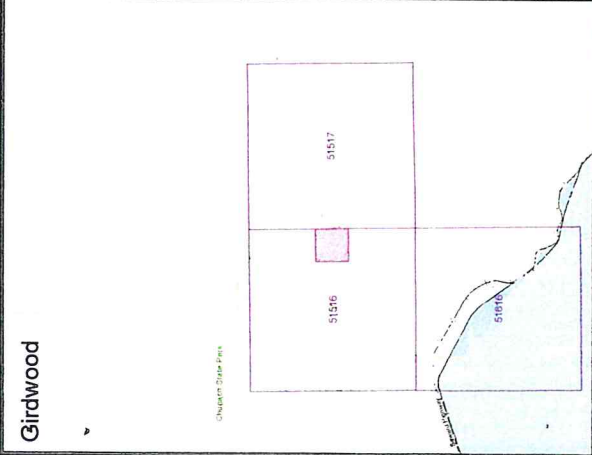
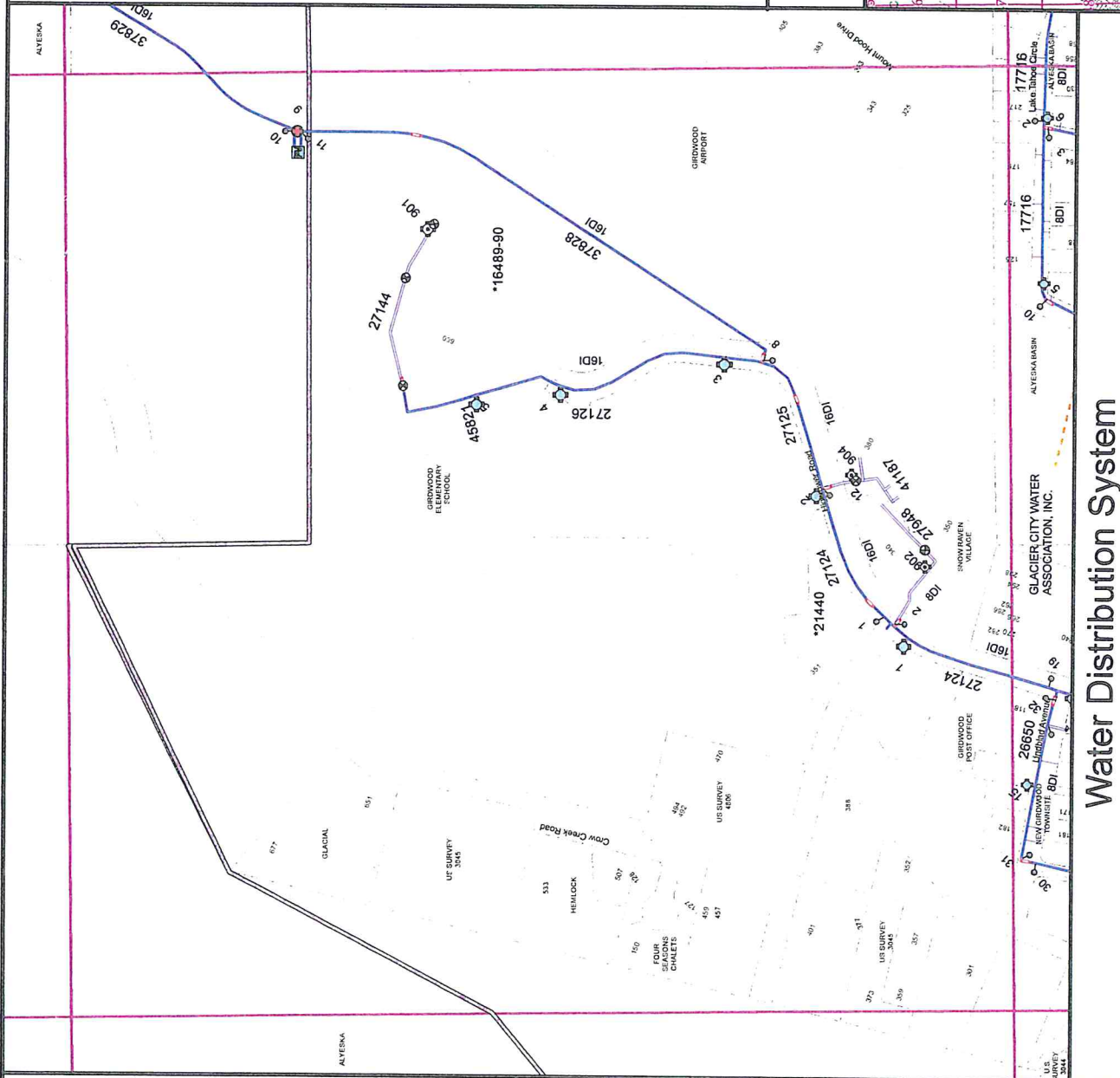
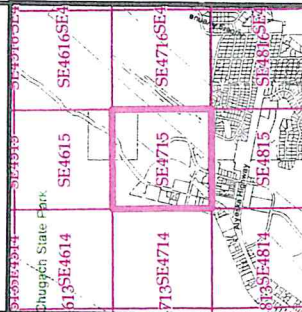


Pipe Types

ABS	Acrylonitrile-Butadiene-Styrene
AC	Asbestos Concrete
CC	Concrete Cylinder
CI	Cast Iron
CCIP	Cured In Place Pipe
CM	Compressed Metal
CCU	Concrete
CJ	Copper
DI	Ductile Iron
FC	Formed Concrete
GI	Galvanized Iron
HDPE	High Density Polyethylene
MLC	Mortar Lined Concrete
PE	Polyethylene
PVC	Polyvinylchloride
RC	Reinforced Concrete
ST	Steel
TC	Teach
TC	Teach
UNK	Unknown
V/C	Unfilled Clay
WS	Wood Slave
WST	Welded Steel
NP	No Print
	Private System



Legal:
SE 1/4 Sec 8 T10N R2E

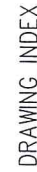


Legend

[illegible]

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Girdwood, Alaska



DRAWING SUBSETS
 CCC BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
 CCC TOWNHOUSES - SOUTH UNITS
 CCC TOWNHOUSES - NORTH UNITS

FULL SIZE DRAWING SHEETS ARE 24"X36". SCALES ON OTHER SHEET SIZES SHOULD BE ADJUSTED ACCORDINGLY

SUBMITTAL 12.06.2021
 DRAWN BY MAZ
 CHECKED BY:
 REVISIONS:
 JOB NUMBER 21-25
 COPYRIGHT 2021
 SITE PLAN

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

GLACIER CITY
SITE DRAWINGS
GIRDWOOD, ALASKA

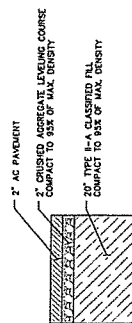
Z/ARCHITECTS

Z ARCHITECTS

G I R D W O O D A L A S K A
BOX 842
PH 907.783.1090
FAX 907.783.1095
ZARCHITECTS@ALASKA.NET
99587

- **Civil**
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Suite 200
Arden Hills, MN 55126
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www.belloak.com
- **Landscape Architecture**
Earthscape
329 F St.
Ste. 22
Anchorage AK 99501
Phone: 907.279.2688
earthscapelaska.com
- **Structural**
BRM Engineers Inc.
845 K St.
Anchorage AK 99501
Phone: 907.274.2235
www.bbfm.com
- **Mechanical**
Spradick & Associates, Inc.
1150 S Colony Way
Ste PMB 370
Palmer AK 99645
Phone: 907.344.8222
tsm@tsaakso.com
- **Electrical**
EC Engineers
200 Seward Hwy
Suite 200
Anchorage AK 99518
Phone: 907.349.9712
eric@eceng.com

LEGEND

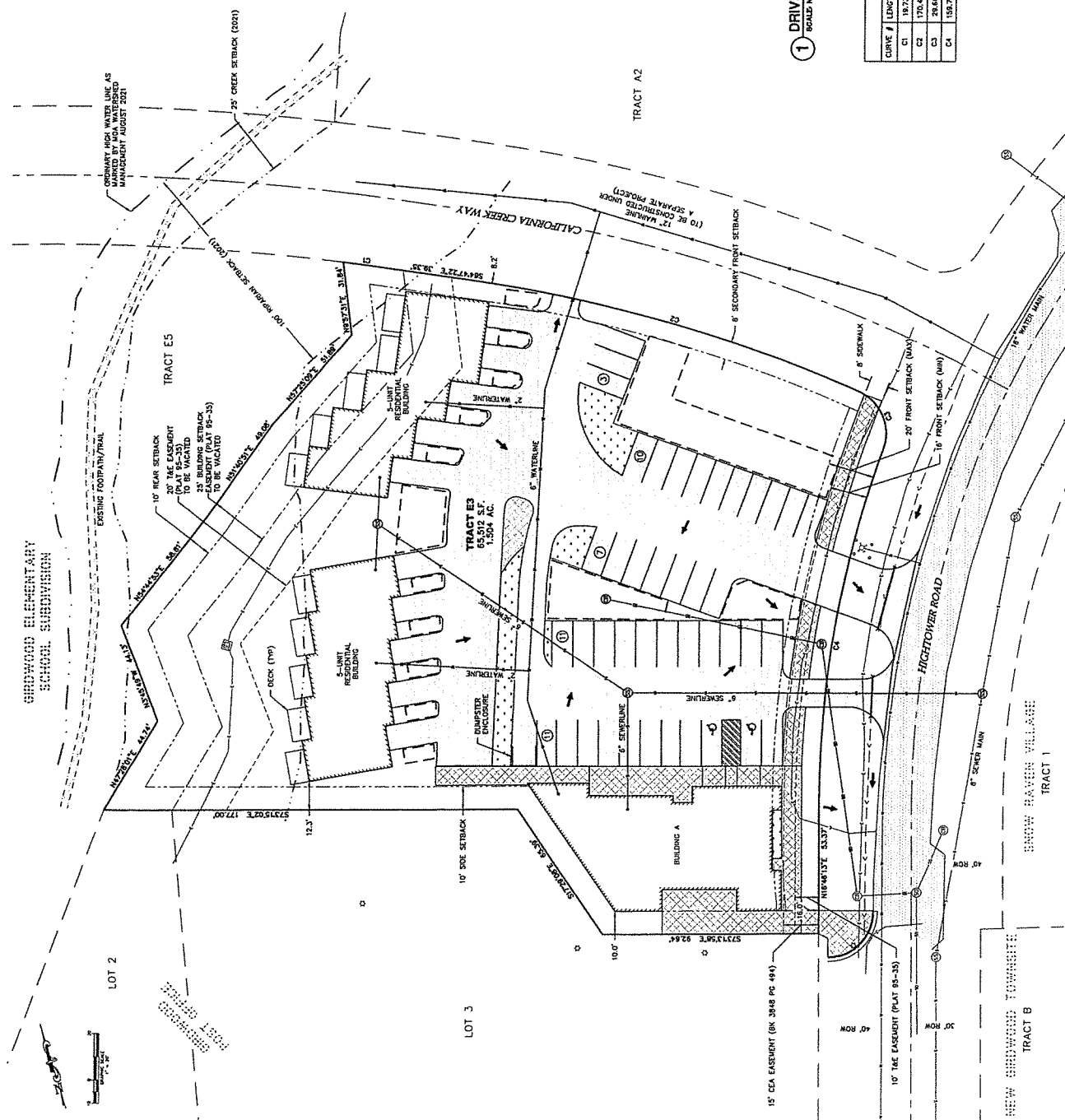
[illegible]

④ DRIVEWAY/PAVEMENT SECTION

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	19.73	955.05	17°05'	16.73	N55°22'02"W	9.87
C3	170.48	621.54	154°35'	169.85	N85°49'24"W	85.78
C4	20.66	20.00	84°57'51"	27.01	N61°13'55"W	16.32
C5	159.78	480.00	169.40°			169.32

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-5-21

E2.0



LEGEND

BASE FLOOD ELEVATION (NOA FLOODPLAIN MAP)
BASE FLOOD ELEVATION (INTERPOLATED)



LANDSCAPING REQUIREMENTS (Title 21) Zoning: GC8 Adjacent zoning:



21.09.070 Glacierside 21.09.070 E Landscaping, Vegetation, and Tree Retention (Table 21.09-10)

- Minimum vegetation coverage by use (Table 21.09-10)
- Total Permeable Surface 10%
- See Zoning Information, Sheet AD.1
- Setback Area Vegetation
a. The setback area along Hightower Road shall be planted with a mix of deciduous and evergreen trees with continuous planting bed of natural plantings. Over 50% are planting bed of natural plantings. Over 50% are interior of 15' o.c.
- Buffering Non-Similar Uses
Planting beds are used to separate commercial and residential uses. The landscaping enhances and defines the residential space.
- Tree Protection During Construction
a. Newly planted trees shall be protected from existing vegetation to be saved. Fencing to be shown on Site Demo or Grading sheets.
- Revegetation of Disturbed Areas
All disturbed areas will be revegetated using native or non-invasive species.
- 21.07.080 Landscaping, Screening, and Fences
GC8 adjacent to GC2B does not require landscaping.
- Arterial Landscaping
L1 Visual Enhancement
a. Landscaping shall be done on Hightower and California Creek Way, see above.
- 21.07.080 E2 Parking Lot Landscaping
Parking Lot Perimeter Landscaping - Parking lots with over 10 spaces. Requires landscaping standard L1 Visual Enhancement where the parking lot perimeter is adjacent to a residential lot.
- 21.07.080 E3 Parking Lot Landscaping - Parking lots with over 40 spaces requires 5% area to be landscaped with 1 tree+6 shrubs/150sq ft; min bed size 16sq ft.
- 21.07.10.6.10.b Residential Design Standards
a. Create planting area from facade or front entry landing to driveway or street.
b. min. 4' wide x 8' long, planted with 1 tree and 5 shrubs/unit where distance to street is 20' (less than 8' distance use 1 tree/5 shrubs/2 units).
- L1 Visual Enhancement Landscaping
Applicable Standards:
Min average planting bed = 8' (min width 5').
1 tree + 6 shrubs/20 ft
Natural vegetation:
Average planting interval 15' o.c.; max. 50% deciduous, 3 shrubs/tree

Landscape Summary

North Property Line at r.o.w. = 214 ft.
Requires 15 trees, 43 shrubs
Shown: 15 trees, 43 shrubs
East Property Line = 174 ft. along arterial.
Requires 12 trees, 34 shrubs
Shown: 12 trees, 100 shrubs
South Property Line
Landscaping not required
West Property Line
Natural vegetation being saved. Existing landscaping to be maintained. No new plantings of evergreen, willow and mix of groundcovers and shrubs that exceeds minimum requirements.

Parking Lot Interior Landscaping - Parking lot interior = 16,680 sq paved area = 934 shrubs
Shown: 8 trees, 100 shrubs (includes perennials = 3/shrub)

Front Driveway Separations
Planting area from front entry landing to driveway. Requires 1 tree and 5 shrubs/unit
Shown: 5 perennials/unit



- Do not disturb native vegetation
- Snow storage areas, lawn mix or no mow grass mix
- RAP with granite mix at driveways and 8' walkway
- Native Groundcovers (12" - 24" tall):
Iris
Nuuks
Labrador tea
Meadow Rue
Grasses
Asphalt
- Evergreen trees:
Sitka Spruce and Hemlock
- Gabion basket curb and retention basin
- Native meadow mix:
Yarrow
Iris
Rye
Calamagrostis
- Native Shrubs (5' - 15' + tall):
Alder
Willow
Rose

