



# SCF TUDOR & ELMORE DEVELOPMENT

Administrative Site Plan Review

1180.63877.01

MAY 2024

**Prepared for:**

Southcentral Foundation  
4501 Diplomacy Drive  
Anchorage, Alaska 99508

**Prepared by:**



# Application for Administrative Site Plan Review

Municipality of Anchorage  
Planning Department  
PO Box 196650  
Anchorage, AK 99519-6650


PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Phillips, Krista (Southcentral Foundation)		Name (last name first) Chmielowski, LaQuita (DOWL)	
Mailing Address 4501 Diplomacy Drive		Mailing Address 5015 Business Park Blvd, Suite 4000	
Anchorage, AK 99508		Anchorage, AK 99503	
Contact Phone – Day	Evening	Contact Phone – Day	Evening
907-729-6656		907-562-2000	
E-mail kphillips@southcentralfoundation.com		E-mail lchmielowski@dowl.com	

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.


PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 008-024-10-000			
Site Street Address: 4330 Elmore Road, Anchorage, AK 99508			
Current legal description: (use additional sheet if necessary) Tract G5-1, Athenian Village Subdivision (Plat 2023-43)			
Zoning: B-3	Acreage: 3.72	Grid #: SW1735	Underlying plat #: 2023-43

SITE PLAN APPROVAL REQUESTED	
Use: ASPR needed for increased height of Health Services, Hospital/Health Care, & Office building.	
<input checked="" type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan    Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

 5.6.24  
Signature    ☐ Owner    ☒ Representative    Date  
(Representatives must provide written proof of authorization)

LaQuita Chmielowski, PE, LEED AP  
Print Name

Accepted by: 	Fee: \$ 1,850.00	Case Number: 2024-0073	Decision Date admin. 07/18/2024
---	---------------------	---------------------------	------------------------------------



**COMPREHENSIVE PLAN INFORMATION****Improvement Area (per AMC 21.08.050B.):** ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Large Lot Residential            | <input type="checkbox"/> Single and Two-family Residential | <input type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High          | <input type="checkbox"/> Neighborhood Center             |
| <input checked="" type="checkbox"/> Town Center           | <input type="checkbox"/> Regional Commercial Center        | <input type="checkbox"/> City Center                     |
| <input type="checkbox"/> Commercial Corridor              | <input type="checkbox"/> Main Street Corridor              | <input type="checkbox"/> Open Space                      |
| <input type="checkbox"/> Facilities and Institutions      | <input type="checkbox"/> Industrial                        |  |

**Anchorage 2040 Growth Supporting Features:**

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Transit-supportive Development | <input checked="" type="checkbox"/> Residential Mixed-use Development    |
| <input type="checkbox"/> Greenway-supported Development            | <input checked="" type="checkbox"/> Traditional Neighborhood Development |

**Chugiak-Eagle River Land Use Classification:**

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Commercial                                   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks              | <input type="checkbox"/> Community Facility  |
| <input type="checkbox"/> Town Center                                  | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre |  |   |  |

**Girdwood- Turnagain Arm Land Use Classification:**

- |   |  |   |  |
|---|--|---|--|
| <input type="checkbox"/> Commercial                                   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks/open space   | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort                                       | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve                   |
| <input type="checkbox"/> Commercial/Residential                       | <input type="checkbox"/> Commercial Recreation   |   |  |
| <input type="checkbox"/> Residential at _____ dwelling units per acre |  |   |  |

**Neighborhood, District or Other Area-Specific Plan:** UMED District Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- |                                |                                       |                                      |                                |   |
|--------------------------------|---------------------------------------|--------------------------------------|--------------------------------|---|
| Wetland Classification:        | <input checked="" type="radio"/> None | <input type="radio"/> "C"            | <input type="radio"/> "B"      | <input type="radio"/> "A"                           |
| Avalanche Zone:                | <input checked="" type="radio"/> None | <input type="radio"/> Blue Zone      | <input type="radio"/> Red Zone |   |
| Floodplain:                    | <input checked="" type="radio"/> None | <input type="radio"/> 100 year       | <input type="radio"/> 500 year |   |
| Seismic Zone (Harding/Lawson): | <input type="radio"/> "1"             | <input checked="" type="radio"/> "2" | <input type="radio"/> "3"      | <input type="radio"/> "4" <input type="radio"/> "5" |

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

- |  |
|--|
| <input checked="" type="checkbox"/> Rezoning - Case Number: 2020-0014  |
| <input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): S-12651 (2023-43)      |
| <input type="checkbox"/> Conditional Use - Case Number(s):   |
| <input type="checkbox"/> Zoning variance - Case Number(s):   |
| <input type="checkbox"/> Land Use Enforcement Action for   |
| <input type="checkbox"/> Building or Land Use Permit for   |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage |

### SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original)  
☒ Watershed sign off form, completed  
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 7 copies required: ☒ Signed application (copies)  
☒ Project narrative explaining:  
     ☒ the project                      ☒ planning objectives  
     ☒ addressing the site plan review criteria on page 3 of this application  
☒ Site plan to scale depicting, with dimensions:  
     ☒ building footprints              ☒ parking areas              ☒ vehicle circulation and driveways  
     ☒ pedestrian facilities              ☒ lighting                      ☒ grading  
     ☒ landscaping                      ☒ loading facilities          ☒ freestanding sign location(s)  
     ☒ required open space              ☒ drainage                      ☒ snow storage area or alternative  
     strategy  
     ☒ trash receptacle location and screening detail      ☒ fences  
     ☒ significant natural features      ☒ easements                  ☒ project location  
☒ Building plans to scale depicting, with dimensions:  
     ☒ building elevations              ☒ floor plans                  ☒ exterior colors and textures  
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

### SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

# *Southcentral Foundation*

March 21, 2024

Mr. Dave Whitfield

Planning Manager

Municipality of Anchorage Planning Department

P.O. Box 196650

Anchorage, AK 99519

Subject: Letter of Authorization: 4330 Elmore Road

Dear Mr. Whitfield,

Southcentral Foundation owns the property legally described as Tract G5-1, Athenian Village Subdivision, located at 4330 Elmore Road in Anchorage (Parcel ID 008-024-10-000).

As the Construction Project Manager of Southcentral Foundation, I authorize DOWL to act on our behalf as a petitioner submitting land use and planning actions for the above referenced land.

Should you have any questions, please contact me either by email at: [sglenn@scf.cc](mailto:sglenn@scf.cc) or by phone at: (907) 729-3378.

Sincerely,



Shawn K. Glenn | Construction Project Manager

4501 Diplomacy Drive • Anchorage, Alaska 99508  
(907) 729-4955 • Fax (907) 729-5000





# TABLE OF CONTENTS

<b>1.0 INTRODUCTION .....</b>	<b>1</b>
1.1 Property Information .....	1
<b>2.0 BACKGROUND .....</b>	<b>1</b>
2.1 Current Site Conditions .....	1
2.2 Adjacent Development .....	2
<b>3.0 PLANNING OBJECTIVE .....</b>	<b>3</b>
3.1 SCF Tudor & Elmore Development .....	3
3.2 Site and Building Plans .....	4
3.3 Community Outreach .....	4
<b>4.0 SITE PLAN REVIEW STANDARDS .....</b>	<b>5</b>
4.1.1 <i>The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any precedent plan or land use approval; .....</i>	<i>5</i>
4.1.2 <i>The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06 Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards; .....</i>	<i>11</i>
4.1.3 <i>The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; .....</i>	<i>20</i>
4.1.4 <i>The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan. ....</i>	<i>21</i>

## APPENDICES

Appendix 1: Site and Building Plans

Appendix 2: Use Determination

Appendix 3: Project Maps

Appendix 4: Property Card and Underlying Plat

Appendix 5: Watershed Sign-off

## 1.0 INTRODUCTION

---

DOWL, on behalf of Southcentral Foundation (SCF), is seeking approval of a site plan to exceed the height limitations for the new Tudor & Elmore Development (TED) planned for 4330 Elmore Road. Site, building, and landscape plans for the development are included in Appendix 1. Per the Use Determination letter included in Appendix 2, the facility will consist of a mix of Health Services and Hospital/Health Care Facility uses.

The facility will be located on SCF's property legally described as Tract G5-1, Athenian Village Subdivision, at the northwest corner of East Tudor Road and Elmore Road (Property Tax Number 008-024-10-000; see Appendix 3, Figures 1 and 2 – Vicinity and Site Maps). The site is west across Elmore Road from the main Alaska Native Health Campus (ANHC).

This project is an expansion of services currently provided by SCF on this site and at the main health campus across the street, and will also offer expanded services that are not currently offered. All of the proposed uses are permitted by-right in the B-3, General Business zoning district where the site is located. However, to accommodate the uses, the proposed building would exceed the maximum height of 45 feet as defined in the dimensional standards in Anchorage Municipal Code (AMC) Table 21.06-2.

Per B-3 district-specific standards in 21.04.030.D.2, "buildings in the B-3 district may exceed the maximum height established for areas outside of Midtown in Table 21.06-2, up to a maximum height of 60 feet" subject to an Administrative Site Plan Review (ASPR) process. This ASPR application is submitted to request approval for a height increase to allow the facility to be approximately 55 feet tall.

### 1.1 Property Information

Tract G5-1 is approximately 3.72 acres in area and located in the B-3 zoning district. The lot is bounded by East Tudor Road to the south and Elmore Road to the east, and there are existing driveways serving the development on the site off of both roads. The northwest corner of the site abuts the terminus of East 43<sup>rd</sup> Place, and there is a planned fire access from the site to this right-of-way (ROW), which will be gated. Site maps are included in Appendix 3, and Appendix 4 contains the property card and underlying Plat 2024-43. Additional information on current site conditions and surrounding uses is included in Sections 2.1 and 2.2 of this narrative below.

## 2.0 BACKGROUND

---

### 2.1 Current Site Conditions

The southeast corner of the parcel at the intersection of East Tudor and Elmore is the site of the SCF Detox facility. The existing building was constructed in 1996 and was formally known as the Ernie Turner Center (formerly ran by Cook Inlet Tribal Council). The facility includes approximately 14,294 square feet of medical and office space. SCF Detox is a withdrawal management program open to all Alaska residents over the age of 18 who would like support in completing medical detox. The facility includes medical supervision and access to behavioral health services, educational programs, and other support services to help with patients'



recovery plans. SCF Detox is accessed via a driveway from Elmore Road, and surface parking is located between the building and Elmore Road.

In 2020, the SCF Detox site was rezoned from PLI-SL, Public Lands and Institutions with Special Limitations to B-3, General Business (Case 2020-0014) to align with zoning of the adjacent parcels to the west and offer greater flexibility for future facility expansion. In 2023, four tracts were combined to create Tract G5-1 that exists today (Plat 2023-43, included in Appendix 4). This larger tract will be the site of the SCF Tudor & Elmore Development (SCF TED), which is discussed further below in Section 3.1 of this narrative.

Outside of SCF Detox in the southeast corner of the site, the remainder of the parcel is currently a mix of developed and undeveloped land. The west portion of the parcel (fronting East Tudor Road) is developed, consisting of a touchless car wash, mobile coffee stand, and associated paved and gravel areas. This portion of Tract G5-1 was formerly Tracts G3 and G4, and there are two driveways accessing East Tudor Road. The car wash and mobile coffee stand have been closed in preparation for the redevelopment of the site. The northeast portion of the parcel (formerly Tract G6) is currently undeveloped.

As shown on the included Plat 2023-43 in Appendix 4, several easements for various utilities encumber the tract. Easements exist primarily at perimeter property lines, however there are two adjacent 10' T&E Easement that extend north-south through the center of the parcel directly to the west of the existing SCF Detox building. In addition, there is a 30-foot water line easement and 25-foot setback easement that extend north-south on the eastern portion of the property.

There are no streams or drainageways located within the subject parcel. Topography and drainage maps are included in Appendix 3. The watershed sign-off is included in Appendix 5.

## 2.2 Adjacent Development

As noted earlier in this narrative, the subject property is zoned B-3. Adjacent properties to the west, east, and northeast are also zoned B-3. Properties to the west are commercial developments fronting East Tudor Road and Florina Street. The Alaska Native Health Campus (ANHC) is located to the east across Elmore Road, consisting of a mix of primarily hospital, healthcare facilities, and medical offices similar in use to the proposed redevelopment.

The north property line abuts R-3 zoning. The parcel to the northwest is currently developed as university student housing and associated parking. The eastern portion of the north property line abuts a utility-related warehouse or service structure owned by Alaska Pipeline Company, LLC. This site is surrounded by vegetated buffer, is fenced, and has a gated driveway access from Elmore Road.

Parcels south of the subject property across East Tudor Road are zoned B-3-SL (AO 2018-56). These parcels are owned by the Municipality of Anchorage (MOA) and are developed as the Anchorage School District Bus Transportation Facility. The parcel to the southeast across, across both Elmore Road and East Tudor Road is zoned PLI, and development consists of the Anchorage Police Department administration building and evidence storage yard.



## 3.0 PLANNING OBJECTIVE

---

### 3.1 SCF Tudor & Elmore Development

Southcentral Foundation's Vision is a Native Community that enjoys physical, mental, emotional and spiritual wellness. Its Mission is to work together with the Native Community to achieve wellness through health and related services. The organization has developed and implemented comprehensive health-related services to meet the changing needs of the Native Community, and support individuals and families on their wellness journey. This includes support through physical, mental, emotional, and spiritual wellness.

SCF has seen an increased demand for services related to its medical detox and withdrawal management programs. The expansion of these programs requires more space than exists at the current facility.