HIGHTOWER ROAD

OVERALL LANDSCAPE PLAN

DEVELOPMENT MASTER PLAN SUBMITTAL

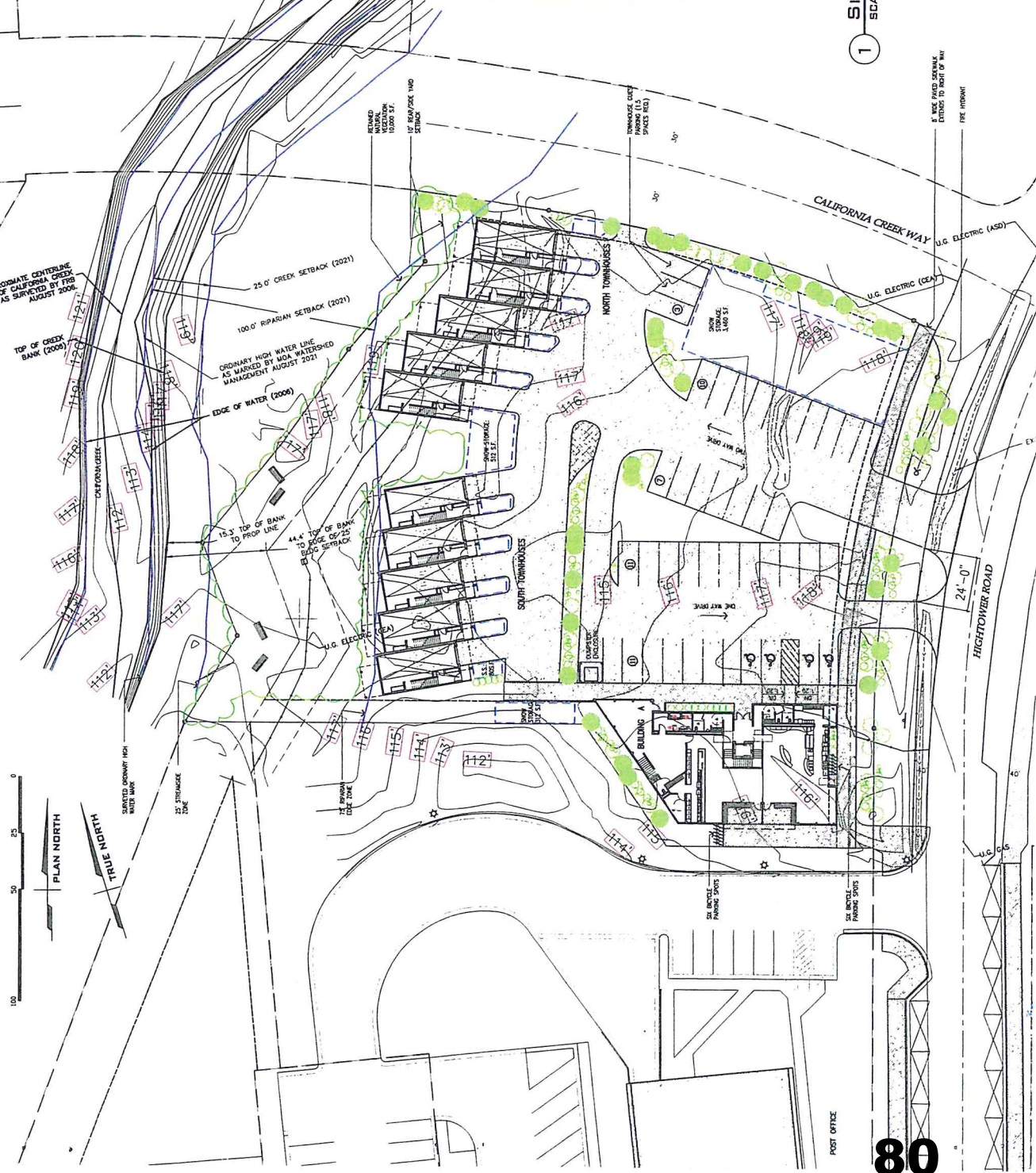
12-21-21

NOT FOR CONSTRUCTION

ZARCHITECTS

GLACIER CITY CENTER
LANDSCAPE DRAWINGS
CONCEPT DESIGN
1" = 20' SITE PLAN, REV. 7

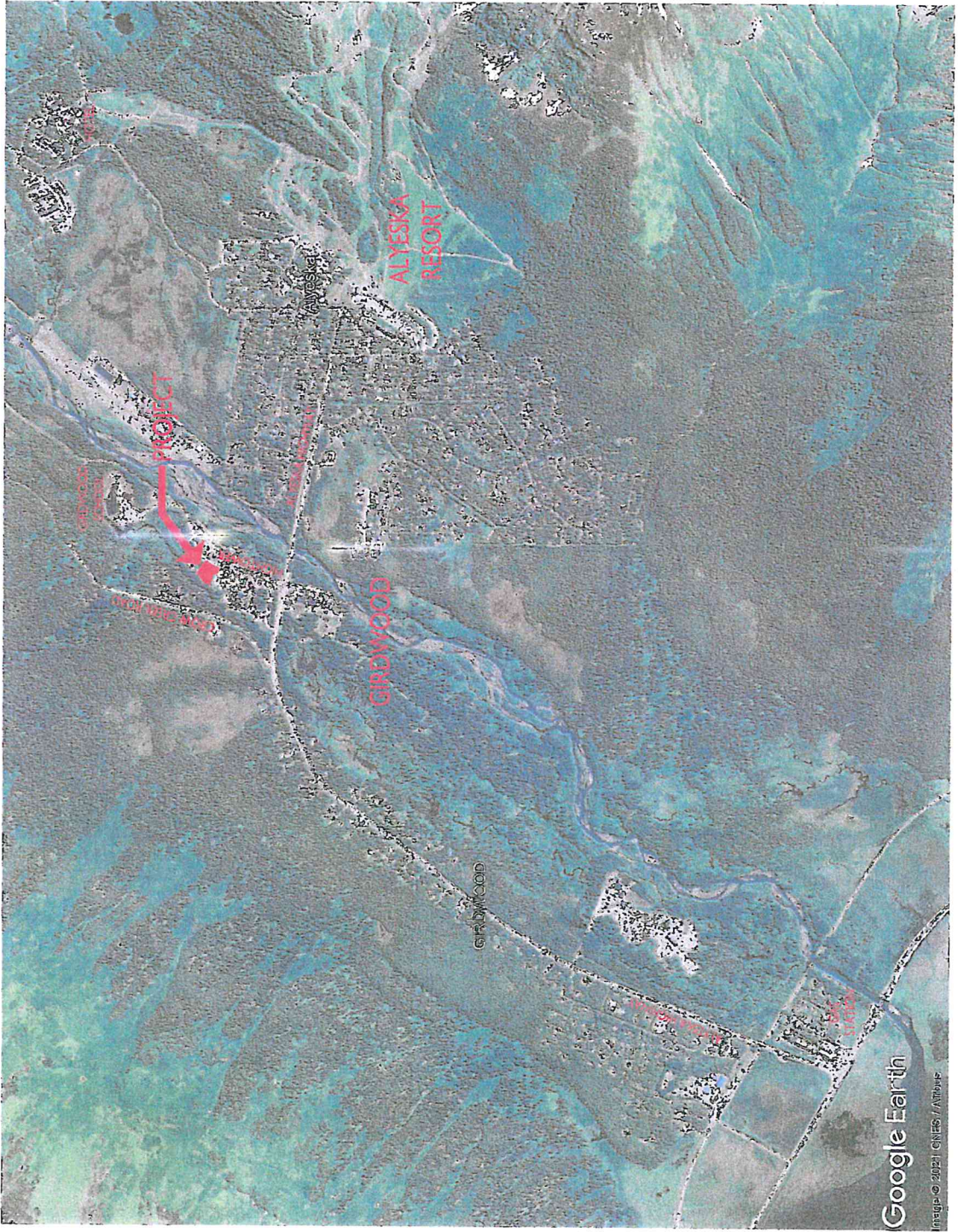
DESIGNED BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS
REVIEWED BY: J. H. HARRIS
DATE: 12/21/2021
PROJECT: 12-21-21
L1.0



ZONING ANALYSIS SUMMARY	
GROWING ZONING DISTRICT:	90-8
PARKING REQUIRED PER TABLE 21.09.01-A:	
SEE CLUSTER CITY CENTER PARKING ANALYSIS:	
PARKING ANALYSIS SUMMARY:	
PARKING REQUIRED FOR BUILDING A:	70 PARKING SPACES
PARKING REQUIRED FOR TOWNHOUSES:	17 PARKING SPACES
TOTAL ON SITE PARKING REQUIRED:	87 PARKING SPACES
(NOT ACCOUNTING FOR POTENTIAL INTERNAL SHARED USE AGREEMENT OR ALLOWED PARKING REDUCTIONS)	
PARKING PROVIDED:	
CONVENTION - ON SITE:	40 PARKING SPACES
COMMUNITY PARKING LOCATED OFF SITE PER AG 21.09.07A2:	47 PARKING SPACES
TOTAL PARKING PROVIDED:	87 PARKING SPACES
TOTAL COMMUNITY PARKING WITHIN 600 FEET WALKING DISTANCE:	96 PARKING SPACES
70 PARKING SPACES	
FRONT SETBACK PER TABLE 21.09.060-6:	
16 FEET MIN, 20 FEET MAXIMUM	
SIDE SETBACK PER TABLE 21.09.060-6:	
10 FEET	
REAR SETBACK PER TABLE 21.09.060-6:	
10 FEET	
LOT SIZE:	
65,512 S.F.	
MAXIMUM LOT COVERAGE BY BUILDING PER TABLE 21.09.060-6:	
60%	
ACTUAL LOT COVERAGE BY BUILDING:	
33%	
MAXIMUM FLOOR AREA RATIO:	
N/A	
ACTUAL FLOOR AREA RATIO:	
N/A	
MAXIMUM DWELLING UNITS PER ACRE:	
20	
ACTUAL DWELLING UNITS PER ACRE:	
7	
REQUIRED NATURAL VEGETATION AREA RETAINED PER TABLE 21.09.070-10 (10% OF LOT SIZE):	
6,551 S.F.	
NATURAL VEGETATION AREA RETAINED:	
10,000 S.F.	
REQUIRED PERMEABLE SURFACE AREA PER TABLE 21.09.070-10 (20% OF LOT SIZE):	
13,102 S.F.	
PERMEABLE SURFACE AREA PROVIDED:	
LOT SIZE: 65,512 S.F.	
BUILDING FOOT PRINT: -10,716 S.F.	
PAVED DRIVEWAYS AND PATHS: -23,863 S.F.	
TOTAL PERMEABLE SURFACE PROVIDED: 30,934 S.F.	
REQUIRED SNOW STORAGE PER 21.09.070A.1a:	
20% OF PAVED AREA	
PAVED DRIVEWAY, RAMP AND WALKWAY AREA: 23,863 S.F.	
REQUIRED SNOW STORAGE AREA: 4,773 S.F.	
SNOW STORAGE AREA PROVIDED: 5,084 S.F.	

1 SITE PLAN
SCALE: 1" = 20'

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



1 LOCATION MAP
SCALE: NO SCALE

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

AD.2

SITE PLANS

JOB NUMBER 21-25

DATE 12/21/21

DRAWN BY

CHECKED BY

REVISIONS

DATE 12/21/21

BY

DATE 12/21/21

BY

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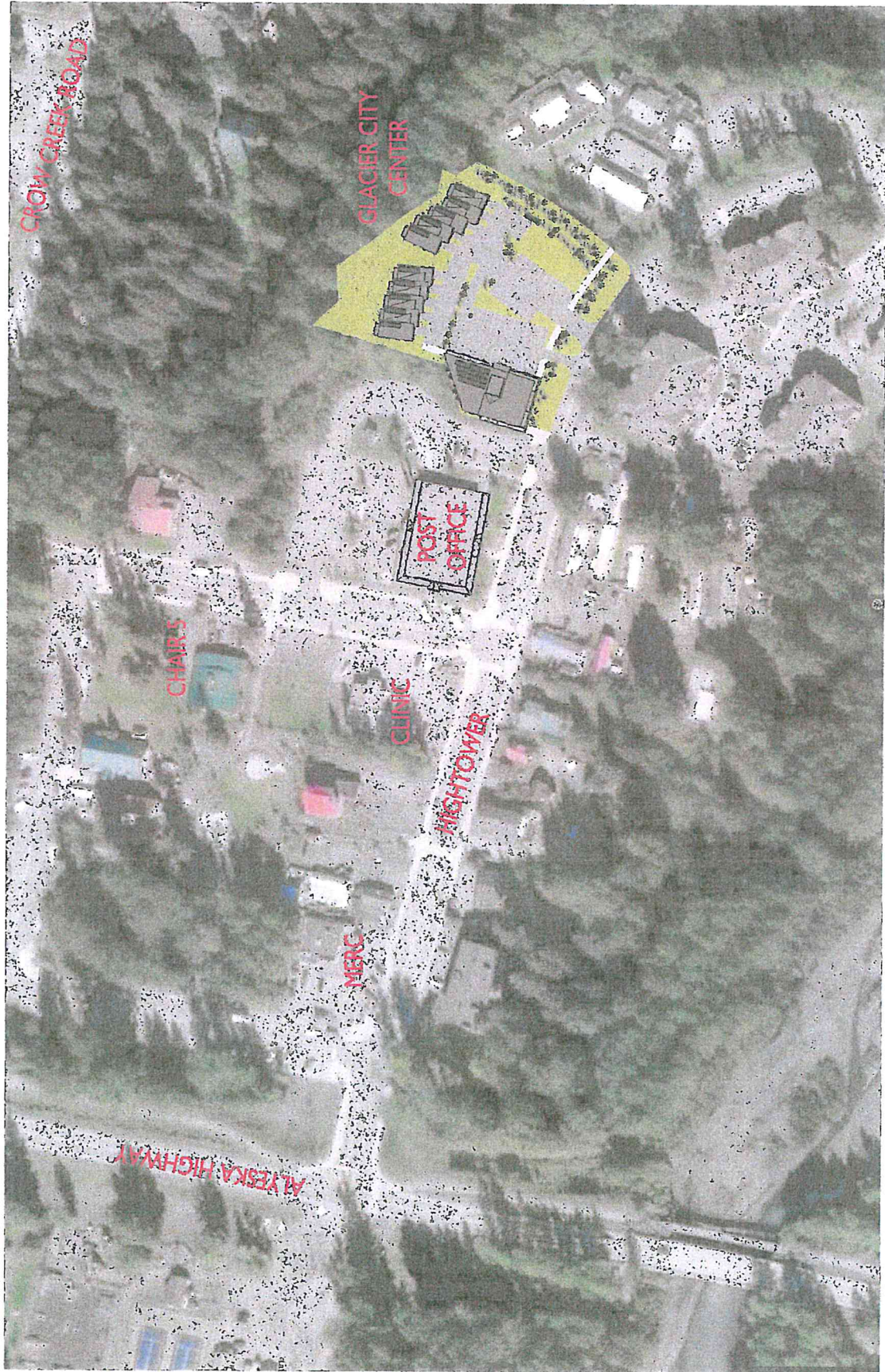
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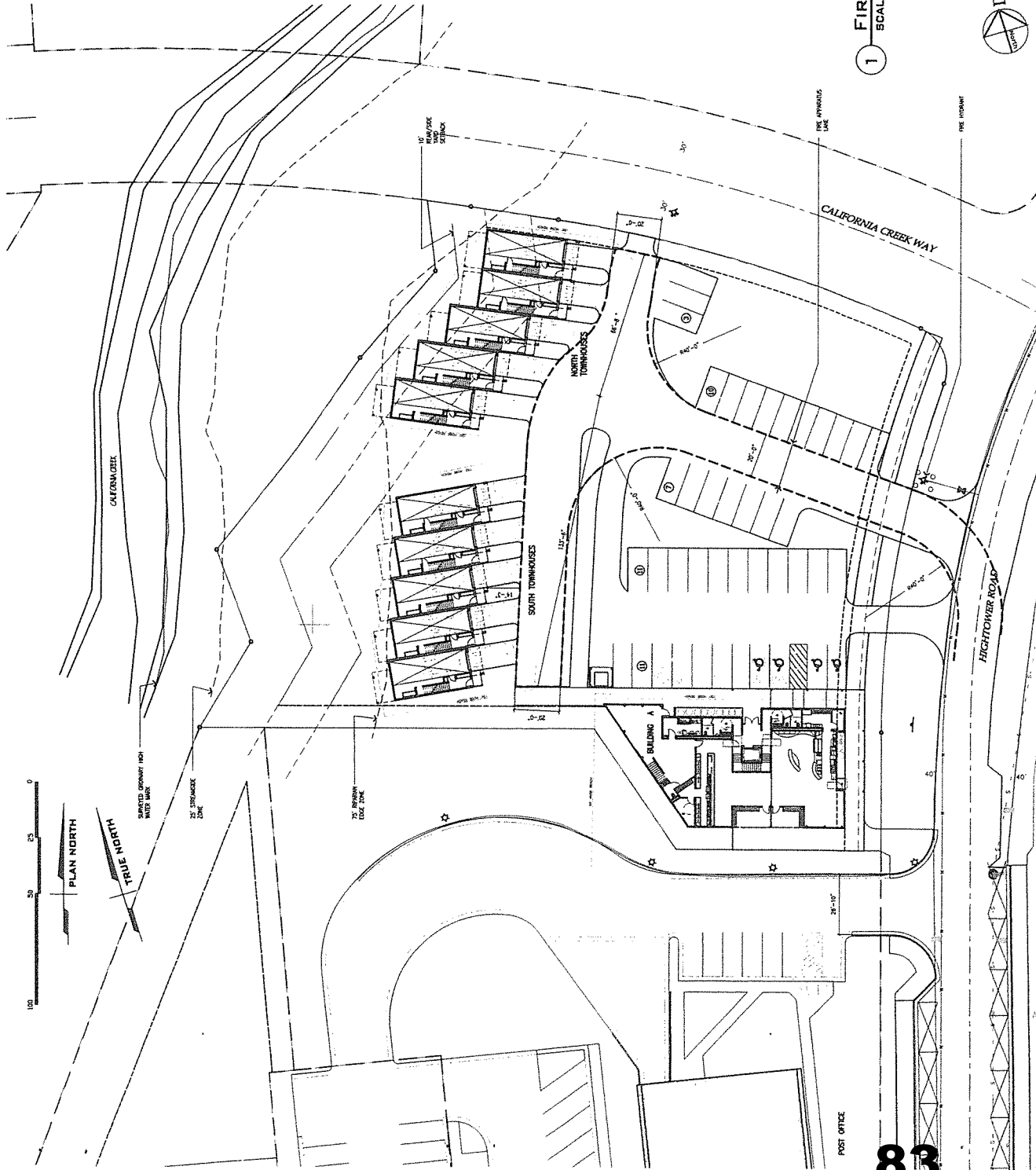
BY

LOCATION MAP

GLACIER CITY CENTER
SITE DRAWINGS
CONCEPT DESIGN
GIRDWOOD, ALASKA







1 FIRE ACCESS SITE PLAN
SCALE: 1" = 20'

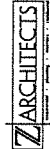
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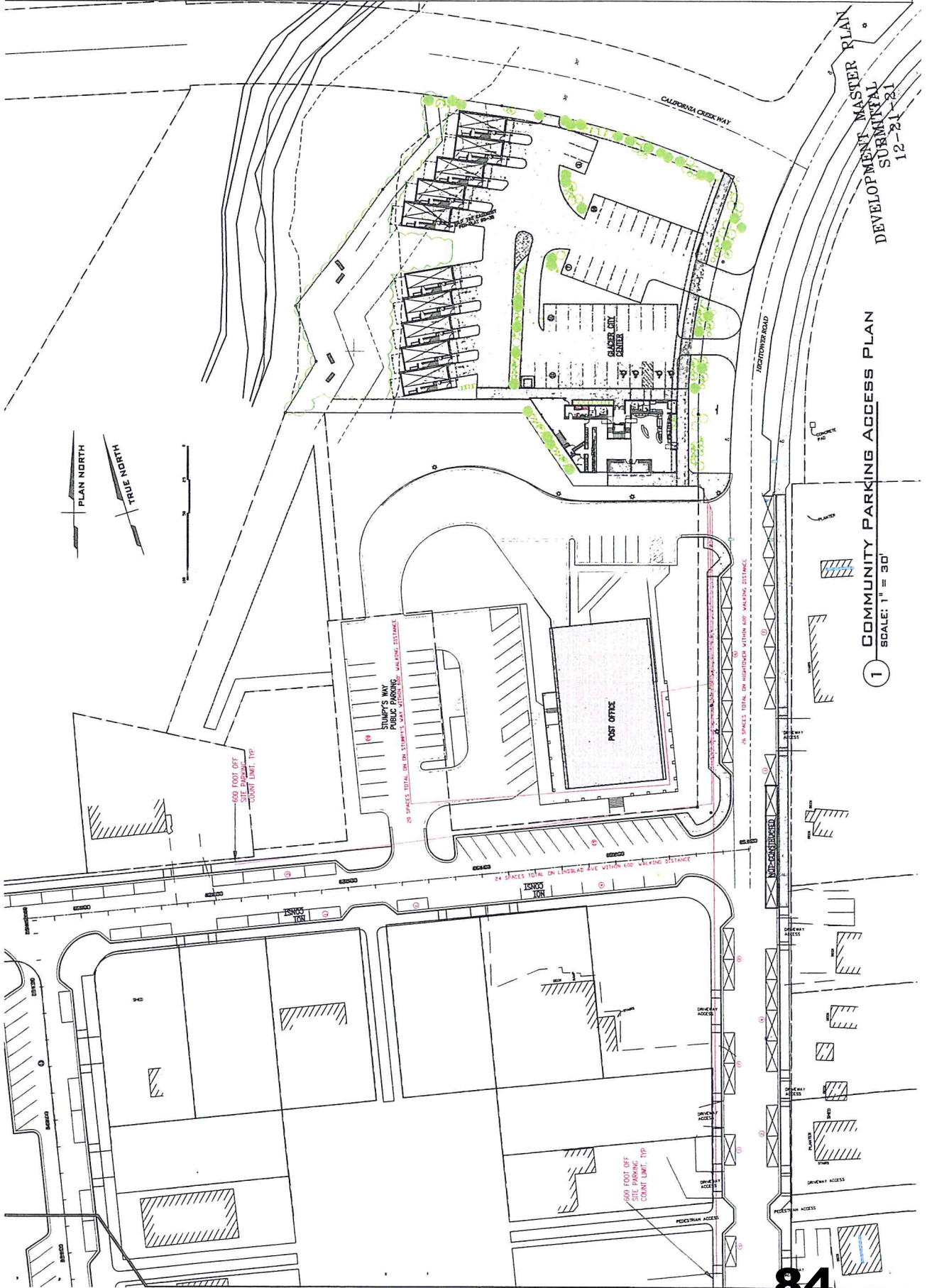


SUBMITTAL 12-06-2021
DRAWN BY
CHECKED BY
REVISIONS
JOB NUMBER 21-25
TOWNSHIP 2021
SITE PLAN

AD.4

GLACIER CITY CENTER
SITE DRAWINGS
BIRMINGHAM, ALABAMA
CONCEPT DESIGN
FIRE ACCESS SITE PLAN





DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

1 COMMUNITY PARKING ACCESS PLAN
SCALE: 1" = 30'

A0.5
SITE PLAN

JOB NUMBER 21-20
DRAWN BY: MZ
CHECKED BY: MZ
REVISIONS:

GLACIER CITY CENTER
SITE DRAWINGS
BIRDWOOD, ALASKA
CONCEPT DESIGN

COMMUNITY PARKING ACCESS PLAN

ZARCHITECTS



1 FROM EAST
SCALE: NO SCALE

2 FROM SOUTH-WEST
SCALE: NO SCALE



GLACIER CITY CENTER
SITE DRAWINGS
BIRDWOOD, ALASKA
CONCEPT DESIGN
SITE RENDERINGS



AD.6
SUBMITTAL 13.04.2021
DRAWN BY
CHECKED BY
REVIEWED
JOB NUMBER 2021
SITE PLANS



1 FROM NORTH
SCALE: NO SCALE

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

JOB NUMBER 21-25
SUBMITTAL 12-21-21
DIRECTED BY
REVISIONS

AD.7

GLACIER CITY CENTER
SITE DRAWINGS
SITING, ALASKA
CONCEPT DESIGN
SITE RENDERINGS

ZARCHITECTS

Girdwood, Alaska



MEZZANINE	685
SECOND FLOOR	3,916
FIRST FLOOR	4,285
TOTAL GROSS AREA	8,886

DRAWING INDEX

ARCHITECTURAL

ARCHITECTURAL

A01.1 FIRST FLOOR PLAN

Architectural	First Floor Plan	PLAN
Ao1.1	Second Floor Plan	PLAN
Ao1.2	Mezzanine Plan	PLAN
Ao1.3	Second Floor Reflected Ceiling	PLAN
Ao1.5	Elevations	ELEVATIONS
Ao2.1	Elevations	ELEVATIONS
Ao2.2	Sections	SECTIONS
Ao3.1	Sections	SECTIONS
Ao3.2		

DEVELOPMENT MASTER PLAN
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12-21-21

TA1.1

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COFFEE SHOP

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11

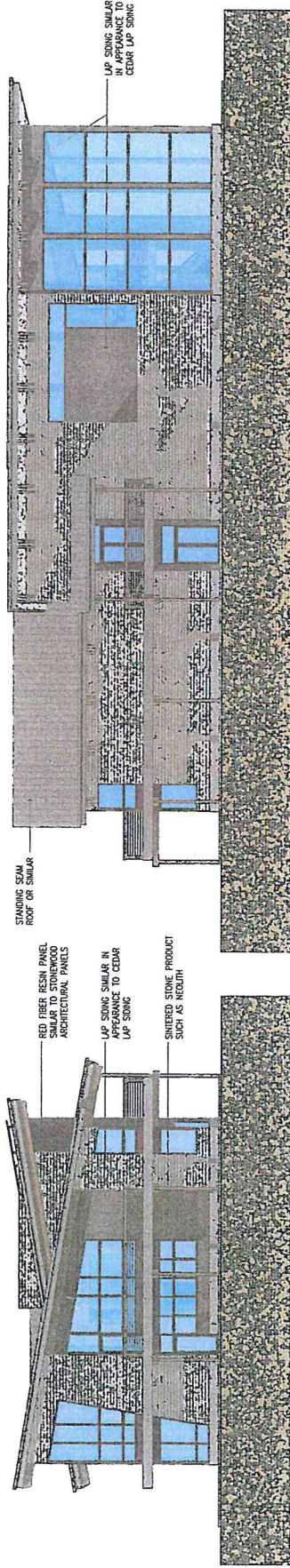
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COVER SHEET

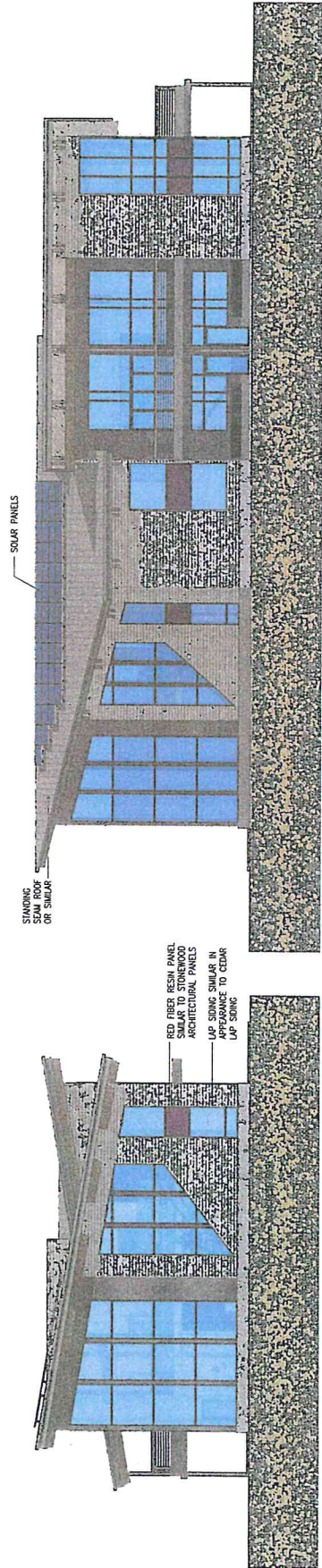
GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
GRIERWOOD, ALASKA
CONCEPT DESIGN

Z ARCHITECTS



EAST

NORTH



WEST

SOUTH



GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
BIRDWOOD, ALASKA
CONCEPT DESIGN

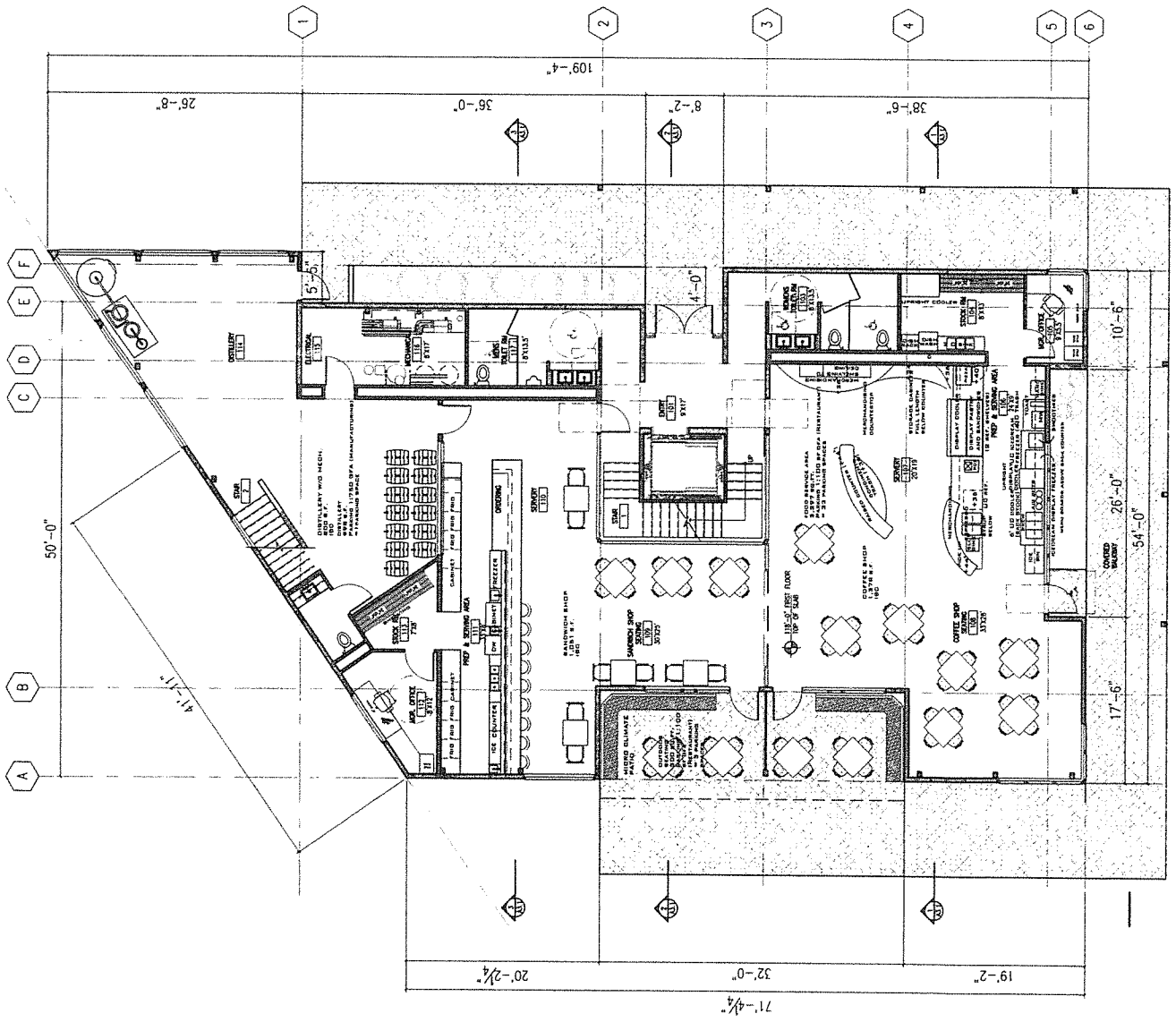
RENDERINGS

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SUBMITTAL 12.06.2021
COFFEE SHOP

RA1.1

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



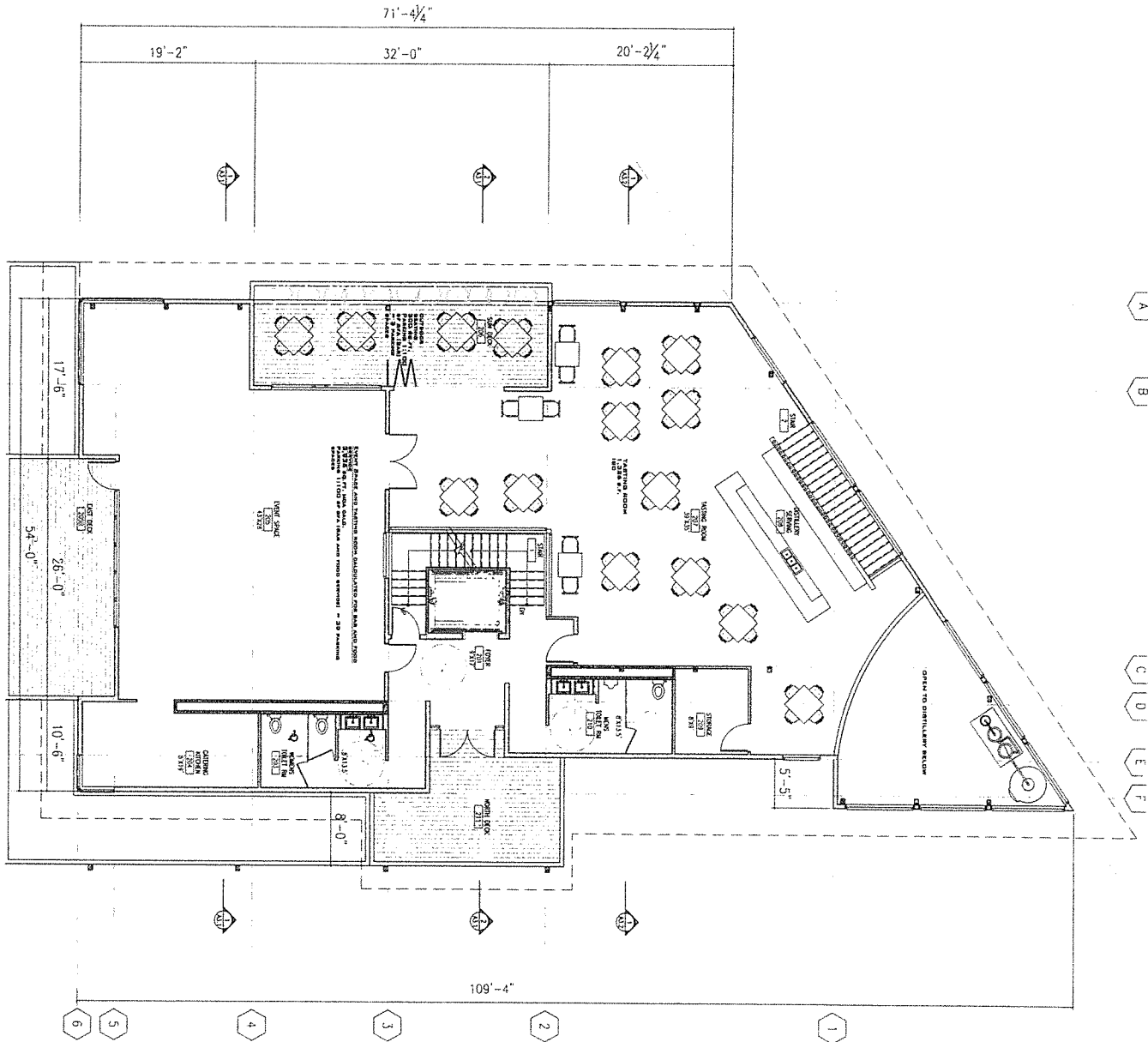
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REVIEWED BY:
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COFFEE SHOP

GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
DIAMOND, ALASKA
CONCEPT DESIGN



Z ARCHITECTS



1 SECOND FLOOR PLAN
 SCALE: 3/16" = 1'-0"

DEVELOPMENT MASTER PLAN
 SUBMITTAL
 12-21-21

AA1.2

JOB NUMBER 3125
 SUBMITTAL 12-21-21
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GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
 GIRDWOOD, ALASKA

SECOND FLOOR PLAN

ZARCHITECTS

CONCEPT DESIGN

A B C D E F

50'-0"

1 2 3 4 5 6

MECHANICAL
SANDWICH SHOPS
2111

PAV. SHOP
1171

OPEN TO SHOP

OPEN TO SHOP

1 MECHANICAL MEZZANINE
SCALE: 3/16" = 1'-0"

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

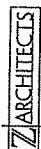


GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
BIRMINGHAM, ALABAMA
CONCEPT DESIGN
MECHANICAL MEZZANINE PLAN



DATE: 12.08.2021
DRAWN: MAZ
CHECKED: MYI
REVIEWED: M
JOB NUMBER: 21125
PROJECT: GLACIER CITY
COFFEE SHOP

AA1.3



SECOND FLOOR REFLECTED CEILING PLAN

GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
GIMMOWOOD, ALASKA
CONCEPT DESIGN

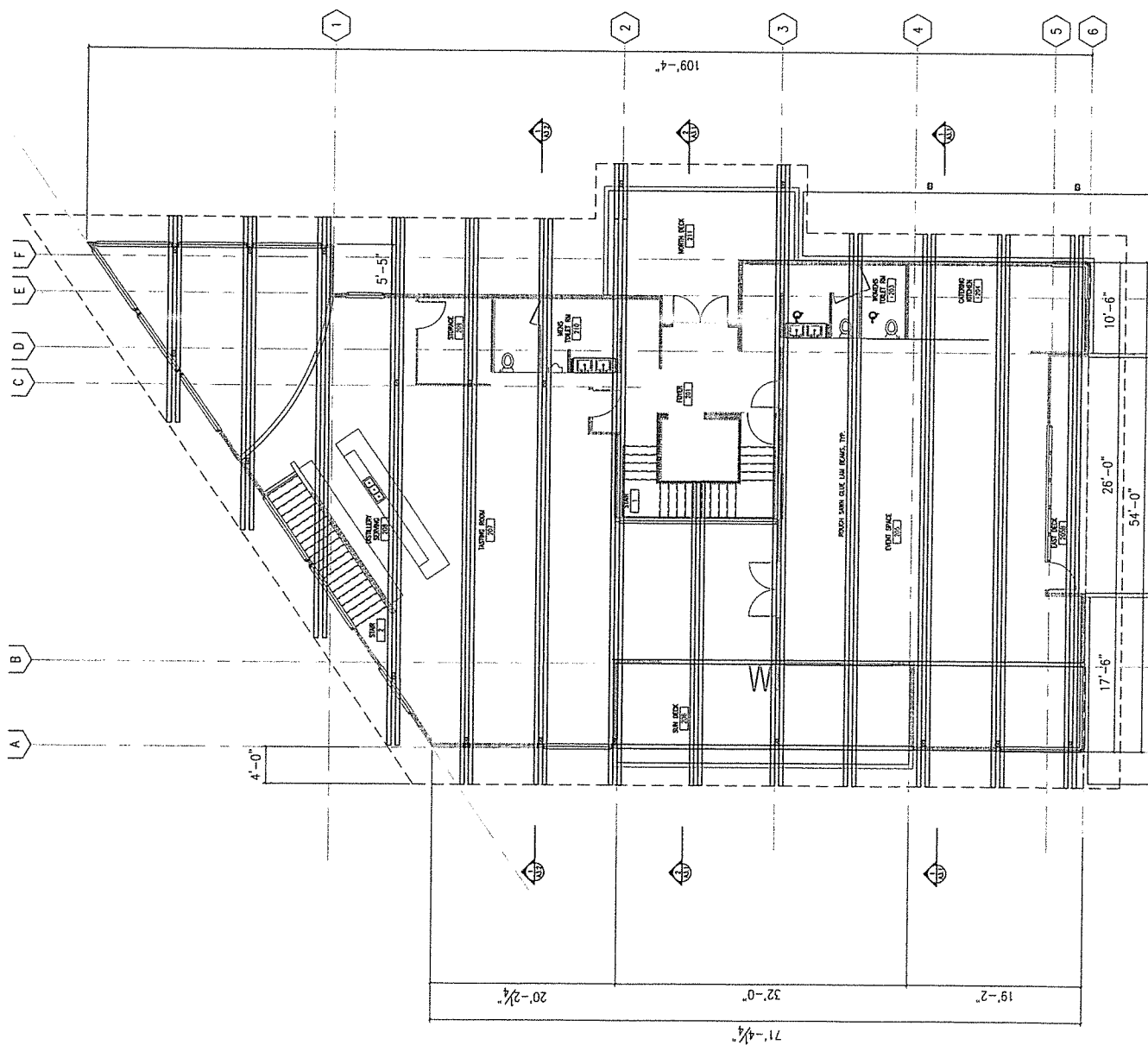
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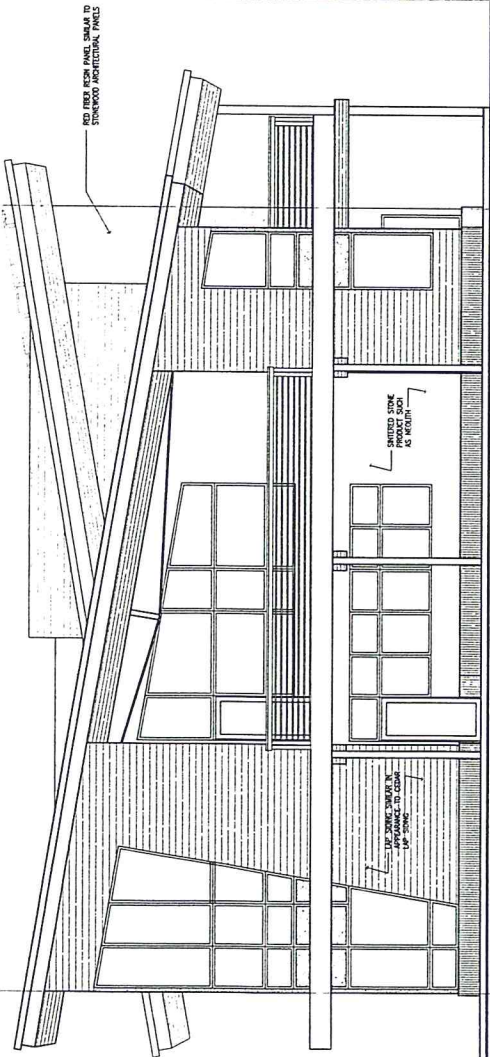
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COFFEE SHOP