Additionally, SCF and its healthcare partners in the community have seen an increase in ER visits for those in a mental health crisis. To ensure that individuals that require the most acute care at the level of a hospital can be seen, SCF is creating a new program for Adult Crisis Stabilization. As a new program, no space currently exists at ANHC for this service.

To make way for the SCF TED, SCF is proposing to raze the existing buildings on the site to construct a new three-story, 101,000 square foot building to expand detox and outpatient behavioral health services and provide a location for the new crisis stabilization center. The proposed development also includes a 100,000 square foot integrated parking garage.

Services in the new building will include the following treatment programs (more operations information is included in the Use Determination in Appendix 2):

- Detox (Withdrawal Management) Program (patients expected to stay 3 to 10 days)
- Medication Assisted Therapy (Withdrawal Management) Program (outpatient)
- Behavioral Crisis Stabilization Program (patients stay under 24 hours)
- Behavioral Crisis Residential Program (patients expected to stay 7 to 10 days)
- Outpatient Behavioral Health (outpatient)
- Office and administrative space to support the above services.

Staffing for the facility is a mix of physicians, nurses, clinicians, and other medical, professional, and support staff. A Use Determination is included in Appendix 2 with additional information; the facility will include Health Services and Hospital / Health Care Facility uses under Anchorage Municipal Code (AMC) Title 21.

## 3.2 Site and Building Plans

As noted above, SCF is proposing to raze the existing buildings on the site to construct a new three-story, 101,000 square foot building to expand services. Renderings, elevations, floor plans, site and landscaping plans, and exterior lighting plans are included in Appendix 1.

As shown on floor plans included in Appendix 1, the building is an L shape aligned along the west and north property lines. The primary entrance is located at the interior corner of the L, facing the East Tudor Road and Elmore Road intersection. The first floor of the building includes the primary building entrance, reception, security, waiting rooms, intake / check-in offices, and exam rooms; other supporting spaces for the Detox / Medication Assisted Therapy and the Crisis Stabilization Center are also located on this level. All detox patient rooms and gathering spaces are on this first level, including a patio to the east of the building. The second level primarily consists of crisis stabilization patient rooms and supporting spaces. The third level mostly consists of spaces dedicated to staff offices, pharmacy, outpatient behavioral health, work spaces, the primary kitchen, and break / lounge areas. Overall, the facility will include approximately 48 patient rooms, with a mix of single and double rooms.

The proposed development also includes a 100,000 square foot, approximately 150 stall integrated parking garage for employee vehicles, fleet vehicles, and delivery services. The structured parking facility also includes secure bicycle storage and a generator. The parking garage is located along the north side of the building, with its entrance close to the proposed Elmore Road driveway at the northeast corner of the site. In the southeast portion of the site closest to the intersection, there is a 65-stall surface parking lot for patients and visitors.

Primary pedestrian access is from East Tudor Road, where there is an existing bus stop. Both non-motorized and vehicular access is also provided from the Elmore Road driveway at the northeast of the site and a shared driveway at the southwest corner of the site on East Tudor Road. The project team is coordinating with Alaska Department of Transportation & Public Facilities (DOT) and Municipality of Anchorage (MOA) to determine the need for a traffic impact analysis. Driveway permits will be obtained from DOT.

Required vegetated / open spaces related to the hospital / health care use, along with perimeter and parking lot landscaping, are accommodated surrounding the property as shown in the renderings and landscaping plans in Appendix 1 and discussed later in this narrative.

## 3.3 Community Outreach

Even though no community meeting is required, SCF and the project team provided an opportunity for neighbors to learn about the development and ask any questions. DOWL, SCF, Spark Design, and Bettisworth North Architects attended the University Area Community Council meetings on April 3 and May 1 to share updates on the project, including working drawings at the May meeting.

The plans were well received and there were questions related to the closure of the car wash, retainage of existing vegetation, and any connectivity to the UAA housing complex to the north. The team shared that the existing vegetation along the northern property line would be maintained to the extent possible. Also, there are no plans to provide connectivity to the UAA housing to the north, as the uses are very different, and the properties are owned by two different entities.



## 4.0 SITE PLAN REVIEW STANDARDS

Administrative Site Plan Reviews are subject to the approval criteria stated in AMC Title 21.03.180C. Below is an explanation of how the criteria are met.

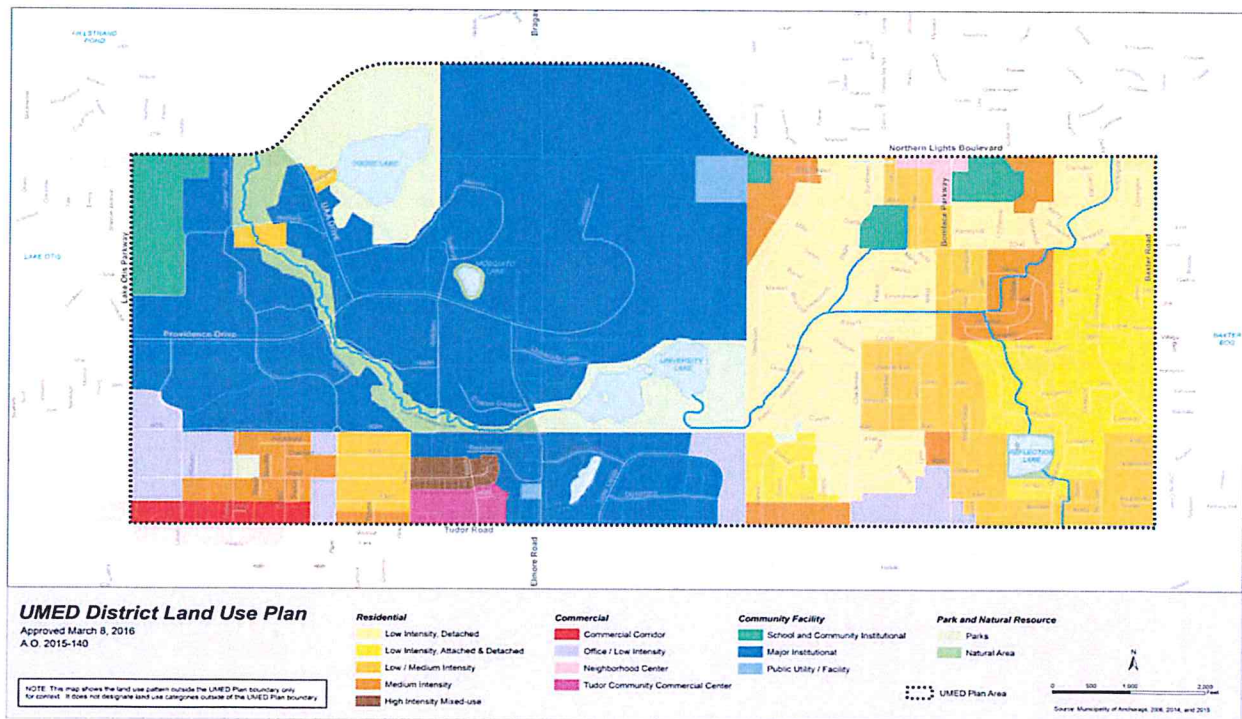
### 4.1.1 The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any precedent plan or land use approval;

#### Anchorage 2040 Land Use Plan

See Site Plan Review Standard 4 below (Section 4.1.4 of the narrative) for a discussion of how this project meets the intent of the 2040 Land Use Plan.

#### U-Med District Plan (2016)

The project site is within the planning area for the U-Med District Plan, which was prepared in 2016. One of the goals of the plan is to organize development in the U-Med area that includes ANHC and other major educational and medical institutions to be cohesive within the surrounding district. The U-Med District Land Use Plan Map (shown below and included in Appendix 3) supplements the Anchorage 2040 Land Use Plan (2040 LUP) and provides additional guidance to development in this area.



The U-Med District LUP above designates the project site and much of the surrounding area as Major Institutional. This designation “provides for university, medical centers, and social service providers (organizations) that serve a wide area of the community, region, or state that collectively function as a major activity and employment center and are not usually integrated



into residential areas. Large hospitals, university campuses, and major public administration campuses that provide services for the public may locate here. Supportive uses such as food, lodging, student housing, group housing or offices are allowed..." As part of the Major Institutional designated area and adjacent to ANHC, the proposed SCF TED is consistent with the intent of the U-Med District Plan.

According to the U-Med District Plan, Major Institutions are required to address the U-Med District design guidelines if they do not have an Assembly-approved master plan. Not all Design Guidelines included in the Plan are relevant to this project, and the full list is available in the U-Med plan document online. The following are some key design guidelines and sub-points that are relevant to and implemented by this project:

### ORGANIZATIONAL AND PRIVATE DEVELOPMENT

- Design and sequence development so that the natural qualities of the district are protected. All development should be consistent with the Plan's vision, goals, and land use designations.
- Encourage infill development and redevelopment of under-utilized property such as surface parking lots or low-density parcels.
- Enable increased height and/or small lot development in select areas.
- Encourage the redevelopment of existing commercial areas to provide goods and services that serve the needs of residents, employees, and students.

This project is consistent with the Major Institutional land use designation as it is an expansion of services that are part of ANHC (including both existing and new medical and behavioral health services). The property is currently only partially developed, and SCF has recognized a need to expand the services already on the site and add to behavioral health services, so a higher-density, taller building is proposed which will make greater use of the site. The location adjacent to the existing ANHC will continue a cohesive development pattern with expanded and improved services for the community, also conveniently located adjacent to a commercial corridor along East Tudor Road.

### ENTRANCE AND ORIENTATION

- Simplify wayfinding by clearly identifying major destinations throughout the District.
- Provide each campus entry with a permanent monument and landscape treatment appropriate to its context.

### BUILDING ORIENTATION

- Orient buildings to face streets and other public spaces and to conserve energy.

This facility is located at the major East Tudor Road and Elmore Road intersection, across the street from the monument sign and pedestrian overpass marking the entrance to ANHC. Monument signs are also planned for the facility near both the East Tudor Road and Elmore Road entrances, as shown on the plans in Appendix 1. Additional wayfinding signage is planned

for the development to direct vehicular and non-motorized traffic on the site. Facility design is contemporary and attractive, in a consistent style with the adjacent ANHC.

The TED is logically and conveniently located adjacent to ANHC, so it is easily connected to this major destination from a wayfinding perspective. The building entrance is oriented towards the intersection of East Tudor Road and Elmore Road, a high-traffic intersection for all modes of transportation, providing a clear relationship with both of these major streets as well as the adjacent ANHC across Elmore Road to the east. A pedestrian connection from the main entrance of the building to the bus stop on East Tudor Road is provided. Bicycle parking is provided both within the parking garage and adjacent to the main entrance of the building. Landscaping and a monument sign as proposed as shown in Appendix 1 are consistent with surrounding campus site design.

## MIX AND ARRANGEMENT OF USES

- Reduce the need for vehicular trips by encouraging service, retail and other support functions close to places of work, residence and study in the District.

It is critical that the facility is located in proximity to the hospital so that patients may be rapidly transported to a higher acuity facility if needed during their inpatient treatment at the SCF TED.

Locating the SCF TED adjacent to the main ANHC also allows convenient access for staff, patients, and visitors within the campus area. There is a drop-off area for the ANHC shuttle bus that reduces car trips within the ANHC campus. The site plan also provides for direct connectivity to the existing bus stop just to the south of the proposed building. A sidewalk extends along the north side of East Tudor Road that also leads to the pedestrian overpass over East Tudor Road. A new sidewalk will also be installed along Elmore to connect to the existing sidewalk and will further connectivity to the trails and sidewalks within the area.

## BUILDING MASS

- Configure each building to be compatible in scale with adjacent natural and built features.
- Design buildings so that their apparent bulk does not overwhelm the size and character of nearby buildings, parks, natural areas, and public trails.
- Enable increased height and/or smaller lot development in select areas.

At three stories and approximately 55 feet tall, the proposed building mass is compatible with the scale of surrounding development. ANHC buildings to the east are within an area of the U-Med District that is zoned B-3 and permits buildings up to 75 feet in height by-right ("bounded by Tudor Road, Elmore Road, Ambassador Drive, and the north and east alignments of Tudor Center Drive" per Table 21.06-2). The ANHC building closest to Elmore at ANHC appears to be approximately five stories.

In the B-3 zoned district outside of the area where 75 feet is allowed by-right, the by-right height is 45 feet. Additional height up to 60 feet can be granted with an ASPR, and additional height beyond 60 feet can be allowed with a conditional use permit.



University student housing to the north is set farther from the subject parcel on the R-3 tract to the north, and those buildings appear to be approximately four stories tall. Title 21 allows buildings to be 45 feet in height by-right.

Commercial and multifamily development to the west of the subject parcel include a range of heights, with two storage buildings that are approximately four stories high, multifamily residential buildings at two to three stories, and other commercial development at 1 to 2 stories. The proposed height of the SCF TED is consistent with the surrounding development and assists with the transition from the taller buildings located at the ANHC to the surrounding commercial and residential development.

## BUILDING ARTICULATION

- Reconcile the need for improved local access between campuses and support facilities with the established character of District development.
- Site and articulate new campus buildings to reinforce the center of each campus as a walkable environment.

The proposed TED is located directly across the street from ANHC. This proximity led to a design solution that is physically connected to the main campus and reinforces the campus aesthetic in a modern medical facility. The development includes a new sidewalk along Elmore Road which separates pedestrians from vehicular traffic. A bus stop is located on the north side of East Tudor Road, centrally located on the south property line. The Campbell Creek Trail multimodal corridor is located on the south side of East Tudor Road. Pedestrian access is directed to the sidewalk connection adjacent to the bus stop. By locating the new facility in close proximity to ANHC, the development reinforces the existing character of the District and contributes to the walkability of related medical uses.