AA1.5

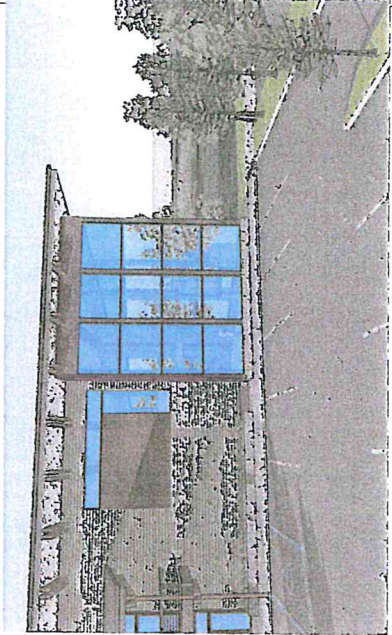
1 SECOND FLOOR RC PLAN
SCALE: 3/16" = 1'-0"

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12-21-21

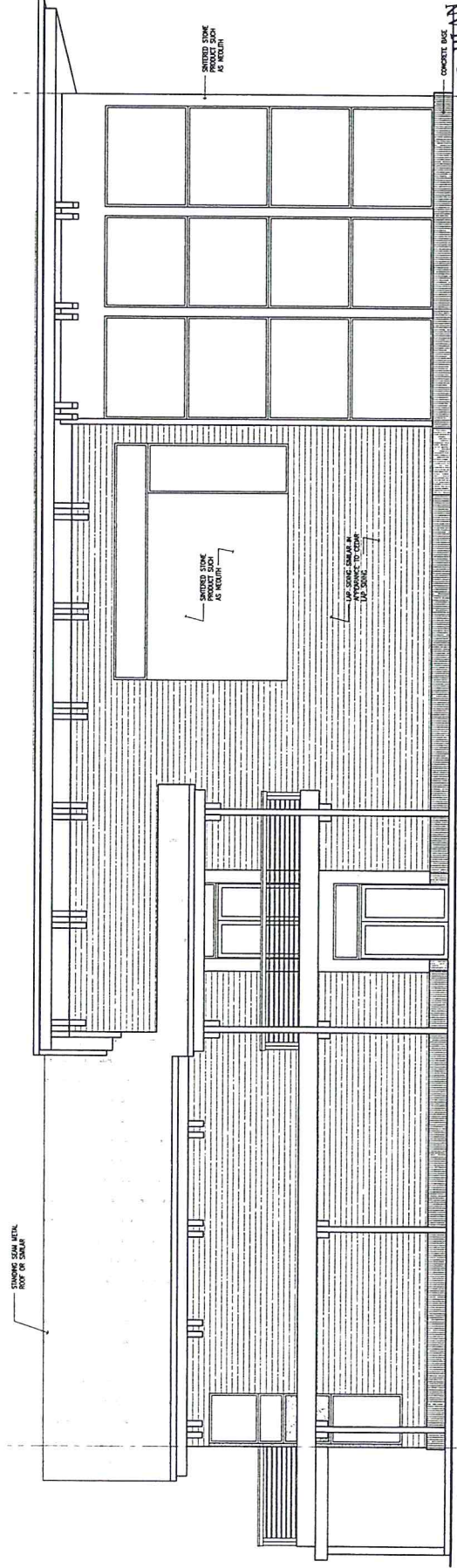




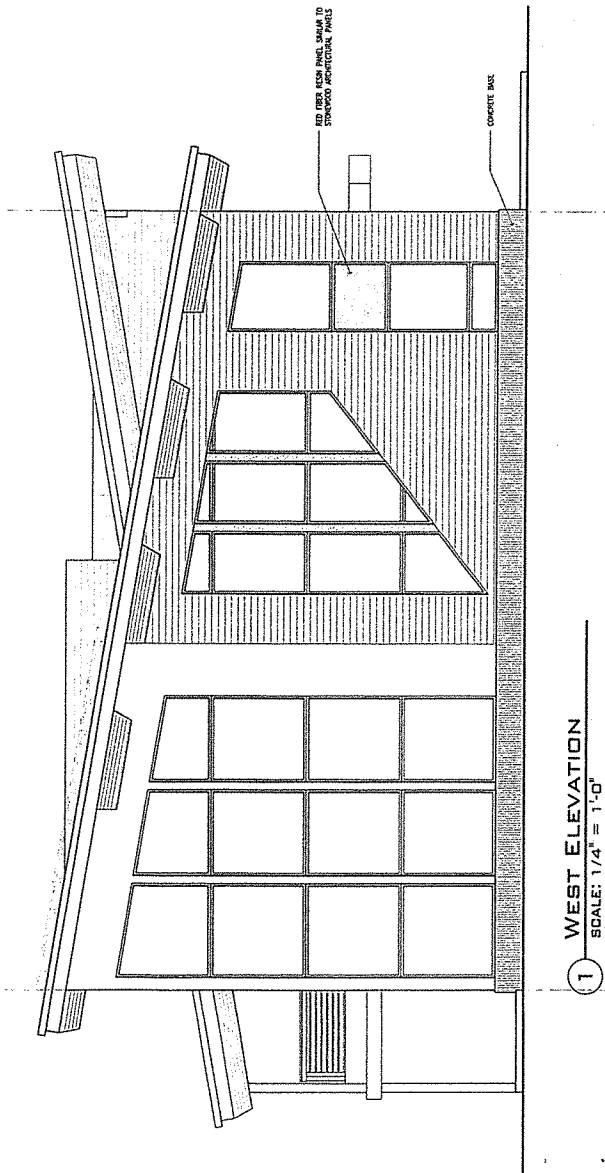
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



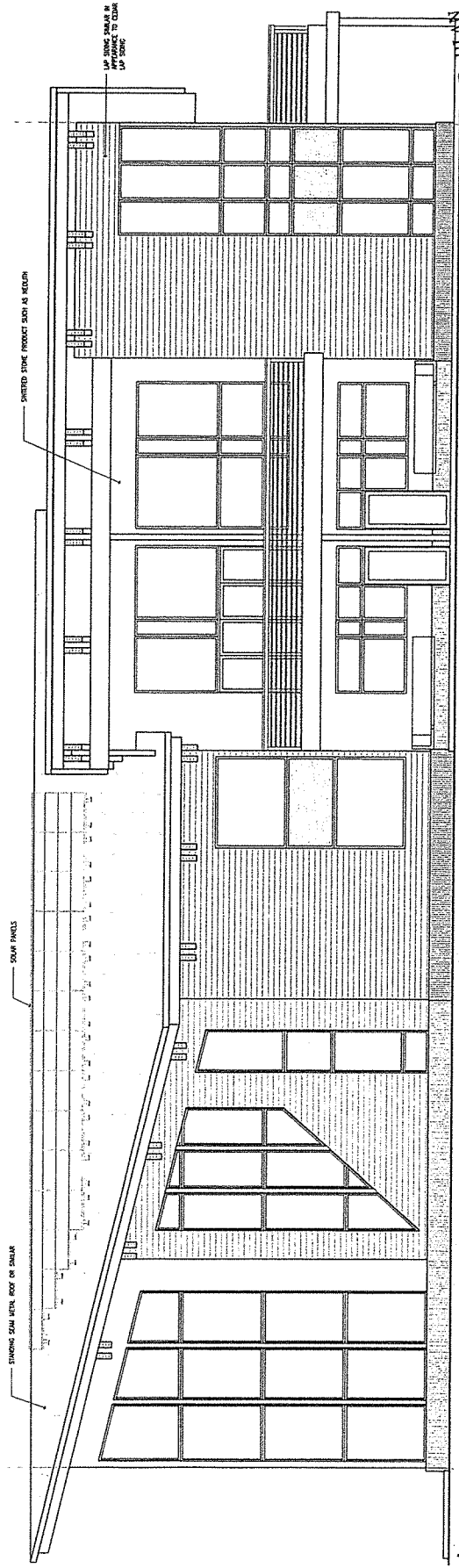
3 DISTILLERY ROOM
SCALE: NTS



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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12-21-21

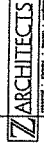
AA2.2

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GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
GIRDWOOD, ALASKA
CONCEPT DESIGN





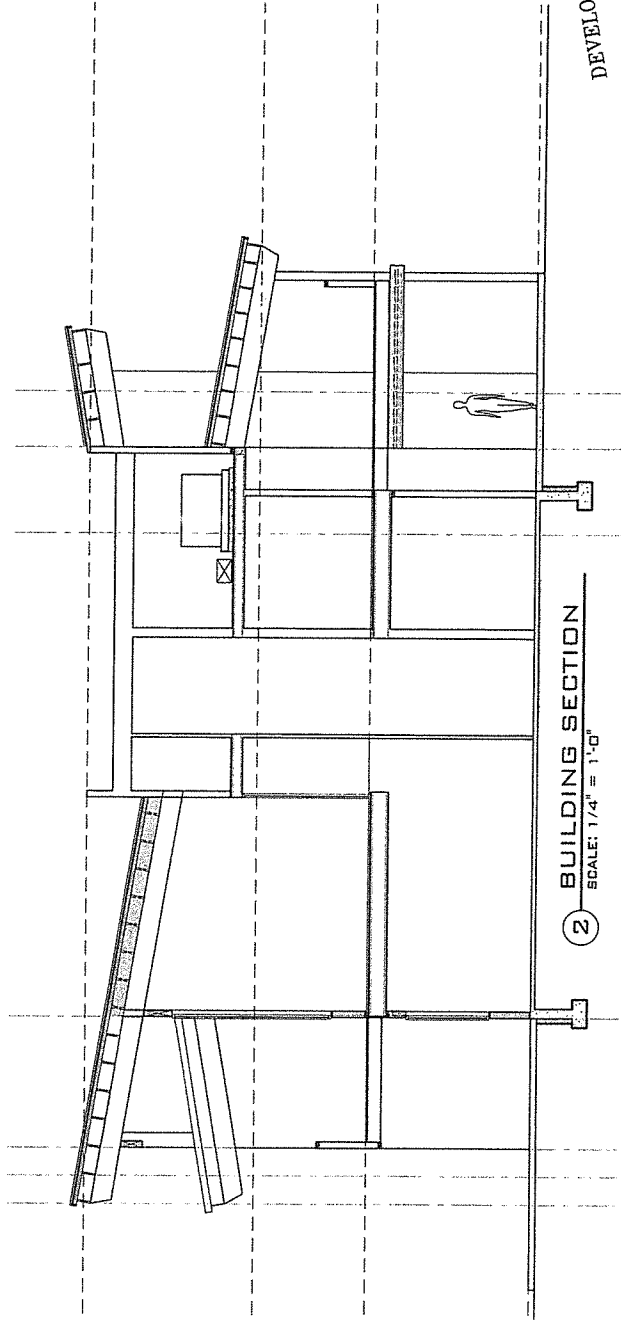
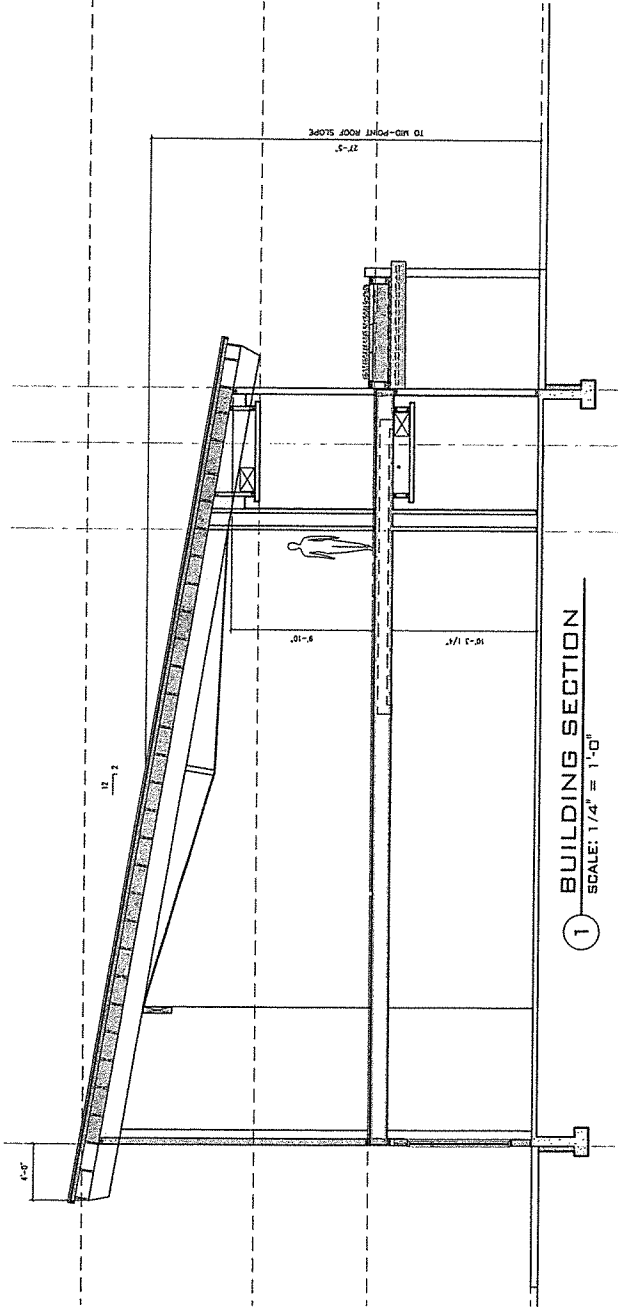
GLACIER CITY CENTER
BUILDING A - COFFEE & SANDWICH SHOPS, DISTILLERY
GIRDWOOD, ALASKA
CONCEPT DESIGN

BUILDING SECTIONS

SUBMITTAL 12.06.2021
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
REVIEWED BY: J. HARRIS
JOB NUMBER 21-25
DATE 12/21/21
PROJECT: COFFEE SHOP

AA3.1

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21





BUILDING SECTIONS

JOB NUMBER 21-25
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COFFEE SHOP

AA3.2

Architectural drawing of a building section. The drawing shows a cross-section of a structure with a sloped roof. The roof slope is indicated as 28-1/2°. The height of the structure is 3'-10 1/4". The drawing includes a scale of 1/4" = 1'-0" and a title "BUILDING SECTION". The drawing also shows a 12-1/2° slope and a 3'-10 1/4" height. The drawing includes a scale of 1/4" = 1'-0" and a title "BUILDING SECTION".



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GLACIER CITY CENTER TOWNHOUSES
BIRWOOD, ALASKA

DRAWING INDEX

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AO.1	GENERAL NOTES & ABBREVIATIONS	
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Rs1.2	SECOND FLOOR PLAN - SOUTH UNITS	
Rs1.3	THIRD FLOOR PLAN - SOUTH UNITS	
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As3.1	BUILDING SECTIONS - SOUTH UNITS	
As3.2	BUILDING SECTIONS - SOUTH UNITS	
As3.3	BUILDING SECTIONS - SOUTH UNITS	

5 UNIT BUILDING AREA (SQUARE FEET)

THIRD FLOOR	3,240
SECOND FLOOR	3,240
FIRST FLOOR (LIVING SPACE AND GARAGE)	3,240
TOTAL GROSS BUILDING AREA	9,720

UNIT AREA (SQUARE FEET)

	GARAGE SPACE UNIT 1	LIVING SPACE UNIT 1	TOTAL UNIT 1
THIRD FLOOR	N/A	648	648
SECOND FLOOR	N/A	648	648
FIRST FLOOR	506	142	648
TOTAL GROSS AREA	506	1,438	1,944

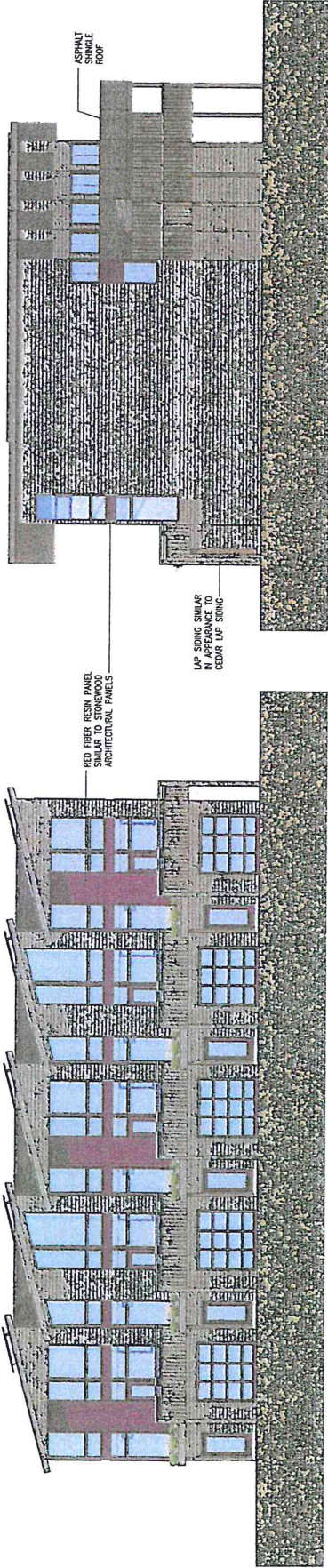
FULL SIZE DRAWING SHEETS ARE 24"x36". SCALES ON OTHER SHEET SIZES SHOULD BE ADJUSTED ACCORDINGLY

SS1.1	FOUNDATION PLAN - SOUTH UNITS
SS1.2	SECOND FLOOR FRAMING - SOUTH UNITS
SS1.3	THIRD FLOOR FRAMING - SOUTH UNITS
SS1.4	ROOF FRAMING - SOUTH UNITS

NOT INCLUDED IN
DEVELOPMENT MASTER PLAN
SUBMITTAL

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

Ts1.1

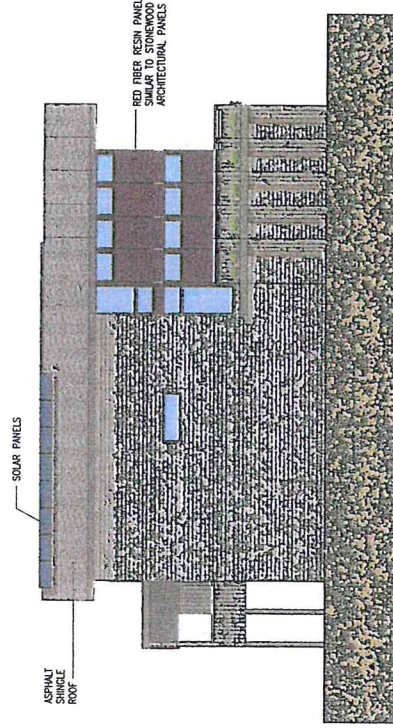


EAST

NORTH



WEST



SOUTH



Z ARCHITECTS

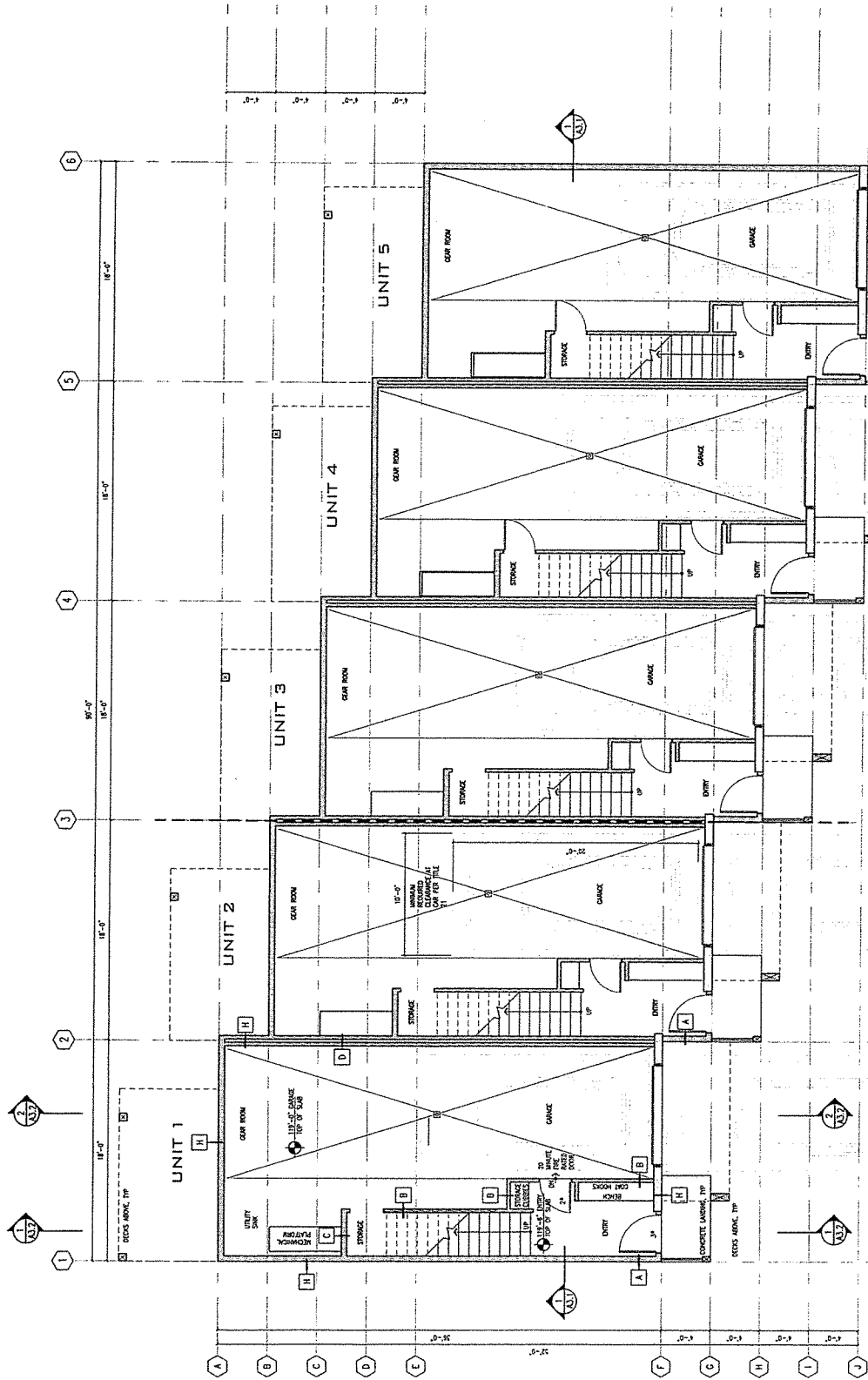
GLACIER CITY CENTER TOWNHOUSES
BIRCHWOOD, ALASKA
FIRST FLOOR PLAN - SOUTH UNITS

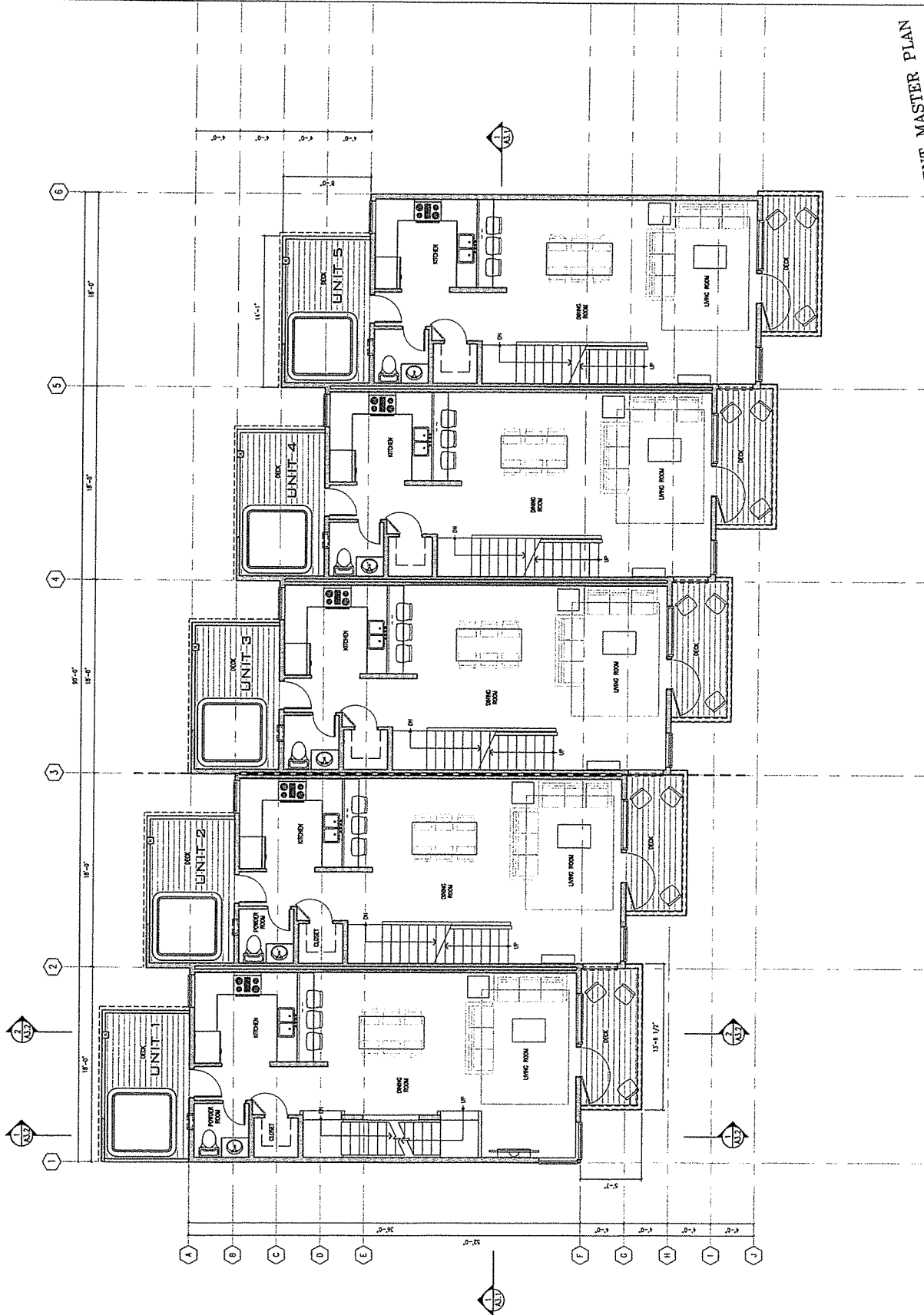
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AS1.1

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET





DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



ZARCHITECTS
ARCHITECTS

SECOND FLOOR PLAN - SOUTH UNITS

GLACIER CITY CENTER TOWNHOUSES
BIRCHWOOD, ALASKA

SUBMITTAL DP-14-21
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CHECKED BY: M.A.Z.
REVISION: 1
JOB NUMBER: 21-28
SUBMITTAL: 2021

A51.2



Z ARCHITECTS

THIRD FLOOR PLAN - SOUTH UNITS

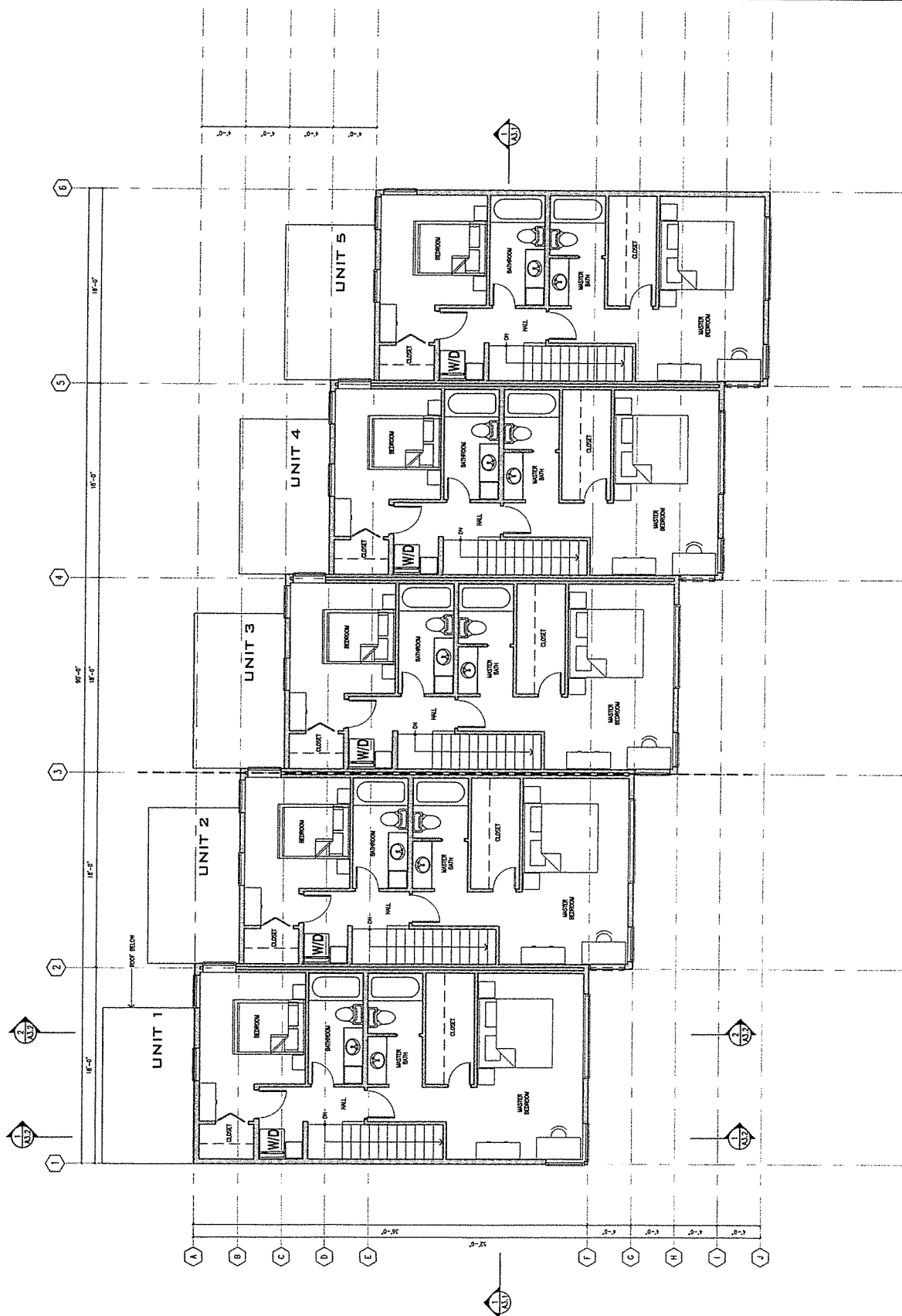
GLACIER CITY CENTER TOWNHOUSES
BIRCHWOOD, ALASKA

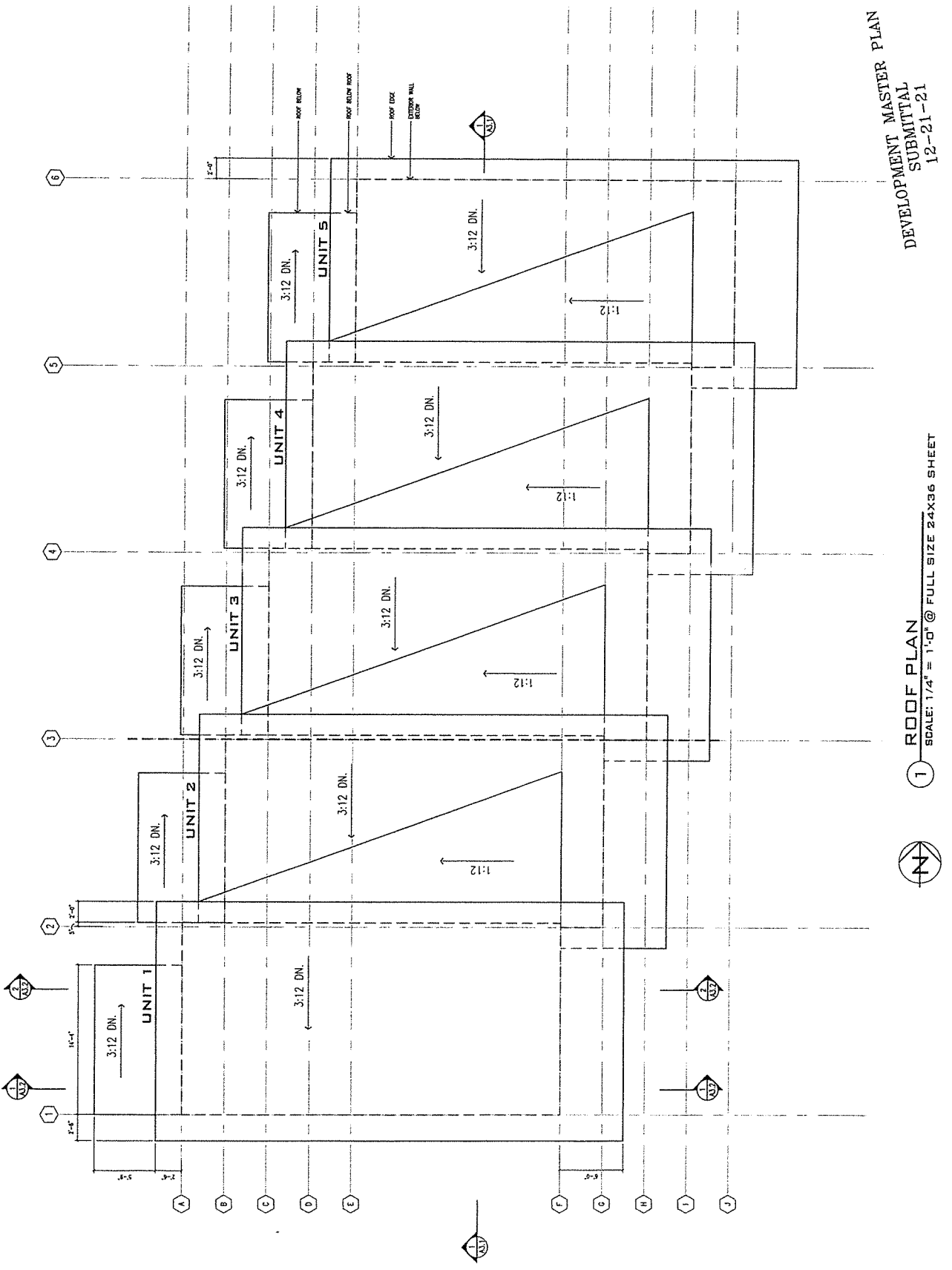
SUBMITTAL 10-10-21
CHECKED BY MAZ
REVISIONS:
JOB NUMBER 21-25
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AS1.3