## MATERIALS AND SIGNAGE

- Set a precedent for future development with the quality of signage and of conspicuous building materials. It is important that consistent, high quality be maintained.
- Use building materials that suggest permanence and dignity and that are appropriate for Alaska.

Studies show that a connection to nature promotes wellness and healing. As such, the primary design concept for the TED was inspired by the Alaskan birch forest, a natural element found throughout Alaska. As shown on architectural elevations and renderings in Appendix 1, the ground floor features limited narrow tall windows intended to reflect the density at the forest floor. At the center portion of the building thins out and features vertical screening elements that mimic the middle of the trunk. At the third floor, the structural columns mimic the treetops and split to create a "V" and support the large canopy overhang.

Materials will complement existing finishes on the ANHC campus to reinforce the campus identity. A wood Phenolic Laminate Panel is specified for all building soffits and overhangs. Insulated metal panel siding and large format stone panels will comprise the majority of the exterior walls. The garage will be screened from Level 2 to Level 3 with a vertical screening system designed to replicate the aesthetic of salmon drying on racks at fish camps across Alaska. At the ground floor, the design features perforated metal panels on the north elevation



that match the color and pattern of the stone paneling. The salmon rack aesthetic is also used to conceal mechanical louvers at the penthouse and to highlight the main building entry. These materials reflect those found in nature and are intended to create a warm and inviting atmosphere for all patients, visitors, and staff.

To ensure all building occupants have access to natural light and views, the design utilizes strategically located glazing to bring natural light throughout the facility and focus views. To connect patients to nature while receiving treatment, the design of the Crisis Stabilization Center incorporates a solarium at both Level 1 and Level 2, while the Detox program includes an exterior courtyard.

Monument signage will be an extension of the ANHC signage standards. These wayfinding and monument signs are high-quality and conspicuous.

## LANDSCAPE BUFFERS

Protect natural areas from inappropriate access, from 'visual pollution' such as an open view of a parking lot, and from untreated runoff from developed areas.

The majority of the facility's parking will be provided in the integrated parking structure on the north side of the building. This portion of the development is screened with vertical fins that mimic salmon drying on racks in a smoke house. Surface parking is located approximately 20 feet from East Tudor Road to provide space for an increased landscape buffer. Existing vegetation along the northern boundary of the site will be retained to the extent possible and supplemented with new landscaping where needed, which will serve as a buffer between the development and the UAA student housing.

## NATIVE LANDSCAPES

- Reinforce the natural landscape and ecology of the District by use of appropriate materials and techniques.
- Emphasize native plantings in naturalistic patterns.

Landscaping plans for vegetated areas and required buffer and perimeter landscaping are included in Appendix 1 and discussed in Section 4.1.2 of this narrative. Native plants such as white spruce and birch will be used in the landscaping, and the northeast area of the property boundary will maintain existing vegetation to the extent possible. Additionally, the design will feature commercially available traditional healing plants in areas accessed by SCF's patients as a way to promote healing by connecting to traditional values.

## PUBLIC TRANSIT

- Promote public transit as a viable mode of travel within and beyond the District.

## PEDESTRIAN AND BICYCLE ACCESS

- Expand the circulation system to provide safe and convenient access on foot and bicycle between all major destinations within and adjacent to the District.

As shown on site plans in Appendix 1, the building entry's primary pedestrian access from the adjacent East Tudor Road ROW is directly connected to an existing bus stop with 15-minute headways. This pedestrian connection was strategically located to align with the access pathway of those patients who arrive in vehicles to promote equity in healthcare. Sidewalks along East Tudor Road and Elmore Road (to be constructed as part of this project) provide connections to the surrounding U-Med area, particularly ANHC directly across the street. The Campbell Creek Trail corridor is located south of East Tudor Road and provides convenient multi-modal access for staff, patients, and visitors.

In accordance with Title 21 requirements for bicycle parking, bicycle storage is provided within the parking garage to provide convenient, secure, and weather-protected space for bicycles. Specific bicycle parking requirements are discussed further in Site Plan Review Standard 3 (Section 4.1.2) below in this narrative.

### SERVICE ACCESS

- Provide access for service vehicles that is discrete yet efficient. Locate service, drop-off and pick-up areas away from corners and major building entries, so that they minimize disruption to vehicular and pedestrian traffic patterns.

Service vehicle access and loading space is provided within the parking garage, which is designed to be discretely integrated into overall building design. With fleet and staff vehicles concentrated in this parking garage as well, there will be less vehicular circulation on the rest of the site, which is more oriented towards patients and visitors to the facility.

### PARKING FACILITIES

- Locate and configure parking facilities for convenience without undue visibility. They should be less dominant in the landscape than occupied buildings or major landscape features.
- Provide convenient but inconspicuous parking.
- Minimize frontage areas used for surface parking.
- Provide landscape buffers between roadways and parking lots and trails.

As shown in site and building plans in Appendix 1, the majority of parking provided on site will be located in a screened parking garage attached to the overall building and integrated into the design to be attractive and inconspicuous. Along the northern side of the building, the parking garage will be minimally visible from surrounding ROWs and screened with landscaping meeting L2 buffer standards along the northern property line, as discussed further in Section 4.1.2 of this narrative.

Though some frontage space is used for surface parking, the area is limited and dedicated to visitors and patients. The intent of this parking location is to provide easily identifiable, welcoming, and convenient access to the building's main entrance, which is oriented towards the intersection of East Tudor and Elmore Roads. In accordance with Title 21 site perimeter and parking lot landscaping requirements, as well as hospital / health care facility use-specific standards, landscaped areas are planned around the site, as shown on landscaping plans in Appendix 1.



**In summary, the proposed development is consistent with the U-Med District Plan.**

#### Rezone – 2020-0014

This rezone converted two of the underlying tracts that were previously zoned PLI-SL to B-3, consistent with the Town Center Anchorage 2040 LUP designation and current zoning to the west, south, and east. This rezone was needed to allow the underlying tracts to be combined without creating a split-zoned parcel.

#### Plat – 2023-43 (Case S-12651)

This plat combined four tracts into Tract G5-1 that exists today, allowing more space for the SCF TED development. Previous plats of the SCF Detox parcel prohibited additional access to East Tudor Road, but negotiations related to this plat resulted in permission to maintain an East Tudor Road access point and an Elmore Road access point.

The current site plan in Appendix 1 has been designed according to these constraints, along with considerations related to some of the easements on the property. Conditions of approval placed on the 2023 plat did require some additional easements to be dedicated, and also required SCF to work with Private Development to determine public improvements. SCF is currently in the process of seeking letters of non-objection from utility companies to vacate the north-south easements shown in the middle of the tract under the site of the proposed building.

### **4.1.2 The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06 Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards;**

#### **21.04 – Zoning Districts – B-3: General Business District**

The site is currently zoned B-3. The uses included in this project are classified as Health Services and Hospital / Health Care Facility, as discussed in greater detail in the Use Determination in Appendix 2. These uses are permitted within the B-3 zoning district.

#### **21.05 – Use Regulations – Health Services**

Health Services facilities are subject to the use-specific standards as defined in AMC 21.05.040.F.1.b.

*Use-specific standard.* Applicable health service establishments shall comply with the medical facility accessible parking requirements; see subsection 21.07.090 J.4.

AMC 21.07.090.J.4: At least ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities shall be accessible. At least 20 percent of patient and visitor parking spaces provided to serve rehabilitation facilities and outpatient physical therapy facilities shall be accessible.

This health care facility is not a rehabilitation or physical therapy facility, so the 10 percent requirement applies. There will be 65 surface parking spaces dedicated to patients and visitors, including 7 accessible spaces. Of the 7 accessible spaces in the surface parking lot, 4 are van accessible. **This standard is met.**

*There is also a parking garage dedicated for staff and fleet vehicles, which is separate from patient and visitor parking and subject to off-street parking requirements for ADA ratios in AMC Table 21.07-8. This parking is discussed later in this narrative.*

## 21.05 – Use Regulations – Hospital / Health Care Facility

Hospital / Health Care Facilities are subject to the use-specific standards as defined in AMC 21.05.040.F.2.b.

### *Use-specific standards.*

i. *Minimum lot size.* Unless otherwise authorized by the planning and zoning commission, the minimum lot size for a hospital/health care facility shall be as follows:

(A) Six to ten beds: 21,780 square feet.

(B) Eleven to 20 beds: 43,560 square feet.

(C) Every ten beds (or fraction thereof) over 20 beds: 21,780 square feet.

The facility is designed to accommodate approximately 35 inpatient care rooms for detox and crisis stabilization services. Approximately 13 of the rooms are planned as double rooms with two patient beds, bringing the total around 48 beds. The following lot size is required to accommodate this facility:

- First 20 beds: 43,560 square feet
- Next 28 beds: 21,780 square feet, multiplied by 3 = 65,340 square feet
- Total required: minimum of 108,900 square feet

The lot is approximately 161,888 square feet. **This standard is met.**

ii. *Vegetated open space.* A minimum of 15 percent of the lot shall remain as a planted open area, landscaped area, natural vegetation area, or usable yard, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 15 percent of the lot as open area, etc., allows for sufficient buffering of adjacent uses.

The lot is approximately 161,888 square feet. As shown in the calculations on the landscaping plans in Appendix 1, a total of approximately 41,205 square feet, or 25 percent of the overall site area, will meet the definition of “vegetated open space” above (“planted open area, landscaped area, natural vegetation area, or usable yard”). This includes landscape beds, natural vegetation that is being maintained, arterial landscape easements along East Tudor Road, and other



private outdoor spaces such as the hardscape patio to the east of the building. **This standard is met.**

iii. *Landscaping buffer.* L2 buffer landscaping shall be provided along all lot lines adjacent to a residential use or district.

As shown on the landscaping plans in Appendix 1, there is R-3, Multifamily Residential zoning to the north of the eastern portion of the site (east of the terminus of East 43<sup>rd</sup> Place). Along this portion of the northern edge of the site, L2 buffer landscaping will be provided in accordance with standards as defined in AMC Table 21.07-2, with a buffer of 15 feet. Existing natural vegetation will be maintained to the extent possible. If the vegetation is disturbed during construction or does not meet the intent of code, landscaping will be provided that meets the L2 standards. **This standard is met.**

iv. *Institutional master plan.* In accordance with Section 21.03.110, hospitals with an approved institutional master plan are exempt from the review and approval procedures required by Table 21.05-1, Table 21.09.050-1, or Table 21.10-4, for projects developed under the auspices of the approved institutional master plan.

This facility is not part of an approved hospital institutional master plan. **This standard is not applicable.**

v. *Accessible parking.* Hospital/health care facilities shall comply with the medical facility accessible parking requirements of subsection 21.07.090 J.4.

AMC 21.07.090.J.4: At least ten percent of patient and visitor parking spaces provided to serve hospital outpatient facilities shall be accessible. At least 20 percent of patient and visitor parking spaces provided to serve rehabilitation facilities and outpatient physical therapy facilities shall be accessible.

This health care facility is not a rehabilitation or physical therapy facility, so the 10 percent requirement applies. There will be 65 surface parking spaces dedicated to patients and visitors, including 7 accessible spaces, which is over 10 percent of 65. Of the 7 accessible spaces in the surface parking lot, 4 are van accessible. **This standard is met.**

*There is also a parking garage dedicated for staff and fleet vehicles, which is separate from patient and visitor parking and subject to off-street parking requirements for ADA ratios in AMC Table 21.07-8. This parking is discussed later in this narrative.*

## 21.06 – Dimensional Standards and Measurements

Dimensional standards for the B-3 – General Business zoning district are defined in Table 21.06-2. The standards for “all other uses” (non-residential uses) apply, except where modified by the special limitations associated with this particular site.

Minimum lot area: 6,000 square feet – Tract G5-1 is approximately 161,888 square feet. **This standard is met.**

Minimum lot width: 50 feet – Tract G5-1 is approximately 506 feet wide from east to west and 320 feet from north to south. **This standard is met.**



Maximum lot coverage: Unrestricted – **This standard is not applicable.**

Front Setback (Corner lot under 21.06.030.C.4)

Minimum front setback: 10 feet

At least one front setback shall be provided having the full depth required generally in the district. No other front setback on such lot shall have less than half the depth required generally for front setbacks in the district.

As shown on the site plans in Appendix 1, the proposed building will be set back approximately 60 feet from East Tudor Road and approximately 100 feet from Elmore Road. Both of these street frontage setbacks exceed the 10-foot or 5-foot minimums (depending on primary or secondary frontage). **This standard is met.**

Minimum side / rear setback: 15 if adjacent to a residential district; otherwise 0 or at least 10

The building is located approximately 35 feet from the west property line and approximately 25 to 30 feet from the north property line, as shown in the site plans in Appendix 1. **This standard is met.**

Maximum building height: 45<sup>11</sup>, except in the Midtown area bounded by the Seward Highway, Tudor Road, Arctic Boulevard, and Fireweed Lane, where there is no maximum height, and except in the U-Med District area bounded by Tudor Road, Elmore Road, Ambassador Drive, and the north and east alignments of Tudor Centre Drive, where the maximum height is 75<sup>11</sup>

- Footnote 11: See subsection 21.04.030D.2. for information regarding possible height increases.
- AMC 21.04.030.D.2.b: Height increase permitted. Buildings in the B-3 district may exceed the maximum height established for areas outside of Midtown in Table 21.06-2, up to a maximum height of 60 feet, subject to the following:
  - i. The development shall be within an area designated by the comprehensive plan as a commercial center or other type of urban center above the neighborhood scale.
  - ii. The development shall be subject to administrative site plan review and Section 21.07.070, Neighborhood Protection.

This development is requesting to increase the height above 45 feet to approximately 55 feet. As shown on the architectural elevations included in Appendix 1, the average height of the main roof surface from the average grade will be approximately 55 feet (calculated in accordance with AMC 21.06.030.3 – Rules for measuring height).

There is a penthouse on a portion of the top of the building that extends taller than the roof, at just under 72 feet. The penthouse contains seven air handlers, multiple boilers, a mechanical shaft, a service elevator, and egress stairs as shown on the architectural floor plans in Appendix 1. As noted in AMC 21.06.030.6 – Height exceptions, this is considered an appurtenance that contains mechanical equipment and/or stairwell and elevator enclosures under provision (c). The penthouse covers less than one-third of the roof area and is not intended to provide additional floor area. This type of appurtenance that includes an elevator enclosure is permitted



to exceed the maximum height by 25 feet under provision (c.iv.D), which would be a total of 85 feet.

As shown on the Future Land Use Plan Map in Appendix 3, this development is located within an area designated as Town Center. The applicant is aware that standards under AMC 21.07.070, Neighborhood Protection are applicable and has designed the building and site landscaping to be an attractive facility that is compatible with its neighbors. As shown on the renderings in Appendix 1, this facility's design acts as a transition at the edge of the main ANHC to the east in terms of scale and aesthetics. Neighborhood Protection considerations are discussed further later in this narrative.

At three stories and approximately 55 feet tall, the proposed building height is compatible with the scale of surrounding development. ANHC buildings to the east are within an area of the U-Med District that is zoned B-3 and permits buildings up to 75 feet in height by-right ("bounded by Tudor Road, Elmore Road, Ambassador Drive, and the north and east alignments of Tudor Center Drive" per Table 21.06-2). The ANHC building closest to Elmore at ANHC appears to be approximately five stories.

In the B-3 zoned district outside of the area where 75 feet is allowed by-right, the by-right height is 45 feet. Additional height up to 60 feet can be granted with an ASPR, and additional height beyond 60 feet can be allowed with a conditional use permit.

University student housing to the north is set farther from the subject parcel on the R-3 tract to the north, and those buildings appear to be approximately four stories tall. Title 21 allows buildings to be 45 feet in height by-right.

Commercial and multifamily development to the west of the subject parcel include a range of heights, with two storage buildings that are approximately four stories high, multifamily residential buildings at two to three stories, and other commercial development at 1 to 2 stories. The proposed height of the SCF TED is consistent with the surrounding development and assists with the transition from the taller buildings located at the ANHC to the surrounding commercial and residential development. **This standard is met.**

## 21.07 – Development and Design Standards

### 21.07.040 – Drainage, storm water treatment, erosion control, and prohibited discharges.

#### *Drainage*

A map showing existing topography and drainage is included in Appendix 3. After existing buildings are demolished, the site will be re-graded so that drainage is directed away from the building and will drain to an on-site underground detention basin. As part of the building permit, the team will provide a drainage report and plans that meet municipal drainage requirements. The signed Watershed Sign-off is included in Appendix 8.

#### *Snow Storage*

AMC 21.07.040.F sets requirements for snow storage and disposal. An area of at least five percent of the surface to be cleared of snow is required to be designated as snow storage. As shown on the calculations in the landscape plans in Appendix 1, the surface area to be cleared is approximately 44,492 square feet, so five percent (approximately 2,225 square feet) is required to be snow storage. Approximately 2,237 square feet of snow storage is set aside in the northeast



corner of the site (outside of required landscaping areas) and in a few surface parking spaces at the ends of the parking lot that are further from the main building entrance. These locations will not interfere with pedestrian or vehicular circulation, sight lines, utility access, or drainage.

As shown in the site plans in Appendix 1, the majority of the facility's parking will be provided in a garage, minimizing the area that must be cleared. The primary entrance area for visitors and patients will also include sidewalks equipped with snowmelt systems, further decreasing the area that must be cleared of snow in the winter months

#### 21.07.050 – Utility distribution facilities.

Utility lines serving the development are shown in the site plan in Appendix 1, and easements are shown on the plat in Appendix 4.

A water main runs along the northern side of the East Tudor Road ROW adjacent to the south of the property. A gravity sewer main extends along the northeast corner of the property. Water and sewer service will be connected to these mains.

Telephone and electric easements and infrastructure are provided at the site. The building will be served by telephone, electric, internet, and natural gas.

There is currently a north-south utility easement running through the middle of the property and under the site of the proposed building. The development team is in the process of obtaining letters of non-objection from the utility companies to vacate the easement.

#### 21.07.060 – Transportation and connectivity.

As shown on site plans in Appendix 1, the development is proposed to have access from the existing shared driveway off of East Tudor Road near the southwest corner of the site and a driveway off of Elmore Road near the northeast corner of the site. The existing SCF Detox facility is served by a driveway on Elmore, and the driveway is being proposed to be relocated further north. Two-way drive aisles travel along the south and east edges of the property, connecting the two driveways to the surface parking lot in the southeast corner of the lot. The parking garage for staff parking, fleet vehicles, and loading can be accessed from both the Elmore Road and East Tudor Road driveways.

The main visitor and patient entrance to the facility is near the center of the site and is oriented facing southeast towards the East Tudor Road and Elmore Road intersection. Where not covered by the overhang of the building, the sidewalk area in front of the door (which connects to the accessible parking spaces and designated Elder parking spaces) will be equipped with a snowmelt system, as shown on the civil site plans in Appendix 1. The primary pedestrian connection to the adjacent ROW will be provided at East Tudor Road to the south, where there is an existing bus stop. There is existing sidewalk along East Tudor Road, and the development will provide a new sidewalk on the west side of Elmore Road.

Access to the multi-modal trail system in Anchorage is provided south of East Tudor Road via the Campbell Creek corridor. Bicycle parking is provided within the parking garage to meet Title 21 bicycle parking requirements; this is shown in the plans in Appendix 1 and discussed further below in this narrative.

The design team is working to determine if the traffic volumes generated by this development will warrant a Traffic Impact Analysis, or what level of analysis may be needed.



21.07.070 – Neighborhood Protection Standards

The applicant is aware that this site plan review is subject to review related to Neighborhood Protection considerations and potential conditions to protect adjacent R-3-zoned land from potential adverse impacts from the development.

The applicability of Neighborhood Protection standards is associated with the allowance for additional building height:

*AMC 21.04.030.D.2.b: Height increase permitted.* “Buildings in the B-3 district may exceed the maximum height established for areas outside of Midtown in Table 21.06-2, up to a maximum height of 60 feet ... The development shall be within an area designated by the comprehensive plan as a commercial center or other type of urban center above the neighborhood scale...”

At three stories and approximately 55 feet tall, the proposed building scale is compatible with the scale of surrounding development. ANHC buildings to the east are within an area of the U-Med District that is zoned B-3 and permits buildings up to 75 feet in height by-right (“bounded by Tudor Road, Elmore Road, Ambassador Drive, and the north and east alignments of Tudor Center Drive” per Table 21.06-2). The ANHC building closest to Elmore at ANHC appears to be approximately five stories.

In the B-3 zoned district outside of the area where 75 feet is allowed by-right, the by-right height is 45 feet. Additional height up to 60 feet can be granted with an ASPR, and additional height beyond 60 feet can be allowed with a conditional use permit.

University student housing to the north is set farther from the subject parcel on the R-3 tract to the north, and those buildings appear to be approximately four stories tall. Title 21 allows buildings to be 45 feet in height by-right.

Commercial and multifamily development to the west of the subject parcel include a range of heights, with two storage buildings that are approximately four stories high, multifamily residential buildings at two to three stories, and other commercial development at 1 to 2 stories. The proposed height of the SCF TED is consistent with the surrounding development and assists with the transition from the taller buildings located at the ANHC to the surrounding commercial and residential development.

SCF is still working on details of deliveries and other operational items, but the facility will include a screened parking garage that includes loading, fleet vehicle storage, and staff parking, so these activities are not anticipated to have significant visual or noise impacts on adjacent properties. The visitor and patient surface parking is located facing the intersection of Tudor and Elmore, with the building located between this area and adjacent R-3 properties to the north, protecting them from potential lighting impacts. Lighting plans are included in Appendix 1.

The site's trash receptacle is located to the west of the building and screened as required per AMC Title 21 as shown on the landscaping plans in Appendix 1; this side of the site is adjacent to the commercial uses along East Tudor Road.

Between the proposed building and adjacent R-3 zoning to the north is L-2 buffer landscaping, including a combination of new landscape beds and preserving existing vegetation. Furthermore, the sites to the north are currently developed with additional natural vegetative buffer and parking lots closest to the subject property site, with university student housing buildings located further



from the shared property line. This orientation has the shared benefit of preserving an attractive and private setting for both the university student housing and other multifamily development to the north as well as the patients and visitors at the SCF TED.

#### 21.07.080 – Landscaping, screening, and fences.

##### *Site perimeter and parking lot landscaping*

AMC 21.07.080.E.1 discusses site perimeter landscaping requirements, which are shown in Table 21.07-3.

Perimeter landscaping requirements are based on abutting zoning or street classification to this B-3 zoned site. East Tudor Road (along the south frontage) is a major arterial, and Elmore Road (along the east frontage) is a minor arterial. At the northwest corner is East 43<sup>rd</sup> Place, a local street. North of the site is R-3 zoning (with the terminus of a local street at the west end of the north property line), and west of the site is B-3 zoning.

Because the facility includes the hospital / health care use, additional buffer landscaping requirements apply when adjacent to residential zoning (R-3 along the northeast of the site in this case). Per the use-specific standard in AMC 21.05.040.F.2.b.iii, L2 buffer landscaping is required. This supersedes the requirement in Table 21.07-3.

Parking lot landscaping requirements are also applicable under AMC 21.07.080.E.2, as the site has over 10 parking spaces. Where a parking lot or appurtenant driveway abuts a property line, parking lot perimeter landscaping is required, with L1 as the basic requirement and L2 required when a nonresidential district (like this site as a B-3 property) abuts a residential district (R-3 to the northeast).

##### Applicable site perimeter landscaping standards are summarized below:

Northwest: Abuts a local street. Also required due to parking lot perimeter. L1 required.

Northeast: Abuts R-3. Also required due to parking lot perimeter. L2 required per hospital use-specific standards.

East: Abuts an arterial. Also required due to parking lot perimeter. L1 required.

South: Abuts an arterial. Also required due to parking lot perimeter. L1 required.

West: Abuts B-3. No site perimeter landscaping required, but L1 required for parking lot perimeter landscaping. No landscaping is provided on the south end of the west property line where the shared access drive is located.

**As shown on the landscaping plans (including a calculations table) in Appendix 1, these requirements are met.**

Parking lot interior landscaping is also required because the surface lot contains over 40 spaces (65 total). Per AMC 21.07.080.E.2.c.i, “an area equal to at least five percent of the parking lot shall be devoted to landscaping” since there are over 40 but under 100 spaces provided. The area of the parking lot is determined by the total paved area including parking, circulation aisles, and appurtenant driveways. As shown in the calculations on the landscaping plan in Appendix 1,

approximately 2,670 square feet of planting bed is required for parking lot interior landscaping, and approximately 3,493 square feet have been provided. This requirement is met.

#### *Dumpster screening*

A dumpster will be provided near the northwest corner of the site, as shown in the site and landscape plans in Appendix 1. A wider drive aisle is located adjacent to the dumpster to allow additional space for truck maneuvering. Dumpster screening is as shown on the landscape details in Appendix 1.

#### *Screening of service and off-street loading areas*

Loading facilities will be located within the parking garage on the north side of the property, which is screened as shown in plans and on elevations and renderings in Appendix 1. The location inside the parking garage will screen the loading facilities from the adjacent properties to the north.

### 21.07.090 – Off-street parking and loading.

#### *Loading Facilities*

Table 21.07-6 provides the minimum requirements for off-street loading berths. This development is a health care facility with approximately 101,000 square feet of building area. Therefore, two type-B loading berths are required. These are at least 30 feet long and 10 feet wide. The two loading berths are provided within the first level of the parking garage, as shown in the floor plan in Appendix 1.

#### *Off-Street Vehicular Parking*

Off-street parking is provided in an integrated parking structure with approximately 150 spaces for staff and fleet vehicles, as well as an approximately 65-space surface parking lot for patients and visitors. Parking spaces are as shown on the site and floor plans in Appendix 1.

Table 21.07-8 provides minimum requirements for accessible parking spaces. The minimum requirement is based on the total number of parking spaces provided. The number of accessible spaces is included in the total spaces provided.

As discussed in AMC 21.07.080.J.4, at least ten percent of patient and visitor parking spaces to serve hospital outpatient facilities shall be accessible. 65 regular parking spaces will be provided in the surface parking lot, including 7 accessible spaces (10.8% percent of 65) provided closest to the primary building entrance, served by a walkway equipped with a snowmelt system. Four of the accessible spaces are also van-accessible.

The 150-car parking garage is required to have at least 11 accessible parking spaces. Twelve are provided within the parking garage, including 4 that are van accessible.

ADA requirements related to grading, signs and striping, and accessible routes will be accommodated in the design to ensure compliance for this health services and hospital / health care facility.