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

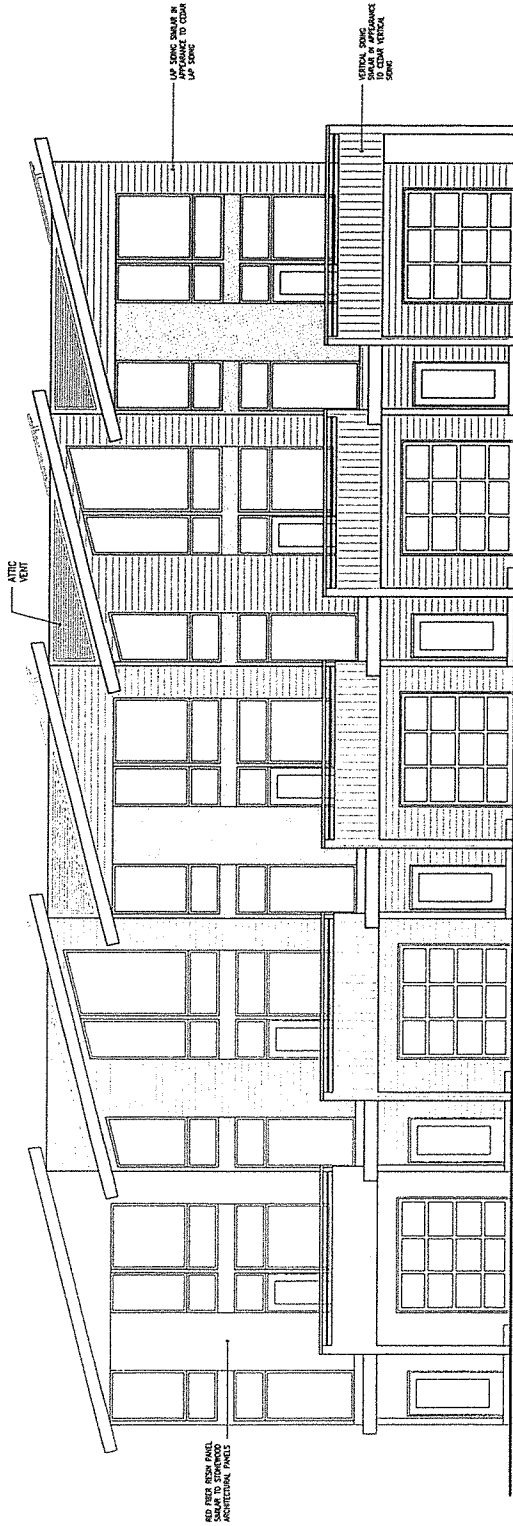




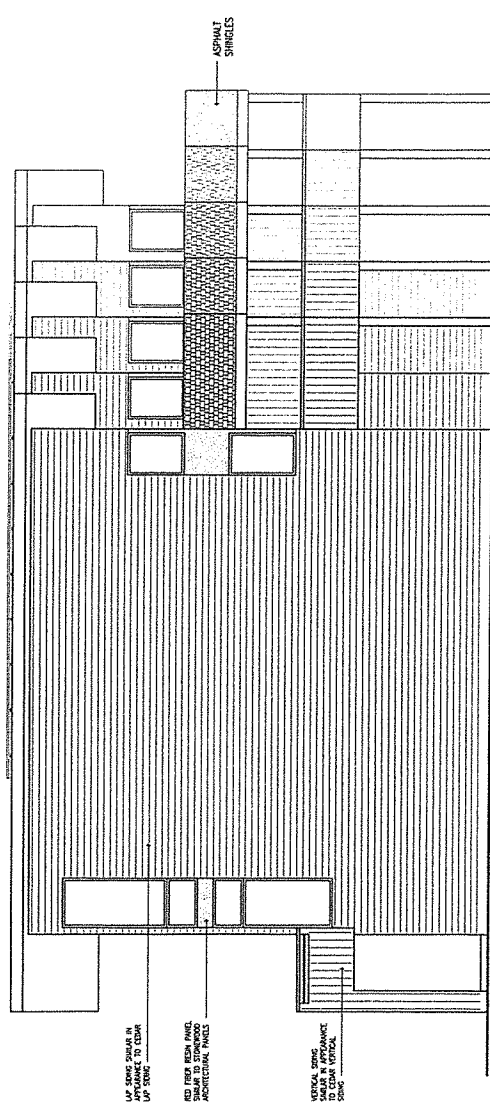
DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

1 ROOF PLAN
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

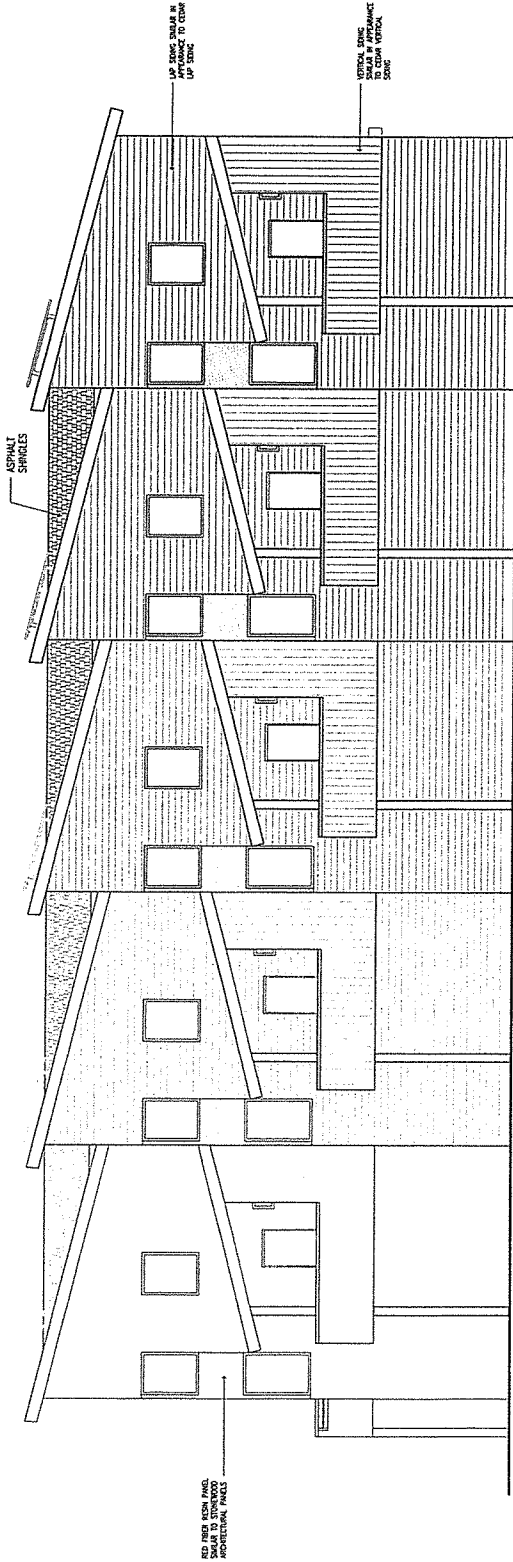




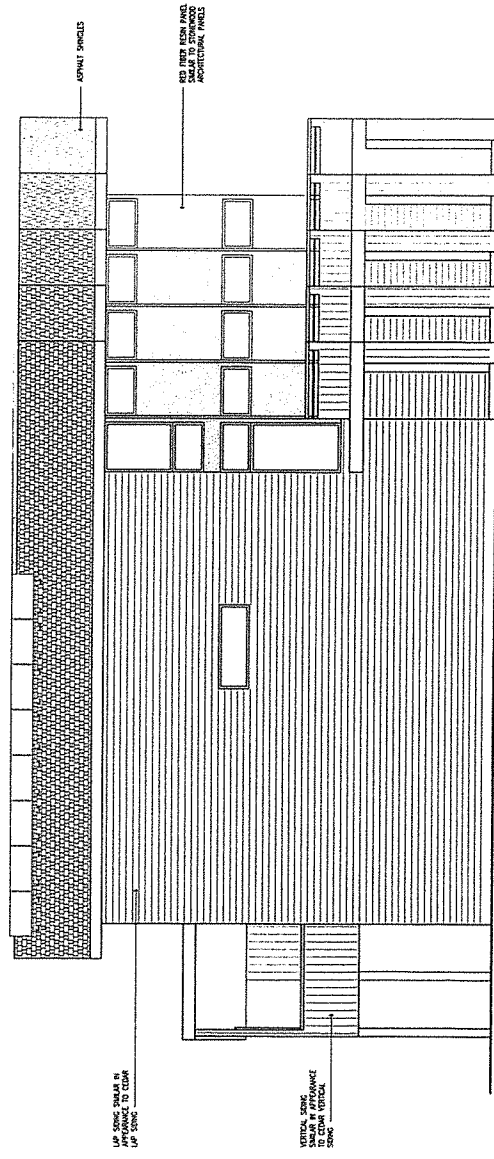
1 EAST ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



1 WEST ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



Z ARCHITECTS
ARCHITECTS

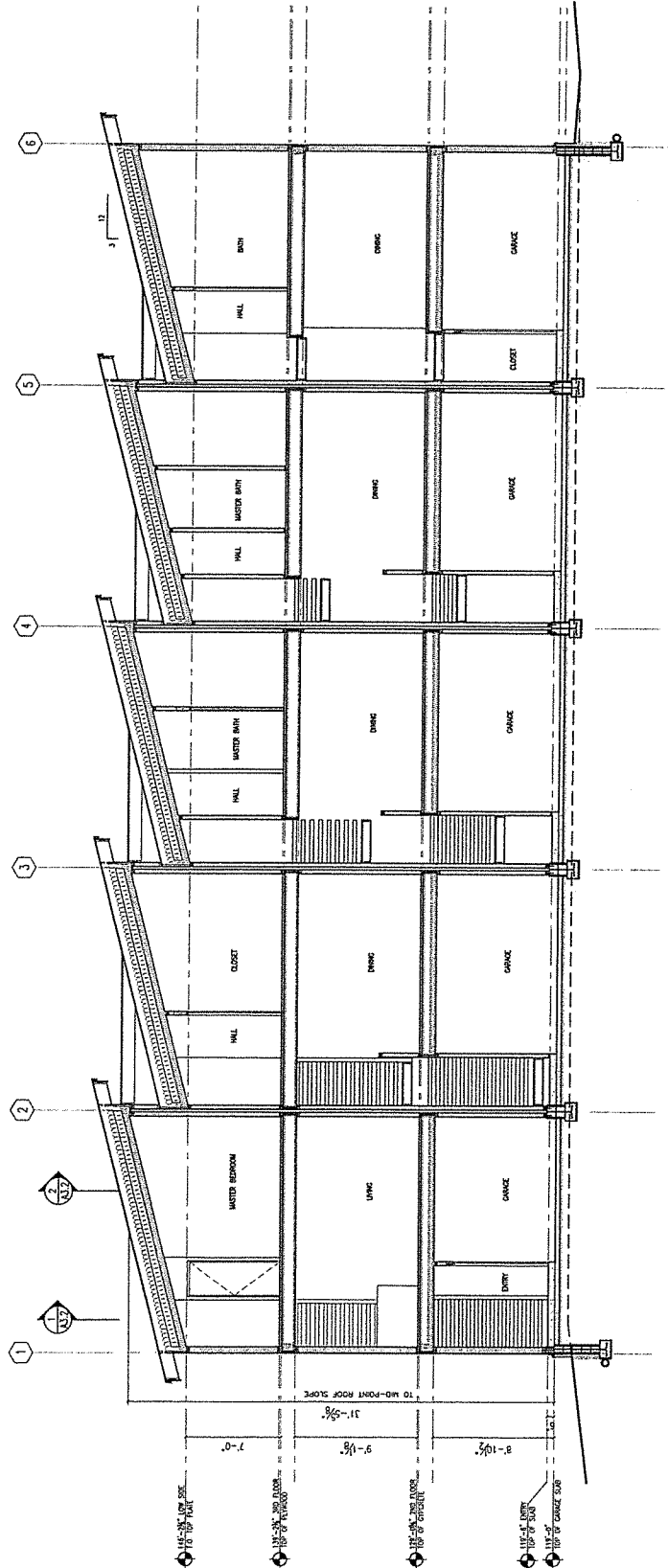
BUILDING SECTIONS - SOUTH UNITS

GLACIER CITY CENTER TOWNHOUSES
BIRDMOOD, ALASKA

SUBMITTAL: 12.13.21
DRAWN BY: ET
CHECKED BY: HAZ
REVISIONS:
JOB NUMBER: 21-05
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A53.1

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



1 SECTION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



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ARCHITECTS
1215 E. 10TH AVE., SUITE 200
ANCHORAGE, ALASKA 99501
PHONE: 283-1234 FAX: 283-1235
WWW.ZARCHITECTS.COM

BUILDING SECTIONS - SOUTH UNITS

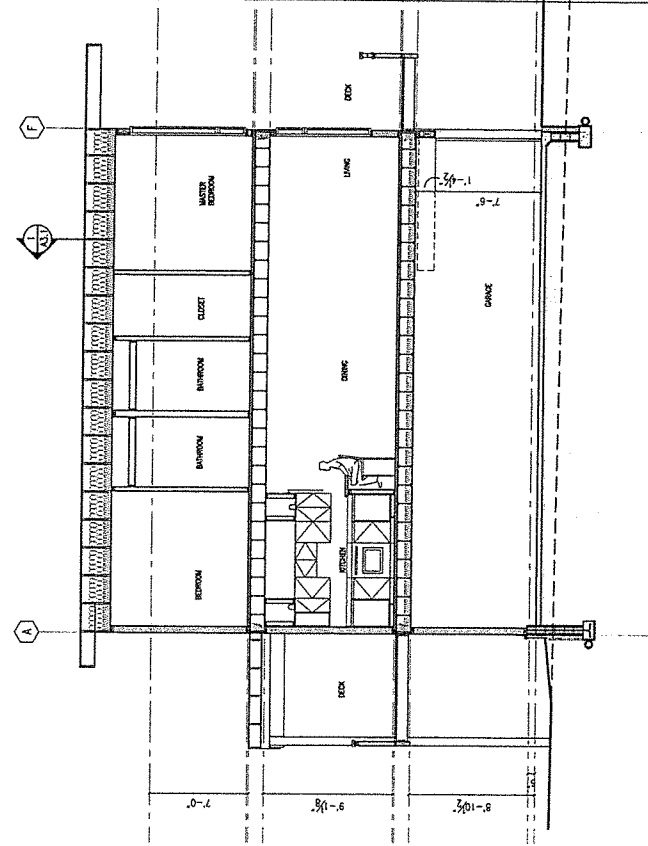
GLACIER CITY CENTER TOWNHOUSES
BIRCHWOOD, ALASKA

DATE: 12/1/21
DRAWN BY: JAC
CHECKED BY: HAZ
REVIEWED BY:

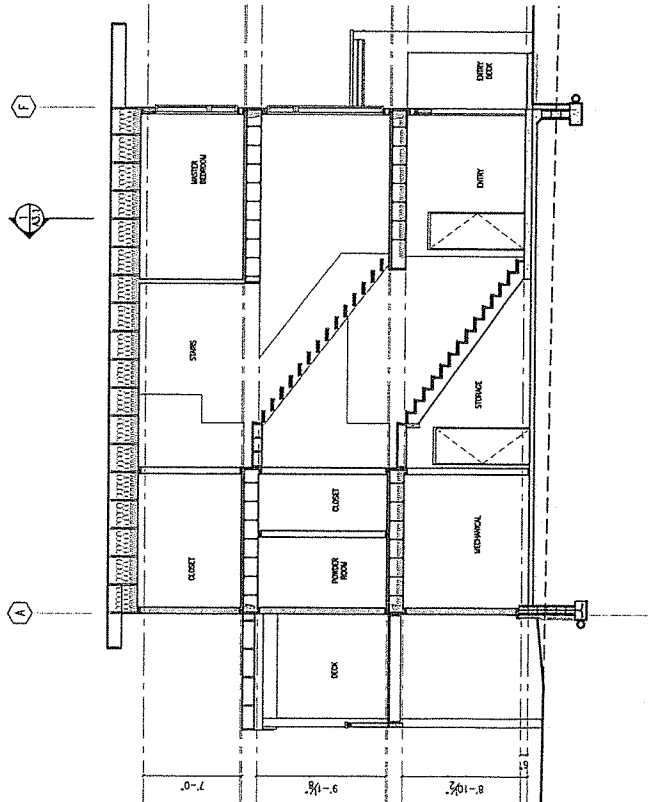
JOB NUMBER: 21-25
SHEET NUMBER: 21-25

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DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



2 SECTION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



1 SECTION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

GLACIER CITY CENTER TOWNHOUSES

NORTH UNITS

Girdwood, Alaska



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 Bldg. 842
 PH: 907.783.1090
 FAX: 907.783.1095
 ZARCHITECTS@ALASKA.NET

- Civil**
 Bell & Associates
 801 W. Friedland Ln
 Suite 201
 Anchorage, Alaska 99503
 Phone: 907.274.3257
 www.bellalaska.com
- Landscape Architecture**
 Earthscape
 329 F St.
 Ste. 222
 Anchorage AK 99501
 Phone: 907.279.2888
 earthscapealaska.com
- Structural**
 BSM Engineers Inc.
 845 K St.
 Anchorage AK 99501
 Phone: 907.274.2236
 www.bsm.com
- Mechanical**
 Sisk & Associates, Inc.
 1150 S. Colony Way
 Ste. PMB 370
 Palmer AK 99645
 Phone: 907.344.8222
 tom@siskalaska.com
- Electrical**
 EC Engineers
 6927 Old Seward Hwy
 Suite 200
 Anchorage AK 99518
 Phone: 907.348.9712
 eric@eceng.com

DRAWING INDEX

UNIT AREA (SQUARE FEET)			
THIRD FLOOR	SPACE UNIT	UNIT	TOTAL
THIRD FLOOR	N/A	648	648
SECOND FLOOR	N/A	648	648
FIRST FLOOR	506	142	648
TOTAL GROSS AREA	506	1,438	1,944

5 UNIT BUILDING AREA (SQUARE FEET)			
THIRD FLOOR	SECOND FLOOR	FIRST FLOOR (LIVING SPACE AND GARAGE)	TOTAL
3,240	3,240	3,240	9,720
TOTAL GROSS BUILDING AREA			9,720

FULL SIZE DRAWING SHEETS ARE 24"X36". SCALES ON OTHER SHEET SIZES SHOULD BE ADJUSTED ACCORDINGLY

STRUCTURAL - NORTH UNITS	
S-1.1	FOUNDATION PLAN - NORTH UNITS
S-1.2	SECOND FLOOR FRAMING - NORTH UNITS
S-1.3	THIRD FLOOR FRAMING - NORTH UNITS
S-1.4	ROOF FRAMING - NORTH UNITS

NOT INCLUDED IN DEVELOPMENT MASTER PLAN SUBMITTAL

ARCHITECTURAL - NORTH UNITS	
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	ROOF PLAN
A-2.1	ELEVATIONS
A-2.2	SECTIONS
A-3.2	BUILDING SECTIONS