#### *Bicycle Parking*

Table 21.07-9 provides bicycle parking minimum requirements based on uses within a development. For hospitals and health care facilities, 1 space is required per 5,000 square feet



of gross floor area. The building will be approximately 101,000 square feet, so 20 spaces are required, with a minimum of 75 percent designed as long-term spaces as defined in AMC. Floor plans show layout and detail of secure bicycle storage located on the first level of the parking garage, and product images are included in the landscaping plans (all in Appendix 1). Approximately 20 vertical spaces and 3 horizontal bicycle racks (which can be used by two bicycles) will be provided within the bicycle storage area in the parking garage. There are also three additional short-term bicycle parking racks adjacent to the primary building entrance.

### *Structured Parking*

Structured parking is provided as part of the development, which is subject to additional design requirements under 21.07.090.M. As shown on floor plans in Appendix 1, the parking garage is integrated into the overall facility such that only the entrance is visible from the adjacent streets (on the east side of the site, facing Elmore Road). As shown on elevations and renderings, the parking garage will be screened. Site and parking lot perimeter landscaping is already required as discussed earlier in this narrative, which will assist with screening the ground floor of the garage from properties to the north and west. Additional details are as shown in the plans in Appendix 1.

### 21.07.100 – Exterior lighting.

Lighting plans are included in Appendix 1 in accordance with applicable engineering standards. Lighting is provided for visibility and safety within the site, but the fixtures are chosen to be directed downwards such as to avoid light trespass on adjoining properties and ROWs. The majority of the exterior lighting is located in the visitor parking lot and entrance area of the building, which is oriented towards the East Tudor and Elmore intersection and shielded from adjacent properties to the west and north by the proposed building.

### **4.1.3 The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible;**

Developing this health services and hospital / health care facility use within the B-3 zoning district implements the Anchorage 2040 Land Use Plan (2040 LUP) Town Center designation, as this is a medical service building near a concentration of related medical, educational institution, and commercial uses. As detailed above, the proposed development also implements the U-Med District Plan designation of Major Institutional and complies with the design requirements outlined in the neighborhood's vision. Across the street from ANHC and near to other medical and educational institution uses, the SCF TED will provide critical addiction and behavioral health services needed by Alaskans.

As detailed above in this narrative, the development as proposed complies with AMC Title 21 use-specific standards to create a welcoming and attractive setting for the health care facility. Buffer landscaping, including existing vegetation and L2 landscaping, will be provided along the northern property line that is adjacent to R-3 zoning. In addition, the building is set back approximately 25 to 30 feet from the residential zoned district to the north. The parking area is set back approximately 20 feet from East Tudor Road to provide additional buffer.



The site plan includes adequate parking to serve accessibility needs, patients, visitors, staff, fleet vehicles, service vehicles, and secure bicycle parking. Pedestrian amenities include areas of snowmelt-equipped walkways and a clear, direct connection to the existing bus stop on East Tudor Road that has 15-minute headways.

The architectural design is consistent with the character and scale of the surrounding uses. The proposed height increase requested under this ASPR acts as a transition between commercial and multifamily / university student housing to the north and west and the larger-scale buildings across Elmore Road at ANHC. (The proposed building will be approximately 55 feet tall over three stories, while 75-foot-tall buildings are permitted across Elmore to the east. Commercial and multifamily buildings to the north and west of the project site range from 2 to 4 stories and can be up to 45 feet by-right.) The moderate height increase requested is needed to be able to provide adequate space for the critical health services included in the SCF TED, as well as to provide the parking structure that is needed to serve the parking needs for staff, fleet vehicles, and loading. The building design's emphasis on providing an attractive, light-filled, and welcoming environment will be an aesthetic improvement to this major U-Med District intersection and gateway.

Given the items outline above, the development is in line with the surrounding development and will not have an adverse impact. **The condition is met.**

#### **4.1.4 The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.**

The 2040 LUP designates the property and surrounding properties as within a Town Center. This designation provides a focal point of activity for a group of neighborhoods and serves as a destination for shopping, entertainment, and services. Town Center's uses include retail, offices, civil facilities, and residential development. Per the 2040 LUP, the zoning is intended to be primarily B-3 and B-1B districts, with some potential for R-3 and R-3A.

The site is zoned B-3. It is partially developed and located near the intersection of two arterial roads: East Tudor Road (major arterial) and Elmore Road (minor arterial). The property is surrounded mostly by properties with commercial development and development associated with medical and educational institutions, as described in the U-Med District Plan and in Section 4.1.1 of this narrative.

The following excerpts from the 2040 LUP highlight how the proposed SCF TED represents positive progress towards Anchorage's vision and goals:

##### **Excerpt from 2040 LUP Goal 3 – Centers and Corridors:**

The 2040 LUP strives for a majority of new jobs and housing to locate in specific areas best able to absorb and capitalize on that growth, especially in and around existing commercial centers. Centers anchor the city's infill and redevelopment strategy for accommodating growth...

By encouraging business and housing growth in urban centers, this Plan makes it possible for more people to live near or more easily access job opportunities, social activities, and services for everyday needs.



### Focusing on centers:

- Accommodates forecast growth in a strategic and predictable way;
- Strengthens existing businesses and business districts;
- Provides greater return on existing and new public infrastructure investments;
- Improves walking, biking, and transit access to jobs, services, and activities; and
- Preserves open space, industrial use areas, and quieter neighborhoods elsewhere.

The proposed development is a key expansion of existing services provided on and adjacent to ANHC, as well as an expansion on services that are not currently offered. Furthermore, ANHC is located at the heart of the U-Med District, which is a major city, regional, and statewide center for medical and educational institutions. It is consistent with Anchorage growth goals to locate the SCF TED on this site at the intersection of East Tudor Road and Elmore Road, as this is a key institutional center and adjacent to a supporting commercial corridor along East Tudor Road to the west.

With over 150 staff as well as patients and visitors to the site, this facility will contribute to the broader employment center at East Tudor and Elmore and in turn benefit from surrounding supporting land uses and transportation infrastructure including sidewalks, an existing bus stop at the site, and the nearby Campbell Creek multimodal trail.

This is also a higher density infill development which will make greater use of the project site than the site's current development. The proposed height increase is supported by the U-Med District Plan as well.

### Excerpt from 2040 LUP Goal 7 – Compatible Land Use:

Infill development is compatible with the valued characteristics of surrounding properties and neighborhoods.

**LUP 7.2. Ease the transitions between more intensive uses and adjacent lower-density neighborhoods—in terms of the built scale, height, level of activity, and character.**

This infill development is compatible with the surrounding neighborhood, which is characterized by medical and educational institution development. The scale of the proposed building is consistent with ANHC to the east as well as university student housing to the north. The proposed height increase under this ASPR will transition the new development from higher intensity development to the east down to the scale of commercial development along East Tudor Road. (The proposed building will be approximately 55 feet tall over 3 stories, while 75-foot-tall buildings are permitted across Elmore to the east. Commercial and multifamily buildings to the north and west of the project site range from 2 to 4 stories and can be up to 45 feet by-right.) The design will be an attractive addition to the major East Tudor and Elmore intersection, which acts as a gateway into the U-Med District.

### Excerpt from 2040 LUP Goal 10 – Anchor Institutions:

The community supports its anchor institutions and facilities and recognizes the important local and statewide benefits they provide, while mitigating adverse impacts associated with development and expansion.

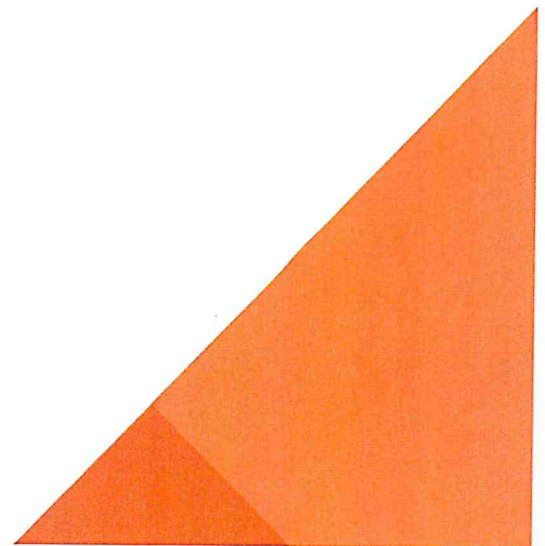
The Alaska Native Medical Center (ANMC) is listed in this section of the 2040 LUP as one of the “medical institutions [that] play important roles delivering vital health and educational services to the residents of Anchorage and Alaska. All these anchor institutions have large campus settings and facilities.” The U-Med district was identified as an Area of Growth and Change that is expected and encouraged to continue to grow, and infill development like the proposed SCF TED allows the services to grow and improve to meet Alaskans’ needs without encroaching into the surrounding residential and commercial areas.

In existing buildings at ANMC and at the SCF building on Fireweed Lane, SCF does not have adequate space to expand its detox, behavioral health, and related services to meet community need. Co-locating these services in a new, larger facility will leave space for other medical services to expand at ANHC and the Fireweed Lane building. Allowing an increase in building height to better accommodate the need to expand SCF Detox, behavioral health crisis stabilization services, and related services will allow SCF to better serve Alaskans in need of these types of support. In summary, an expansion with the SCF TED will further the goals of SCF, ANMC, and the broader U-Med District.

As described above, the SCF TED is consistent with many goals of the 2040 LUP. **The condition is met.**



# **APPENDIX 1: SITE AND BUILDING PLANS**





TUDOR & ELMORE DEVELOPMENT  
DAYTIME RENDERING - MAIN ENTRY





TUDOR & ELMORE DEVELOPMENT  
DAYTIME RENDERING - AERIAL





TUDOR & ELMORE DEVELOPMENT  
DAYTIME RENDERING - SOUTHWEST CORNER



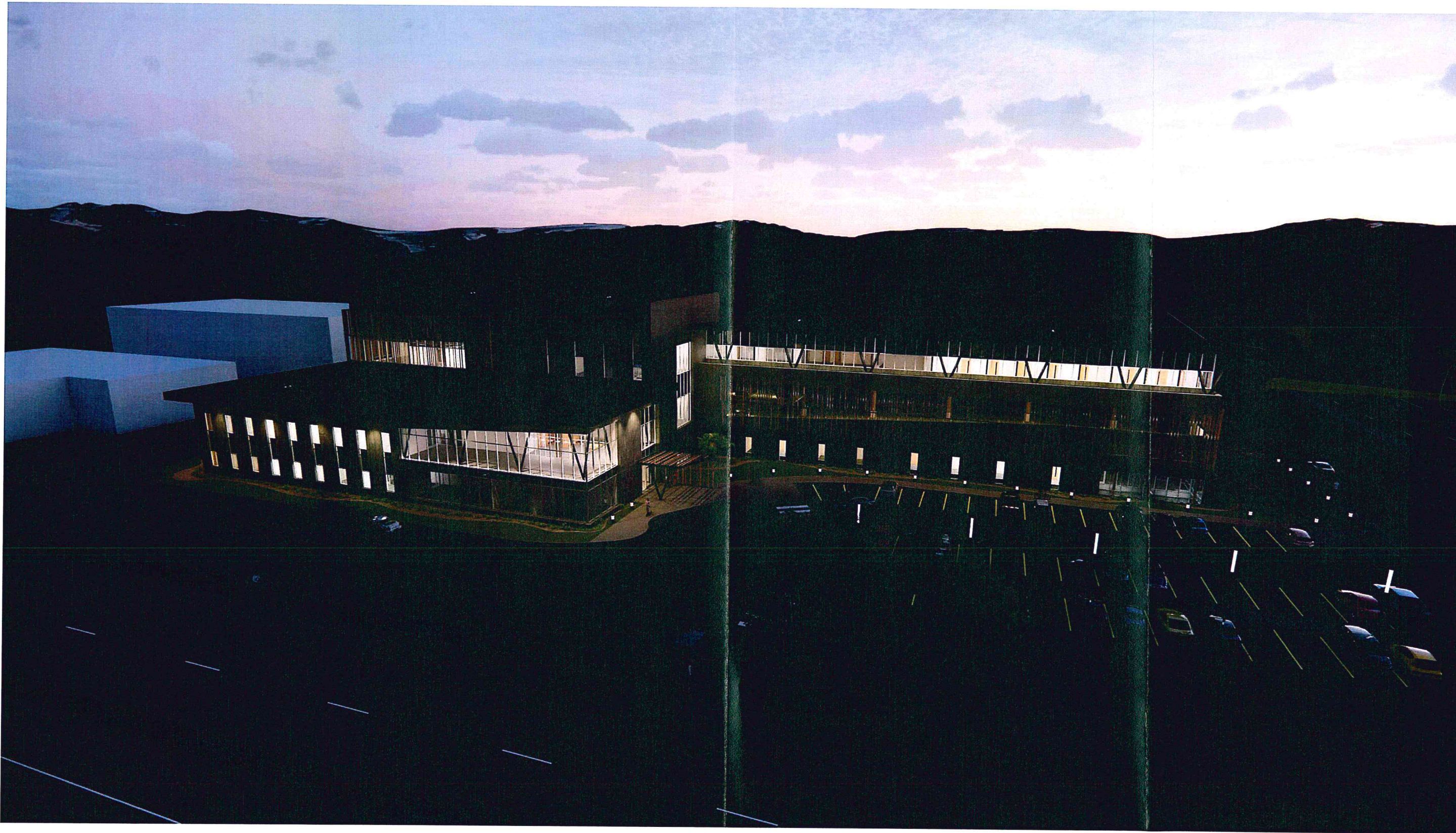


TUDOR & ELMORE DEVELOPMENT  
NIGHTTIME RENDERING - MAIN ENTRY





TUDOR & ELMORE DEVELOPMENT  
NIGHTTIME RENDERING - AERIAL

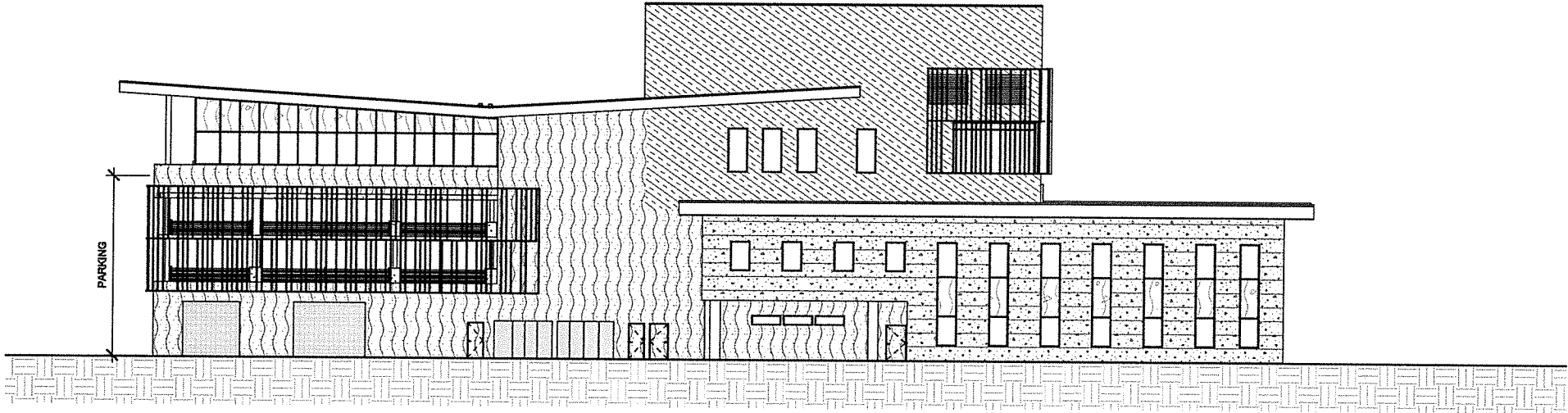




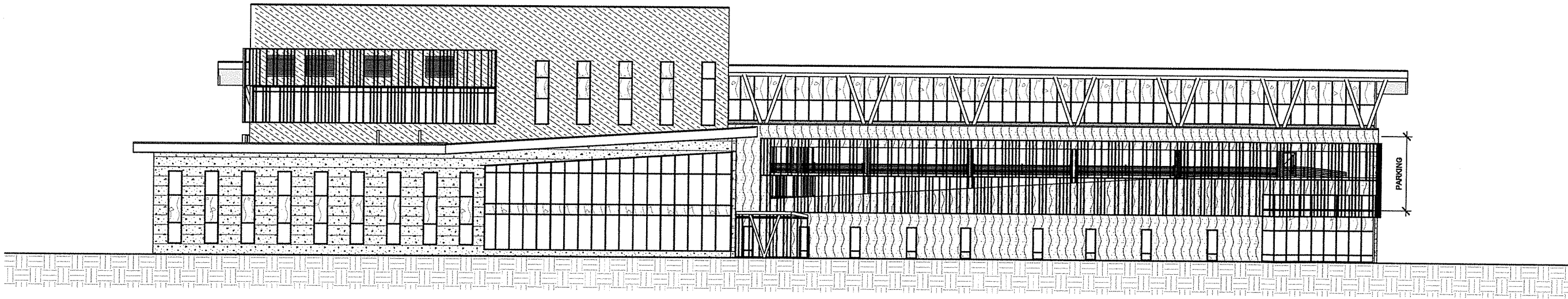
TUDOR & ELMORE DEVELOPMENT  
EXTERIOR ELEVATIONS

EXTERIOR FINISH LEGEND

	HPL1
	MP1
	PP1
	ST1
	ST2



1 ELEVATION - WEST  
1/16" = 1'-0"

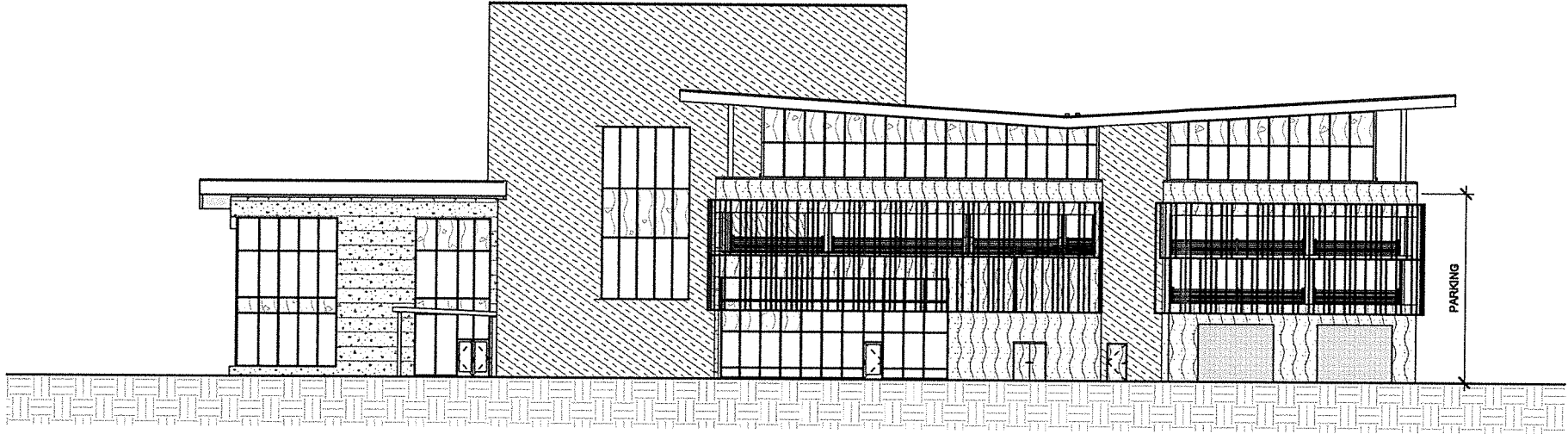


2 ELEVATION - SOUTH  
1/16" = 1'-0"

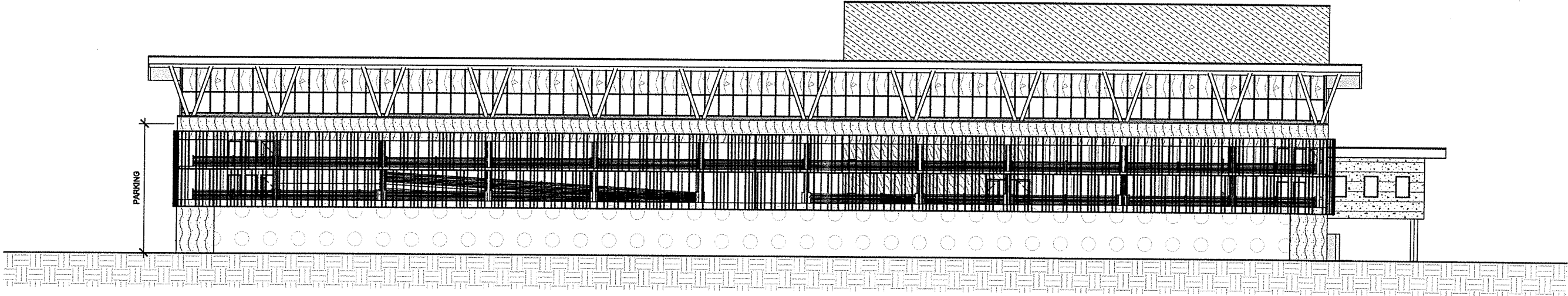
TUDOR & ELMORE DEVELOPMENT  
EXTERIOR ELEVATIONS

EXTERIOR FINISH LEGEND

	HPL1
	MP1
	PP1
	ST1
	ST2



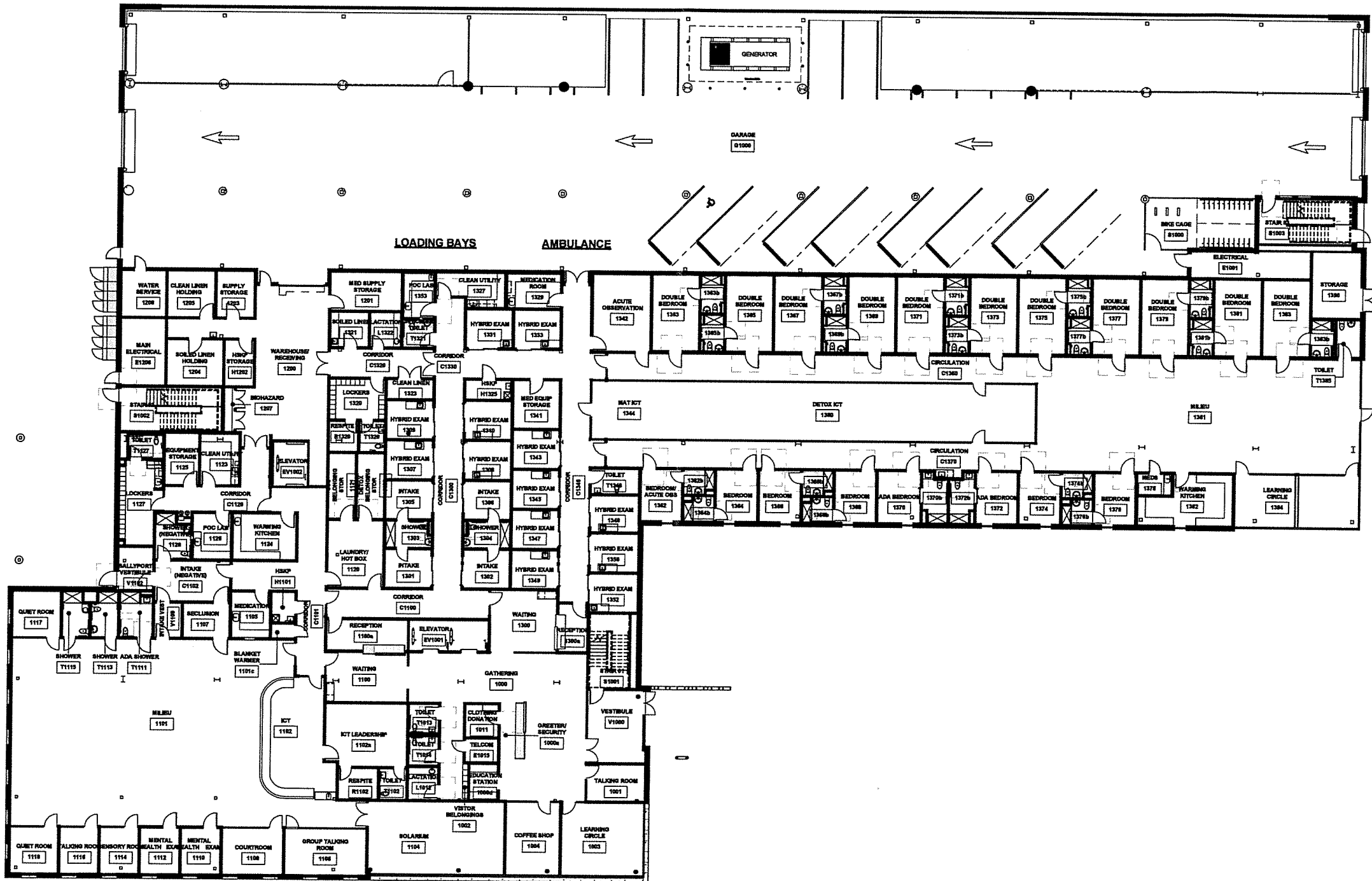
1 ELEVATION - EAST  
1/16" = 1'-0"