NOT INCLUDED IN DEVELOPMENT MASTER PLAN SUBMITTAL SECTIONS ARE THE SAME AS SOUTH UNITS

DEVELOPMENT MASTER PLAN
 SUBMITTAL
 12-21-21

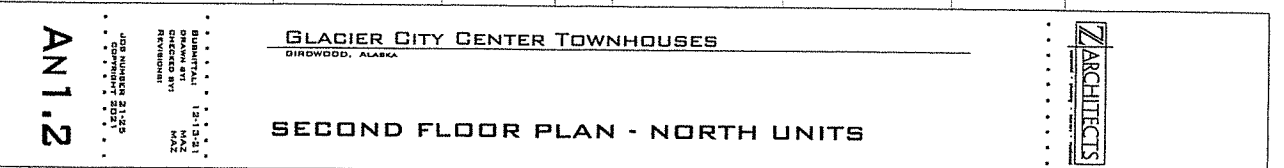
GLACIER CITY CENTER TOWNHOUSES
 GIRDWOOD, ALASKA
 COVER SHEET - NORTH UNITS

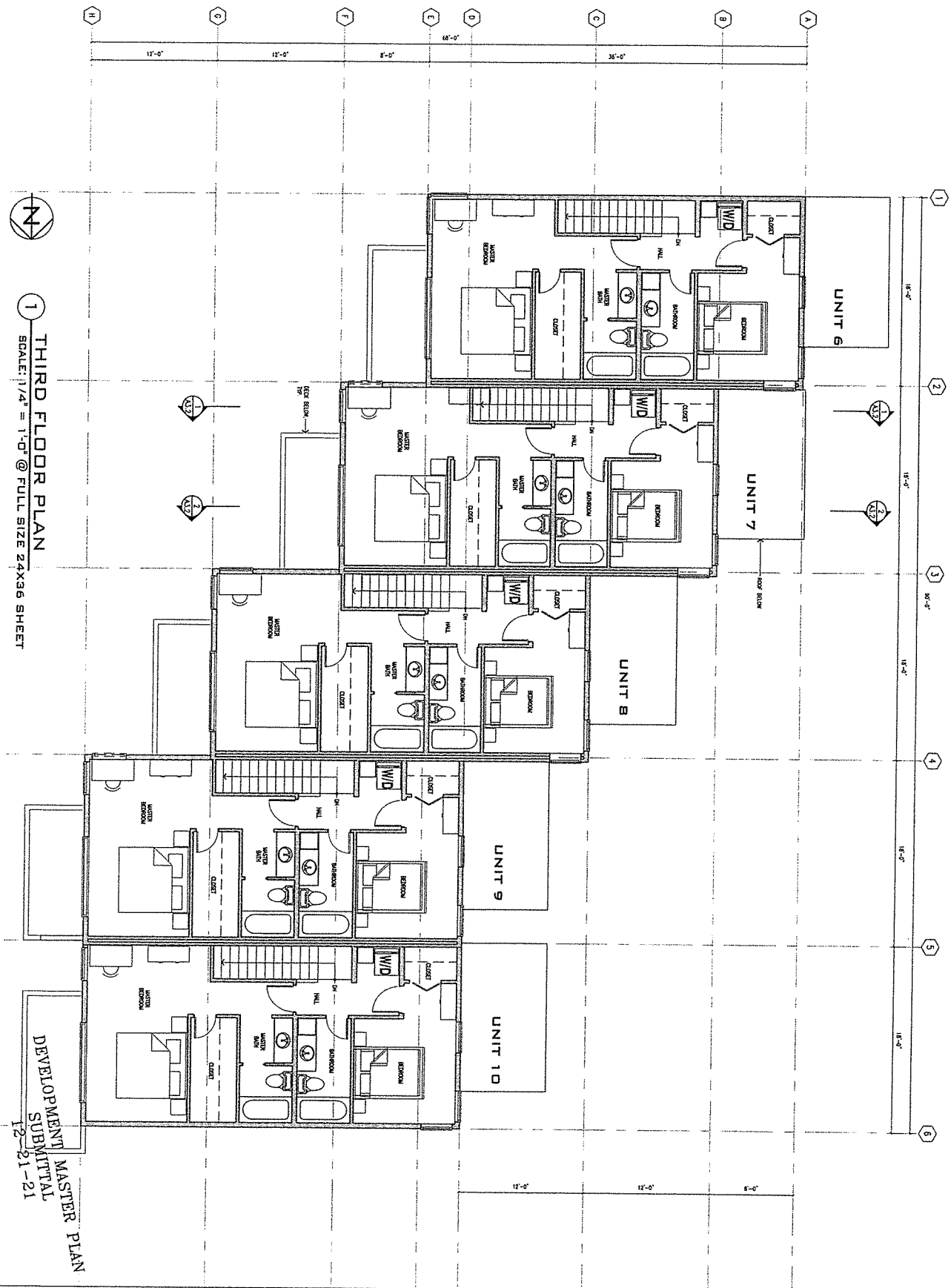
BURNETTALI 12.13.21
 CHECKED BY: MAZ
 REVISIONS:
 JOB NUMBER 21-29
 DRAWING 2021

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1 THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

DEVELOPMENT MASTER PLAN
 12-21-21

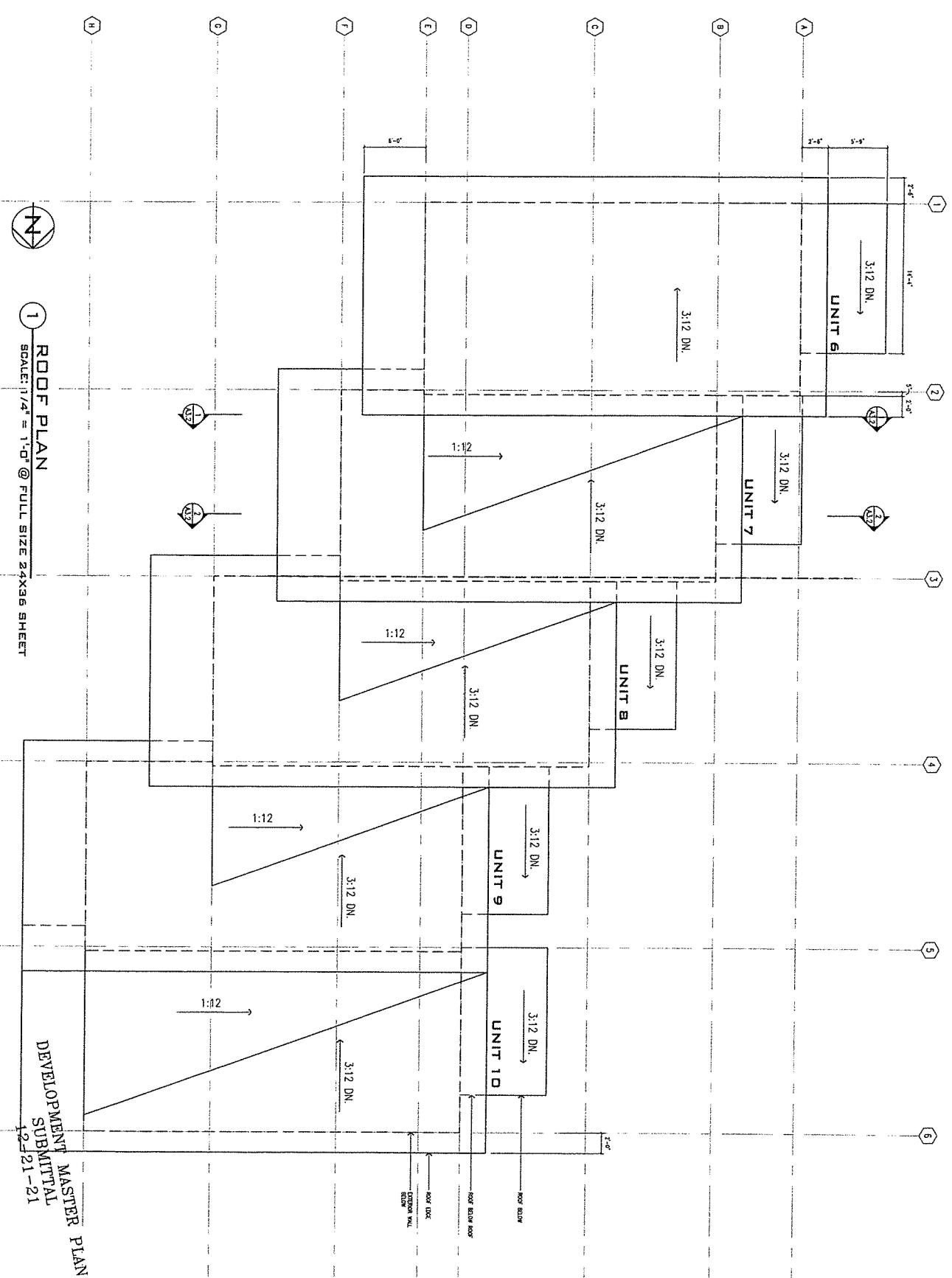
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REVISIONS
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 DRAWING BY MAZ
 CHECKED BY MAZ
 REVISIONS
 JOB NUMBER 2128
 COPYRIGHT 2021

GLACIER CITY CENTER TOWNHOUSES
 GIRDWOOD, ALASKA

THIRD FLOOR PLAN - NORTH UNITS





1 **ROOF PLAN**
 SCALE: 1/4" = 1'-0" @ FULL SIZE 24"X36" SHEET

DEVELOPMENT MASTER PLAN
 SUBMITTAL
 12-21-21

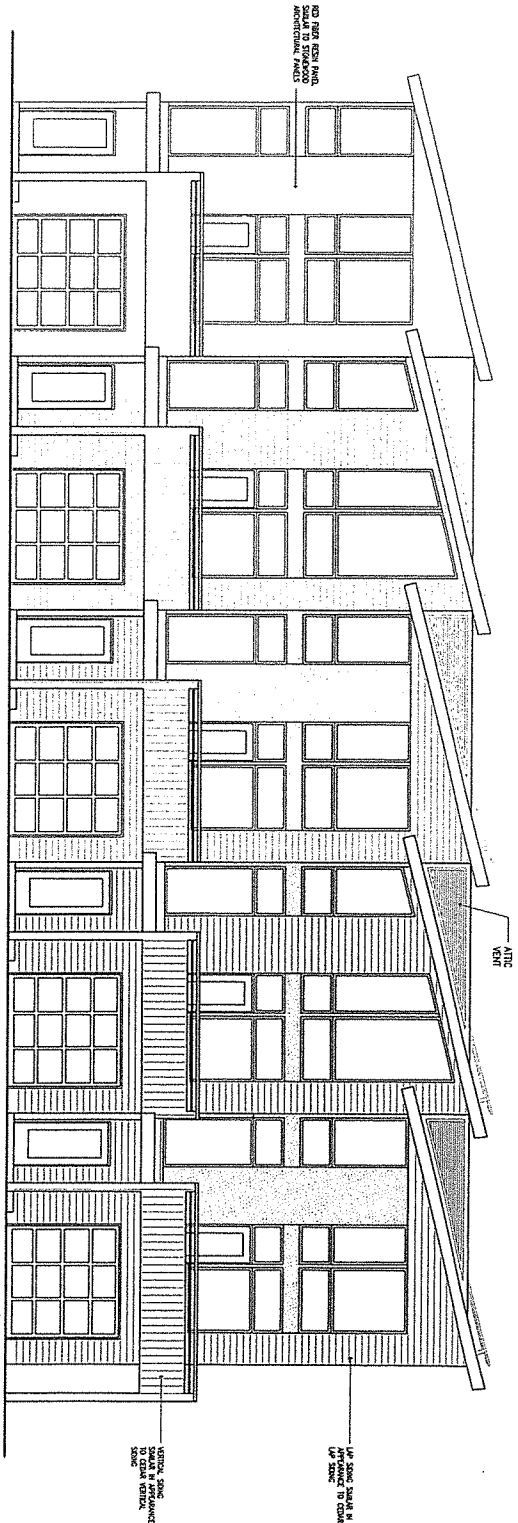
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GLACIER CITY CENTER TOWNHOUSES
 BIRDWOOD, ALASKA

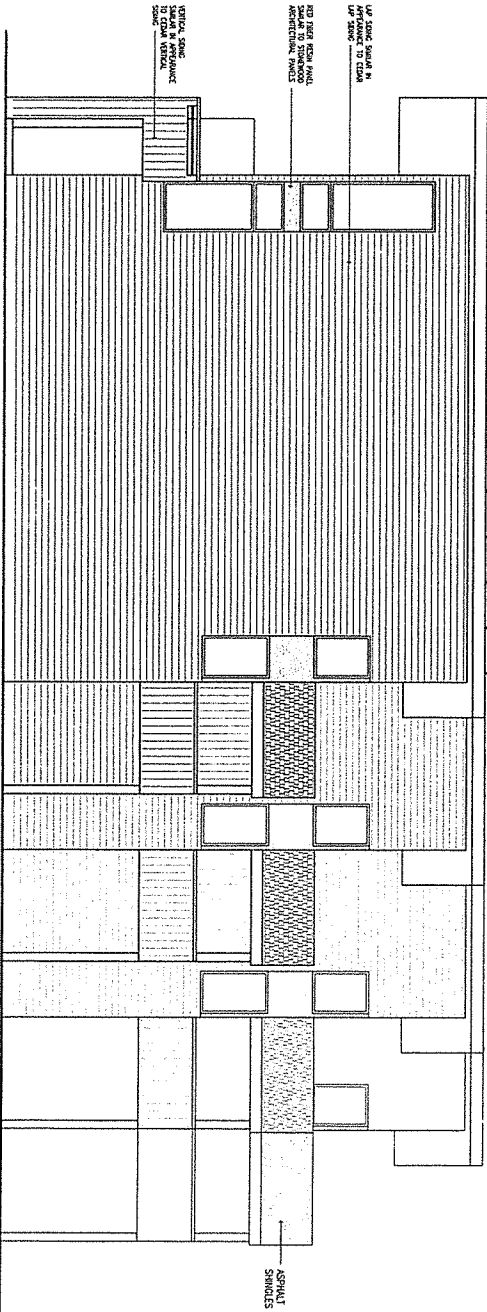
ROOF PLAN - NORTH UNITS

Z ARCHITECTS

13-1-2021
 CHECKED BY: NAAZ
 REVISIONS:
 JOB NUMBER: 21128
 DATE: 12-21-21



1 EAST ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0" @ FULL SIZE 24X36 SHEET

DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21

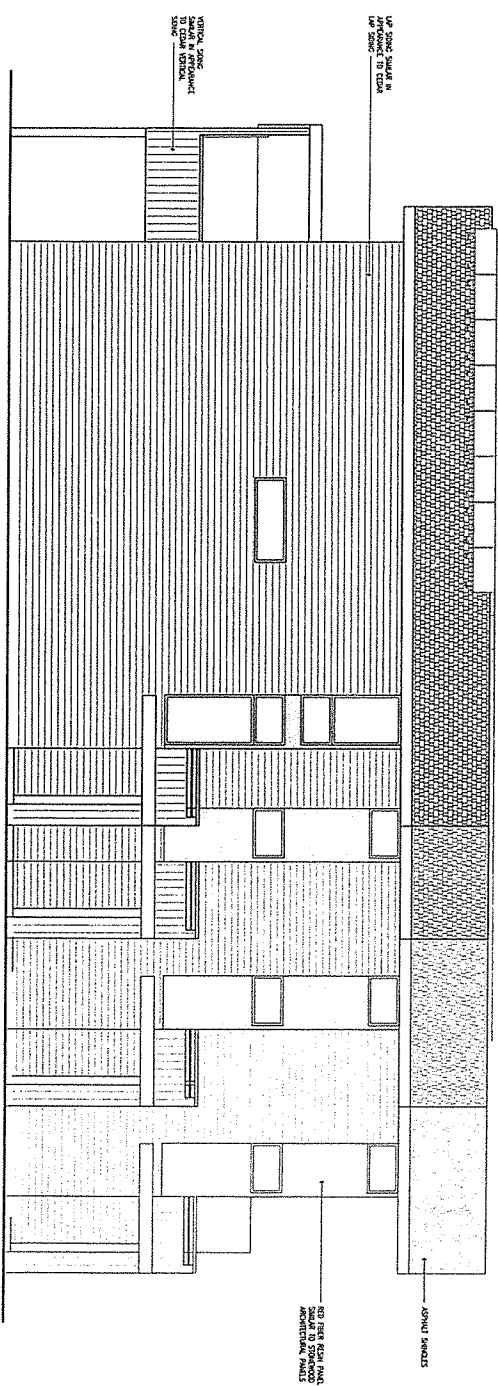
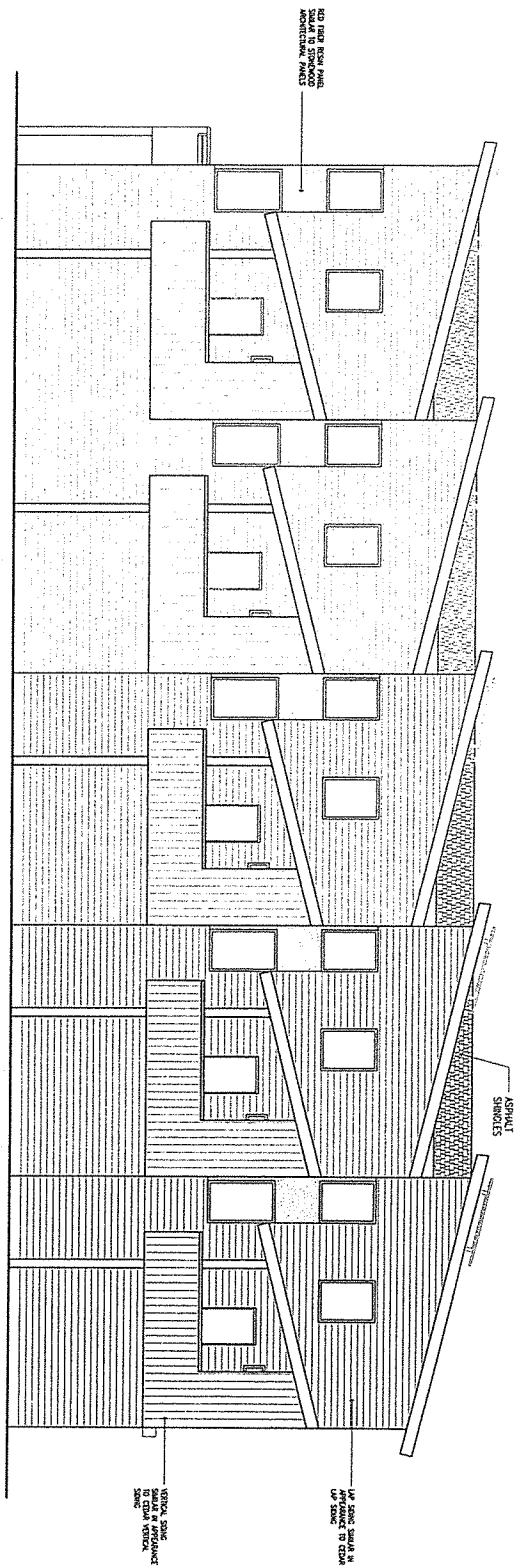
ZARCHITECTS

GLACIER CITY CENTER TOWNHOUSES
GIRDWOOD, ALASKA

ELEVATIONS - NORTH UNITS

AN2.1

JOB NUMBER 21-25
DATE 12-21-21
DRAWN BY: K. K. K.
CHECKED BY: M. K.
REVISIONS:



DEVELOPMENT MASTER PLAN
SUBMITTAL
12-21-21



REMARKS

REFERENCED SHEET NOTES

NOTES

1. **GENERAL NOTES**

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100. **GENERAL NOTES**

E1.2


**GLACIAR CITY CENTER
TOWNHOUSES**

HIGHTOWER RD & STUMPY WY
GIRDWOOD, ALASKA

EIC ENGINEERS, INC.
ELECTRICAL ENGINEERS



8027 OLD EDWARD HWY, SUITE 208
ANCHORAGE, AK 99516
1 (907) 349-8112
FAC: (907) 349-8111
WWW.EICENG.COM



REVISION

DATE: 10/27/2013

DRAWN: JPM

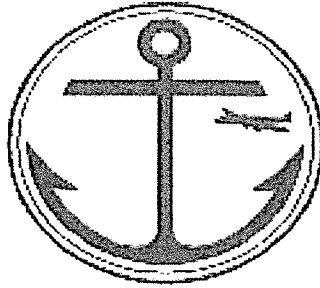
REVIEWED: EIC

ELECTRICAL SITE PLAN

SHEET NO.	DATE	BY	CHKD	DESCRIPTION

COMMENTS

Municipality
of
Anchorage



P.O. Box 390
Girdwood, Alaska 99587
<http://www.muni.org/gbos>
David Bronson, Mayor

GIRDWOOD VALLEY SERVICE AREA BOARD OF SUPERVISORS
Mike Edgington and Briana Sullivan, Co-Chairs
Jennifer Wingard, Amanda Sassi, Guy Wade

Resolution 2022-01
Of the Girdwood Board of Supervisors
**A RESOLUTION IN SUPPORT OF THE PROPOSED DEVELOPMENT MASTER PLAN FOR
GLACIER CITY CENTER**

WHEREAS, Case #2022-0017 is slated for Planning and Zoning Commission hearing on Feb 14, 2022; and

WHEREAS, the architect and developer for the project have attended required LUC and GBOS meetings to present the Development Master Plan for the Glacier City Center project to the community; and

WHEREAS, Development Master Plan approval is based on creation of design standards that meet or exceed the existing code for this parcel, which is zoned gC-8 and sits between the town center/post office and existing residential housing, creating a transition between commercial and residential use on Hightower Road.