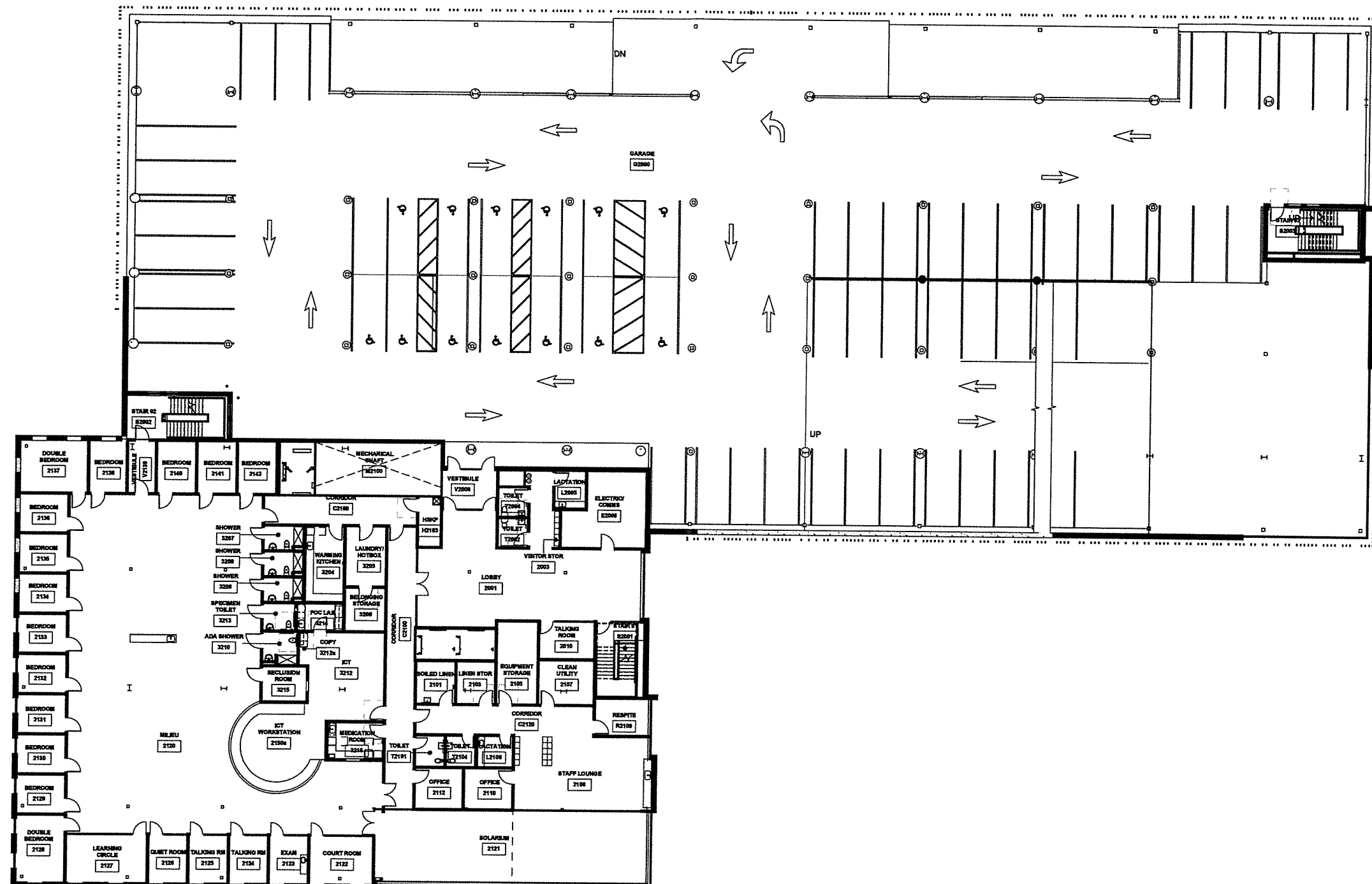
2 ELEVATION - NORTH  
1/16" = 1'-0"



TUDOR & ELMORE DEVELOPMENT  
LEVEL 1



## TUDOR & ELMORE DEVELOPMENT LEVEL 2



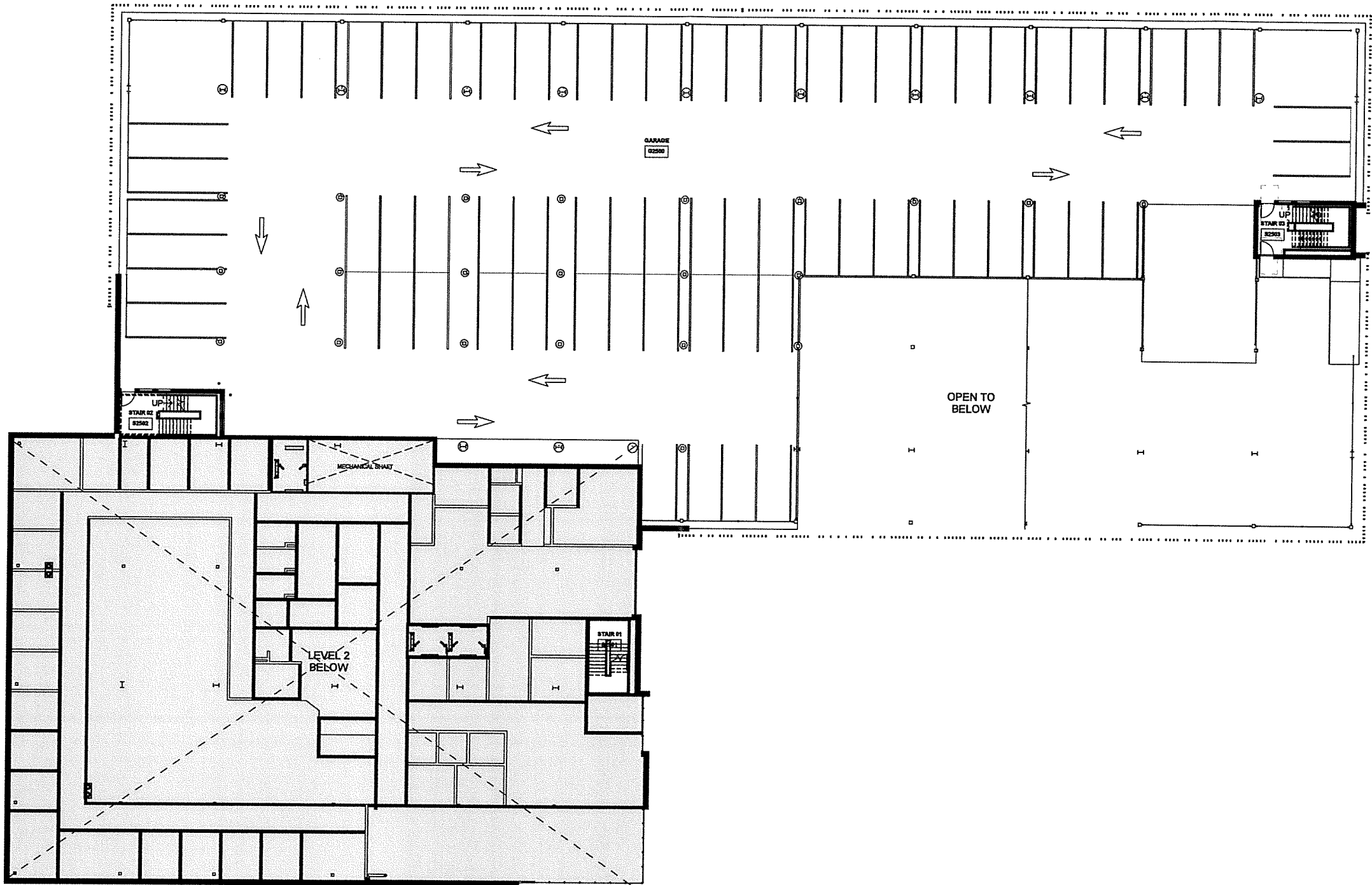
SCALE: 1/16" = 1'-0"  
MAY 16, 2024  
HALF-SCALE WHEN PRINTED AT 11x17



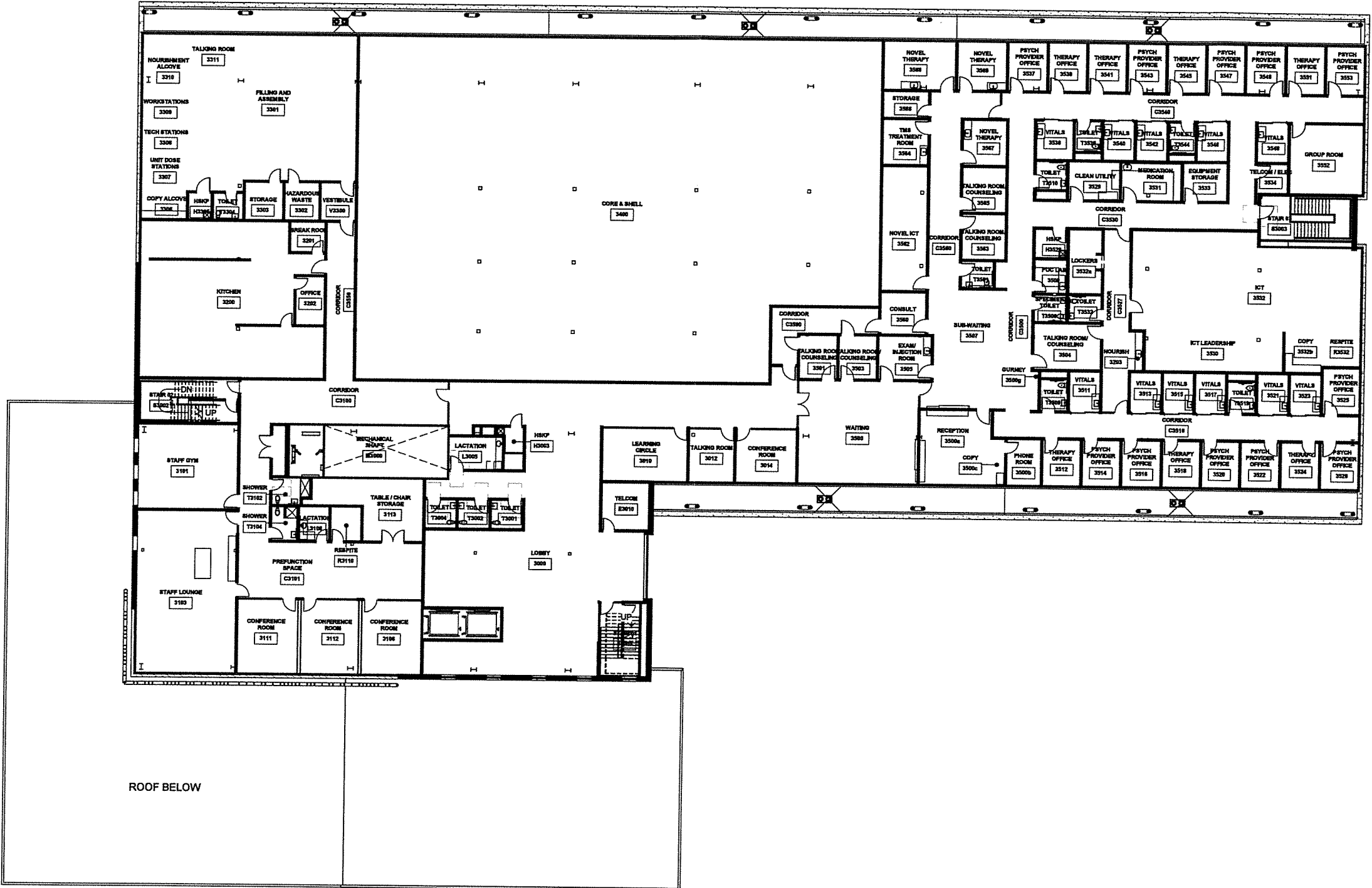
**spark**design  
architecture • interior design