WHEREAS, the majority of the multifaceted project presented to the community is in keeping with current code, with the following design alternatives to code:

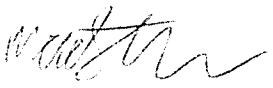
- Horizontal Mixed Use instead of Vertical Mixed Use: This change is favorable to the community as it keeps the commercial area adjacent to the existing town commercial center on Hightower Road while creating a more attractive private neighborhood atmosphere for the residences, away from the street and adjacent to a greenbelt. This also allows for the ground floor level of the townhomes to be used for garage space, which is needed in our climate.
- No continuous roofed public walkway at front of residences which are located away from the street edge and in a private part of the site. A continuous roofed walkway attached to the residences front façade is impractical and undesirable as these are private front yard spaces.
- A covered walkway with a 4' overhang instead of exposed walkway and 2' overhang along the south wall of the commercial building. This change is favorable as it will manage snow and rain better and will create a more pedestrian-friendly environment around the commercial building.
- Residential buildings are allowed to exceed the maximum front yard setback to make best use of the large lot and the most desirable residential location.
- One wall of commercial building allowed to be longer than the 42' allowable by under code. This change is acceptable as the wall faces away from the street and achieves the code intent through architectural design: length of wall beyond 42' is all glass and the building has a 'see-through' effect.
- Shallower roof pitch design. This change from code is favorable as it will hold the snow load and alleviate snow clearing requirement and mitigate the hazard of snow shedding from the roof.

WHEREAS, in response to neighbor concerns about noise from east deck on second floor of Building A (deck facing Hightower Road) the project developer agrees to reduce the deck depth from 12 feet to 8 feet and limit its use to between 8am and 8pm.

WHEREAS, the Girdwood Land Use Committee voted 10 in favor, 1 opposed and 9 abstaining at their January 10, 2022 meeting to recommend this Resolution of Support;

THEREFORE, the Girdwood Board of Supervisors supports the Development Master Plan as presented

Passed and approved by a vote of 4 to 0 this 17th day of January 2022.


Mike Edgington, GBOS Land Use Supervisor

DATE 1/20/21


Attest

Public Comments: 2022-0017

Commenter	Email	Phone Number	Submitted
Hyon Joo			1/11/2022 2:58:29 PM
<p>Applicant failed to disclose the deck on the east side of the commercial building during any of the three public meetings. This deck is an extension of the events center and will overlook Hightower Road. This deck represents the largest potential noise impact from this development and the applicant failed to even mention it as part of the public meeting process. The construction vehicles being stored there and being utilized as early at 6AM is already a disturbance. Having a micro distillery and an events center to host large gatherings is not appropriate for an area that is mainly residential and also having a micro distillery located so close to the school doesn't seem appropriate. A sample for the future can be seen by looking to the Girdwood Brewing Company, where vehicles have their engines running and people are standing outside and sitting in their vehicles socializing. They may close at 8PM but are they also going to disperse the all the crowd at the 8PM mark?</p>			

MUNICIPALITY OF ANCHORAGE



Development Services Department

Private Development Section

Mayor Dave Bronson

MEMORANDUM

Comments to Planning and Zoning Commission Applications/Petitions

DATE: January 25, 2022
TO: Elizabeth Appley, Senior Planner
FROM: Judy Anunciacion, Private Development Engineer
SUBJECT: PZC Case 2022-0017

RECEIVED

JAN 25 2022

BY: Planning

Case 2022-0017 – Review of Development Master Plan for Glacier City Center.

Roads: The subject parcels are bounded by the following rights-of-way:

- California Creek Way, to the north, is a class IA Commercial/Industrial Collector
- Hightower Road, to the east, is a class IA Commercial/Industrial Collector

Peripheral and Access Improvements: The subject parcel is within the New Girdwood Townsite Commercial Area.

- No improvements to California Creek Way are recommended at this time.
- As currently constructed Hightower Road does not meet current MOA standards for Townsite Commercial Area Streets per AMC 21.09.070.F.4. The petitioner shall construct barrier curb, gutter and an 8-foot sidewalk on the west side of Hightower Road, fully fronting and adjacent to the subject property.
- Prior to issuance of a Land Use permit for the proposed development the Petitioner shall enter into an Improvement to Public Place (IPP) agreement with Private Development for the required Hightower Road improvements.

Drainage:

The petitioner shall submit a comprehensive grading and drainage plan and storm water management report in accordance with the Municipality of Anchorage Design Criteria Manual Chapter 2 addressing the drainage on property and the adjacent rights of way.

Advisory Comment:

The proposed development plan currently shows insufficient driveway separation.

Department Recommendations: Private Development recommends approval of the proposed development plan for Glacier City Center subject to the above conditions.

MEMORANDUM

DATE: January 24, 2022
TO: Dave Whitfield, Planning Manager, Planning Section, Planning Division
FROM: Alex Prosak, P.E., Civil Engineer II, Planning Section, AWWU
RE: Zoning Case Comments
Hearing date: February 14, 2022
Agency Comments due: January 18, 2021

RECEIVED

JAN 24 2022

AWWU has reviewed the materials and has the following comments.

2022-0013 P & M SUBDIVISION, TRACTS A, B, & C (PLAT 81-319), Request for Rezone on three (3) parcels of land from CE-B-3 SL (Chugiak-Eagle River General Business) District with Special Limitations to CE-B-3 (Chugiak-Eagle River General Business) District, Grid SW0057

1. AWWU water and sewer are not available to these parcels.
2. AWWU has no objection to this rezone request.

2022-0017 GIRDWOOD ELEMENTARY SCHOOL SUBD, TRACT E3 (PLAT 95-35), Review of Development Master Plan for Glacier City Center, Grid SE4715

1. AWWU water is not available to this tract.
2. AWWU sanitary sewer is available to this tract.
3. AWWU has no comments on this Development Master Plan.

2022-0018 BITTNER SUBDIVISION, BLOCK 3, LOT (PLAT P-102); BITTNER SUBDIVISION, BLOCK 3, LOT 3A (PLAT 76-225); BITTNER SUBDIVISION, BLOCK 3, LOT 1A (PLAT 2000-142); AND HANSEN SUBDIVISION, BLOCK 3, LOT 3A (PLAT 64-68), Request to Rezone four (4) parcels of land from R-4 (Multifamily Residential) and B-3 (General Business) Districts to B-3 (General Business) District, Grid SW1529

1. AWWU water and sanitary sewer are available to these lots.
2. AWWU has no objection to this rezone request.

If you have any questions pertaining to public water or sewer, please call 786-5694 or send an e-mail to alex.prosak@awwu.biz





MEMORANDUM

DATE: January 12, 2022 **RECEIVED**

TO: Current Planning Division Supervisor.
Planning Department **JAN 18 2022**

THRU: Kristen A. Langley, Traffic Safety Section Supervisor,
Traffic Engineering Department

FROM: Randy Ribble, Assistant Traffic Engineer

SUBJECT: **2022-0017 Review of the Development Master plan for Glacier City Center.**

Traffic Engineering has reviewed the proposed development master plan for the Glacier City center development. Traffic Engineering is recommending that the site plan be revised and resubmitted for review and approval based on the following comments for compliance with AMC Title 21 and Municipal Driveway Standards.

Hightower Road is classified as a 1A Collector roadway maintained by Municipality of Anchorage. This site appears to be in the New Girdwood Townsite. The proposed development site plan appears to be deviating from the requirements of AMC 21.09.070 F 4. Townsite Commercial Area Streets. The development plan proposes no off-site improvement to the existing infrastructure with no justification on why proposed development complies with this section of code. Traffic Engineering recommends that appropriate variances be requested and approved or be required to provide half street improvements to Hightower Road that would include placement of the sidewalk within the municipal right of way as required by AMC 21.07 and 21.09. The sidewalk shown on the site complies with pedestrian connection to the ROW standards. If this sidewalk is allowed to remain as proposed, then connection back to Hightower Road will be required to be constructed at time of development. Traffic Engineering is recommending installation of the sidewalk and extension of existing curb and gutter along the property frontage. Additional information on existing street lighting levels needs to be provided to determine if additional street lighting will be required for the section of Hightower Road that has frontage along this parcel.

Municipal Driveway Standards and AMC 21.09-12 allow the Traffic Engineering Department the ability to limit the number of driveway connections to a classified roadway. Municipal Driveway standards would require a minimum driveway separation of 50ft and table 21.09-12 reduces the separation to 20 feet. Traffic Engineering is recommending that a single curb cut with maximum width of 24 be provided to reduce conflict with both non-motorized and pedestrian crossing along with the anticipated higher volume of Hightower road for both this and future proposed development in the Girdwood Valley. Revise site plan reducing number of access points to Hightower road.

Review of Sheet L1.0 appears to show some of the proposed required landscaping to be located within the existing Municipal Right of Way. Revise site plan to remove any required landscaping within Municipal ROW.

The development plan indicates that 96 parking spaces are required per Table 21.07-4. Sheet A0.5 shows that there are sufficient community parking spaces available to be eligible for a parking reduction for the site. Traffic Engineering is requesting that a condition of approval for this proposed development plan provide a recorded parking agreement with the Municipality.

The architectural and civil site plans provided in this application do not provide enough details to complete review for compliance with AMC 21.07 design standards. Provide plans that show typical dimensions of driveways, circulation, and parking spaces. Provide grade information to determine compliance with parking lot, sidewalk, and pedestrian standards.

Revise existing electrical site plans to provide analysis to determine if 14-foot poles are sufficient to provide lighting for exterior parking spaces for commercial portion of the development.

Provide adequate details that show compliance with the American with Disability Act to include grade, dimensions, signage, and striping.

Proposed location of Bicycle parking may not be compliant with AMC 21.07.090 K. Insufficient to determine if there large enough square footage and is located with required distance from Main entry and not impact pedestrian pathway.

Kimmel, Corliss A.

From: McGee, Lynn M.
Sent: Thursday, December 30, 2021 1:43 PM
To: Blake, Lori A.; Kimmel, Corliss A.
Cc: Right of Way Requests
Subject: 2022-0013, 2022-0017, 2022-0018 Request for Reviewing Agency Comments

RECEIVED

All: DEC 30 2021

ROW has the following comments by case number:

2021-0013 ROW has no comment or objections on the proposed action.

2022-0017 ROW has no comment or objections on the proposed action.

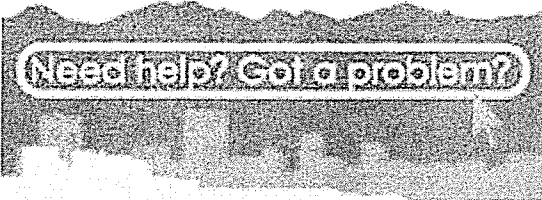
2022-0018 ROW has no comment or objections on the proposed action.

Regards,

Lynn McGee
Senior Plan Reviewer
Right of Way Section
lynn.mcgee@anchorageak.gov
Office: 343-8226
Fax: 249-7340

#ANCWORKS!

An online tool for Anchorage



From: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Sent: Thursday, December 23, 2021 1:57 PM
Cc: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Subject: 2022-0013, 2022-0017, 2022-0018 Request for Reviewing Agency Comments

Greetings all. Attached please find our Routing Cover Sheets for the above referenced cases scheduled as Public Hearings before the Planning and Zoning Commission on 02/14/2022. Routing materials can be viewed by clicking on any of the links below, scrolling to bottom of page and selecting "Reviewing Agency Routing" preceded by your case of interest. **PLEASE REMIT COMMENTS EITHER BY MAIL OR EMAIL AS FOLLOWS:** by email to Corliss Kimmel & Lori Blake (corliss.kimmel@anchorageak.gov & lori.blake@anchorageak.gov) or by USPS to the address listed in the upper right hand corner of the Routing Cover Sheet.

Kimmel, Corliss A.

From: Wilson, Karleen K.
Sent: Monday, December 27, 2021 1:01 PM
To: Kimmel, Corliss A.; Blake, Lori A.
Subject: FW: 2022-0017, Reviewing Agency Comments
Attachments: 2022-0017 Routing Coversheet.pdf

RECEIVED

DEC 27 2021

Master Pan, Glacier City Center, Case 2022-0017

General Address Comment:

Address Posting will be required in two locations. One posting at driveway entrance off Hightower Rd showing range of addresses, "House Number- House Number Hightower Rd" with minimum, 8 inch letters/numbers. Individual addresses posted for each unit at the front door will also be required.

Regards,

Karleen Wilson
Addressing Official
907.343.8168 (desk)
907.343.8466 (shared Addressing)
[Official Address Map](#)

From: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Sent: Thursday, December 23, 2021 1:57 PM
Cc: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Subject: 2022-0013, 2022-0017, 2022-0018 Request for Reviewing Agency Comments

Greetings all. Attached please find our Routing Cover Sheets for the above referenced cases scheduled as Public Hearings before the Planning and Zoning Commission on 02/14/2022. Routing materials can be viewed by clicking on any of the links below, scrolling to bottom of page and selecting "Reviewing Agency Routing" preceded by your case of interest. **PLEASE REMIT COMMENTS EITHER BY MAIL OR EMAIL AS FOLLOWS:** by email to Corliss Kimmel & Lori Blake (corliss.kimmel@anchorageak.gov & lori.blake@anchorageak.gov) or by USPS to the address listed in the upper right hand corner of the Routing Cover Sheet.

2022-0013 [https://www.muni.org/CityViewPortal/Planning/Status?planningId=17504.](https://www.muni.org/CityViewPortal/Planning/Status?planningId=17504)

2022-0017 [https://www.muni.org/CityViewPortal/Planning/Status?planningId=17508.](https://www.muni.org/CityViewPortal/Planning/Status?planningId=17508)

2022-0018 [https://www.muni.org/CityViewPortal/Planning/Status?planningId=17509.](https://www.muni.org/CityViewPortal/Planning/Status?planningId=17509)

Kimmel, Corliss A.

From: Fisher, Timothy W (DPS) <timothy.fisher@alaska.gov>
Sent: Sunday, December 26, 2021 3:08 PM
To: Kimmel, Corliss A.; Blake, Lori A.
Cc: Mahoney, Isabelle L (DPS)
Subject: RE: 2022-0013, 2022-0017 Request for Reviewing Agency Comments

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[EXTERNAL EMAIL]

DEC 27 2021

Hi Corliss and Lori;

Alaska State Fire Marshal, Plan Review has no objection to zoning changes.

A plan review is required for each of these structures.

2022-0013 is a telecommunications tower which is covered under the 2012 IFC for review.

2022-0017 is 4 dwelling units or more as well as a commercial building requiring a reviews.

Please when plans are complete, the applicants to submit proper documents for review and approval to dps.prb@alaska.gov or contact Isabelle Mahoney at 269-2004 or Isabelle.mahoney@alaska.gov

Let me know if you have any questions.

Take care;

Tim

Plans Examiner II
www.akburny.com ,
Plan Review Bureau
SOA, DPS, DFLS

From: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Sent: Thursday, December 23, 2021 3:13 PM
To: Fisher, Timothy W (DPS) <timothy.fisher@alaska.gov>; Wockenfuss, Deborah M. <deborah.wockenfuss@anchorageak.gov>
Cc: Stewart, Gloria I. <gloria.stewart@anchorageak.gov>
Subject: 2022-0013, 2022-0017 Request for Reviewing Agency Comments

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings! Attached please find our Routing Cover Sheets for the above referenced cases scheduled as Public Hearings before the Planning and Zoning Commission on 02/14/2022. Routing materials can be viewed by clicking on any of the links below, scrolling to bottom of page and selecting "Reviewing Agency Routing" preceded by your case of interest. **PLEASE REMIT COMMENTS EITHER BY MAIL OR EMAIL AS FOLLOWS:** by email to Corliss Kimmel & Lori Blake (corliss.kimmel@anchorageak.gov & lori.blake@anchorageak.gov) or by USPS to the address listed in the upper right hand corner of the Routing Cover Sheet.

2022-0013 <https://www.muni.org/CityViewPortal/Planning/Status?planningId=17504>.

POSTING AFFIDAVIT



AFFIDAVIT OF POSTING

CASE NUMBER: 2022-0017

I, Nathen Ellis hereby certify that I have posted a Notice as prescribed by Anchorage Municipal Code 21.03.020H.5. on the property that I have petitioned for Development Master Plan. The notice was posted on 12-28-21 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 28 day of December, 2021.

Nathen Ellis
Signature

LEGAL DESCRIPTION

Tract or Lot: Tract E3

Block: _____

Subdivision: Girdwood Elementary School