TUDOR & ELMORE DEVELOPMENT  
LEVEL 2.5

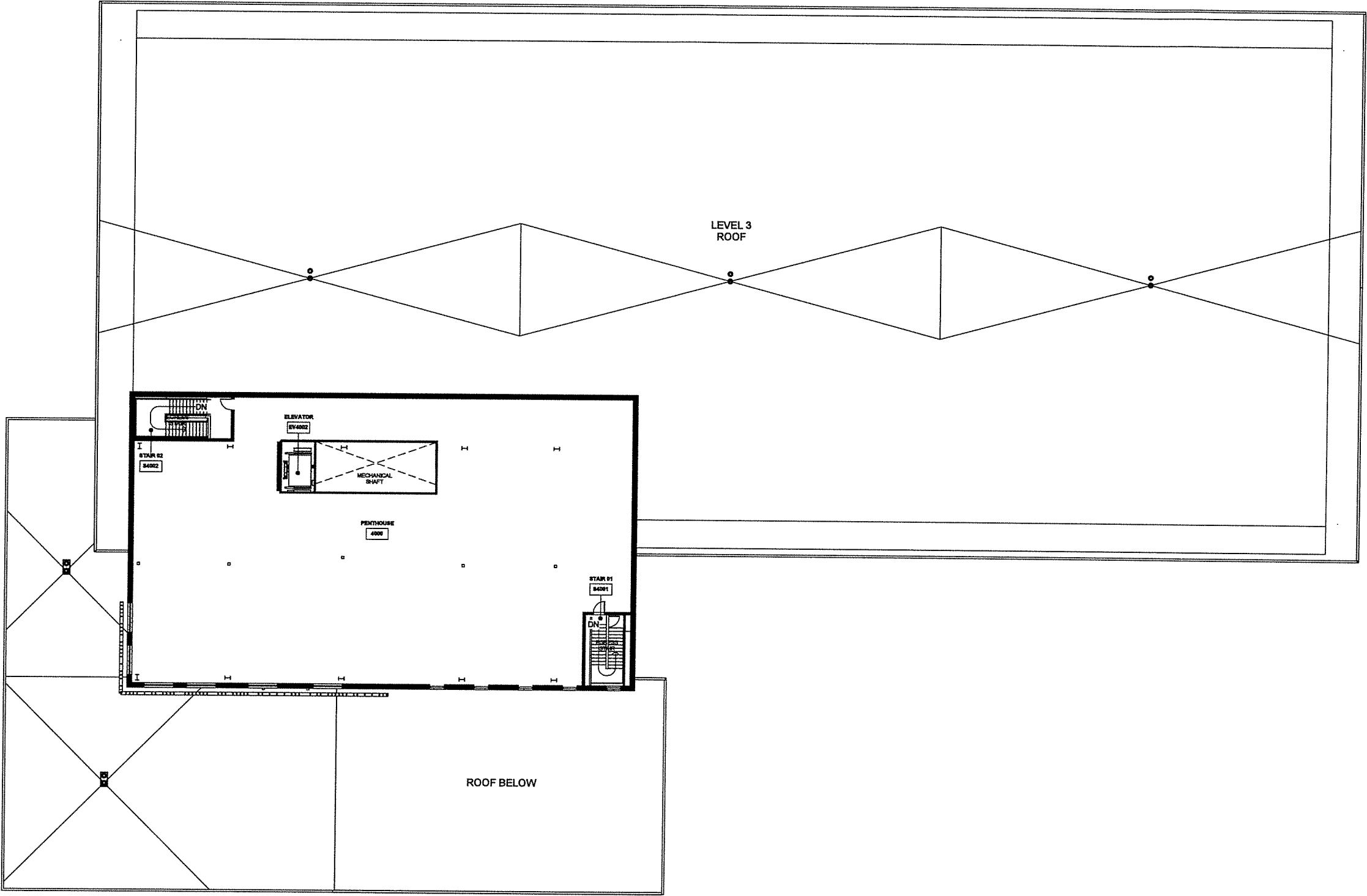


TUDOR & ELMORE DEVELOPMENT  
LEVEL 3

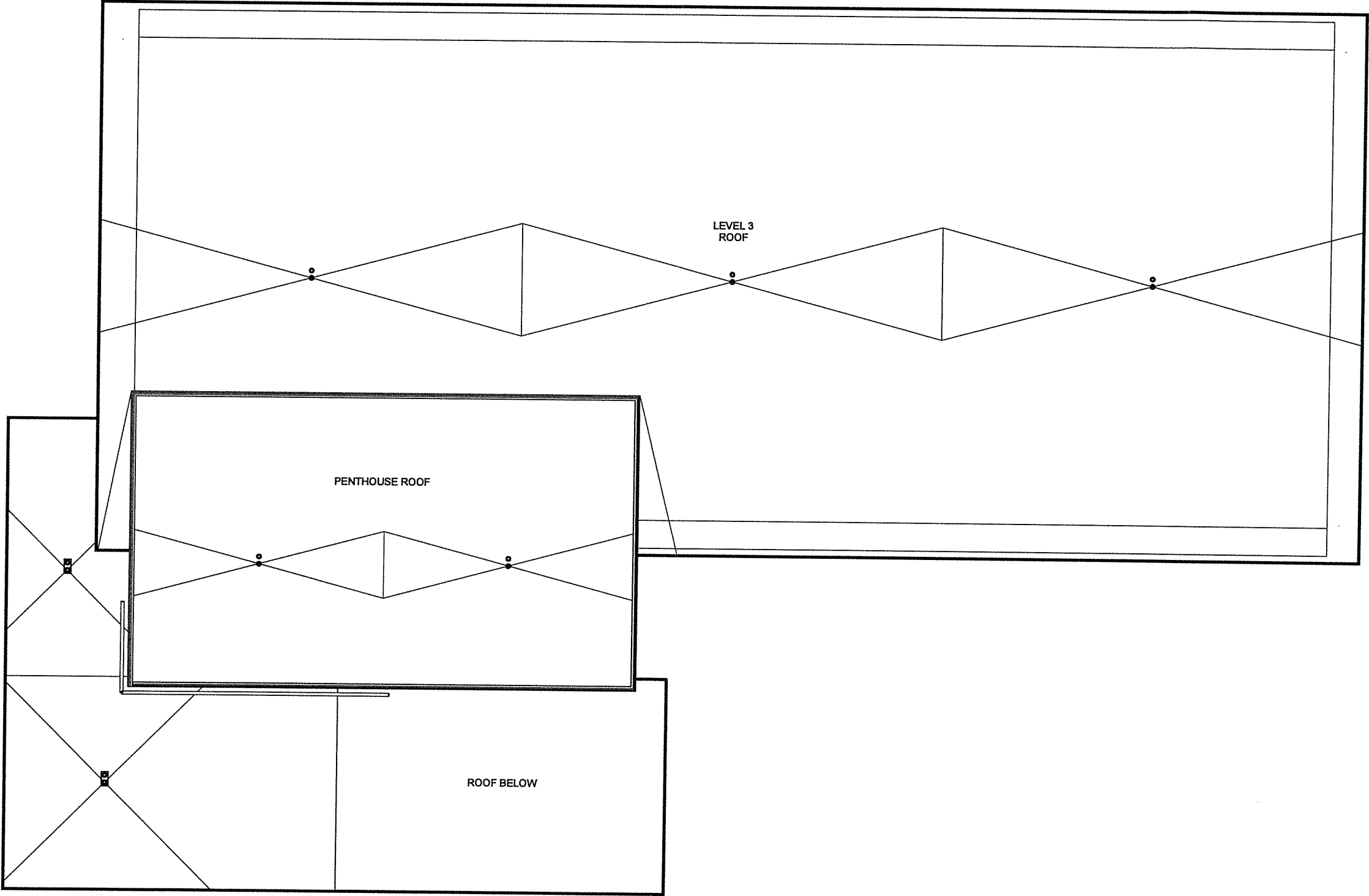




TUDOR & ELMORE DEVELOPMENT  
PENTHOUSE

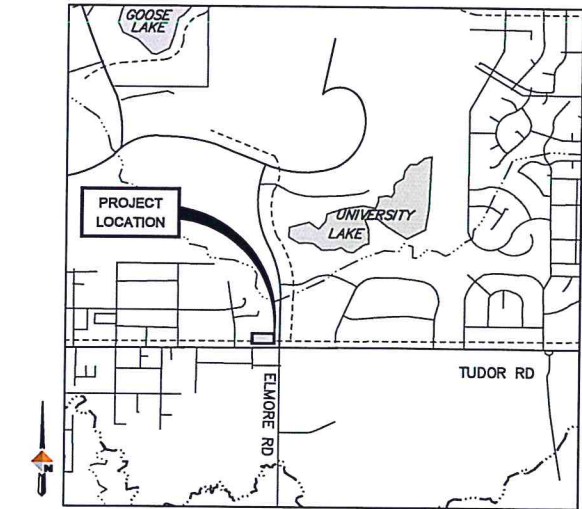


TUDOR & ELMORE DEVELOPMENT  
ROOF





J:\80\63877-01\65CAD\Civil\SA20-CS-CV-63877.dwg PLOT DATE: 2024-4-26 13:01 SAVED DATE: 2024-04-26 09:16 USER: mohiorfello



VICINITY MAP  
SCALE: 1"=1500'

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINE
		CENTERLINE
		FRAG LOT LINE
		EASEMENT LINE
		CURB AND GUTTER
		PORTLAND CEMENT CONCRETE
		HEATED PC CONCRETE
		BUILDING
		ASPHALT PAVEMENT
		CHAIN LINK FENCE
		OVERHEAD ELECTRIC LINE
		UNDERGROUND ELECTRIC LINE
		STORM DRAIN
		WATER LINE
		SANITARY SEWER
		STORM DRAIN STRUCTURE
		WATER VALVE
		FIRE HYDRANT
		SANITARY SEWER STRUCTURE
		LIGHT POLE
		TRANSFORMER
		GAS LINE
		GAS METER
		FIBER OPTIC LINE
		BOLLARD
		SIGN
		GRADE
		MAJOR CONTOUR
		MINOR CONTOUR
		VEGETATION
		GRADE BREAK
		SWALE
		SURVEY MONUMENT
		CONTROL POINT
		REBAR PROPERTY CORNER
		ALUMINUM CAP

ABBREVIATIONS

AC	-	ASPHALT CONCRETE PAVEMENT
ASTM	-	AMERICAN SOCIETY FOR TESTING AND MATERIALS BUILDING
CB	-	CATCH BASIN
CBMH	-	CATCH BASIN MANHOLE
CIP	-	CAST IRON PIPE
C/CL	-	CENTERLINE
CONC	-	CONCRETE
DIP	-	DUCTILE IRON PIPE
EA	-	EACH
EL	-	ELECTRIC
ESMT	-	EASEMENT
ELEV	-	ELEVATION
EP	-	EDGE OF PAVEMENT
FL	-	FLOW LINE
FT	-	FEET
G	-	GAS
GB	-	GRADE BREAK
GV	-	GATE VALVE
H	-	HORIZONTAL
INV	-	INVERT
LC	-	LEVELING COURSE
LF	-	LINEAR FEET
MASS	-	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
MAX	-	MAXIMUM
ME	-	MATCH EXISTING
MH	-	MANHOLE
MIN	-	MINIMUM
NFS	-	NON FROST SUCCEPTIBLE
MOA	-	MUNICIPALITY OF ANCHORAGE
NO	-	NUMBER
NOI	-	NOTICE OF INTENT
NTS	-	NOT TO SCALE
NGS	-	NATIONAL GEODETIC SURVEY
OH	-	OVERHEAD
PCC	-	PORTLAND CEMENT CONCRETE
R	-	PROPERTY LINE
R	-	RADIUS
ROW	-	RIGHT OF WAY
S	-	SEWER
SD	-	STORM DRAIN
SDMH	-	STORM DRAIN MANHOLE
SF	-	SQUARE FOOT
SS	-	SANITARY SEWER
STD	-	STANDARD
SW	-	SIDEWALK
T	-	TELEPHONE
T&E	-	TELEPHONE AND ELECTRIC
TC	-	TOP OF CURB
TC	-	TOP BACK OF CURB
TYP	-	TYPICAL
UG	-	UNDERGROUND
V	-	VERTICAL
VB	-	VALVE BOX
W	-	WATER

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2024 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS) AS CURRENTLY AMENDED, AND THE PROJECT SPECIAL PROVISIONS, UNLESS OTHERWISE NOTED.
- EXISTING GROUND CONTOURS BASED ON A JUNE-AUGUST, 2019; AND FEBRUARY 2024, SITE SURVEY PERFORMED BY R&M CONSULTANTS. CONTRACTOR SHALL VERIFY SITE CONDITIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION.
- VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATIONS AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATIONS, AND DUST CONTROL.
- RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE REGULAR SWEEPING OF STREETS ADJACENT TO THE SITE THAT ACCUMULATE SITE SOILS. ADDITIONAL CONTROLS MAY BE REQUIRED IF THESE MEASURES PROVE INADEQUATE.
- ADJUST ALL EXISTING MANHOLES AND CATCH BASINS WITHIN THE LIMITS OF CONSTRUCTION, TO 1/4" BELOW FINISH GRADE.
- ELEVATIONS SHOWN ARE TO TOP OF CURB, FLOW LINE, OR FINISH PAVEMENT SURFACE, UNLESS NOTED OTHERWISE.
- RIGHT OF WAY PERMIT REQUIRED FOR ALL WORK IN MUNICIPAL AND STATE RIGHTS OF WAY, AND PUBLIC USE, GENERIC UTILITY, AND STORM DRAINAGE EASEMENTS. TYPES OF WORK INCLUDE, BUT ARE NOT LIMITED TO WATER AND SEWER SERVICE CONNECTIONS, NEW DRIVEWAYS, DRAINAGE IMPROVEMENTS, AND LANDSCAPE IMPROVEMENTS.
- ALL CUTS OF EXISTING PAVEMENT OR CONCRETE SHALL BE SAW CUT UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO A LINE ONE (1) FOOT BEYOND THE PROPOSED IMPROVEMENTS DURING THE INITIAL EXCAVATION OPERATIONS. IN PREPARATION AND IMMEDIATELY PRIOR TO PAVING, CONTRACTOR SHALL SAW CUT AND REMOVE ADDITIONAL PAVEMENT ONE (1) FOOT BEYOND THE INITIAL CUT ONTO UNDISTURBED SUBBASE AS DIRECTED BY THE ENGINEER.
- KEEP SITE FREE OF LITTER.

SHEET LIST

C0.1 - LEGEND, NOTES, AND ABBREVIATIONS  
C1.0 - EXISTING CONDITIONS AND DEMOLITION PLAN  
C2.0 - SITE LAYOUT  
C2.1 - SITE DETAILS  
C2.2 - SITE DETAILS

MASS DETAILS

DETAIL NO	DESCRIPTION
20-7	DRIVEWAY CONNECTION DETAIL
20-8	TRENCH BACKFILL AND BEDDING LAYOUT
30-1	CURB AND GUTTER CROSS SECTIONS
30-12	UNIDIRECTIONAL CURB RAMP
30-13	ACCESSIBLE (TYPE 1A/2A) CURB AND GUTTER SECTIONS
30-16	UNIDIRECTIONAL CURB RAMP
40-2	TYPICAL RESURFACING DETAIL NON-GRAVEL SURFACES
50-01	SANITARY SEWER MANHOLE 'TYPE A' PIPE 8" TO 24"
50-04	TYPE A AND B MANHOLE BASE PLAN
50-05	MANHOLE HEIGHTS
50-08	SEWER MANHOLE COVER
50-09	MANHOLE FRAME
50-10	WATERTIGHT MANHOLE RING
50-14	SANITARY SEWER SERVICE (COMPLETE)
50-18	SANITARY SEWER CLEANOUT COVER
55-4	STORM DRAIN MANHOLE TYPE I PIPE < 24"
55-7	STORM DRAIN MANHOLE COVER
55-8	STORM DRAIN TOP INTAKE COVER
55-10	MANHOLE HEIGHTS
55-19	CURB INLET FRAME AND HOOD FOR TYPE I CURB & GUTTER
55-20	CURB INLET GRATES FOR TYPE I CURB & GUTTER
55-22	PRECAST CATCH BASIN
60-01	MJ CAP AND PLUG
60-08	TYPICAL VALVE BOX (VB)
60-09	DUST PAN WITH THAW WIRES
60-10	SINGLE PUMPER "L" BASE FIRE HYDRANT ASSEMBLY
60-12	FIRE HYDRANT GUARD POSTS
60-13	1" WATER SERVICE CONNECT
60-20	ANODE DETAIL
60-21	ANODE WIRE CONNECTION

CERTIFICATE OF AUTHORIZATION NO.:  
DOWL, LLC #AEC1948



SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISIONS

NO. DESCRIPTION


JOB NO. 23-057  
DATE 04.29.2024  
DRAWN MAC  
REVIEWED NMC

SHEET NAME  
LEGEND, NOTES, AND  
ABBREVIATIONS

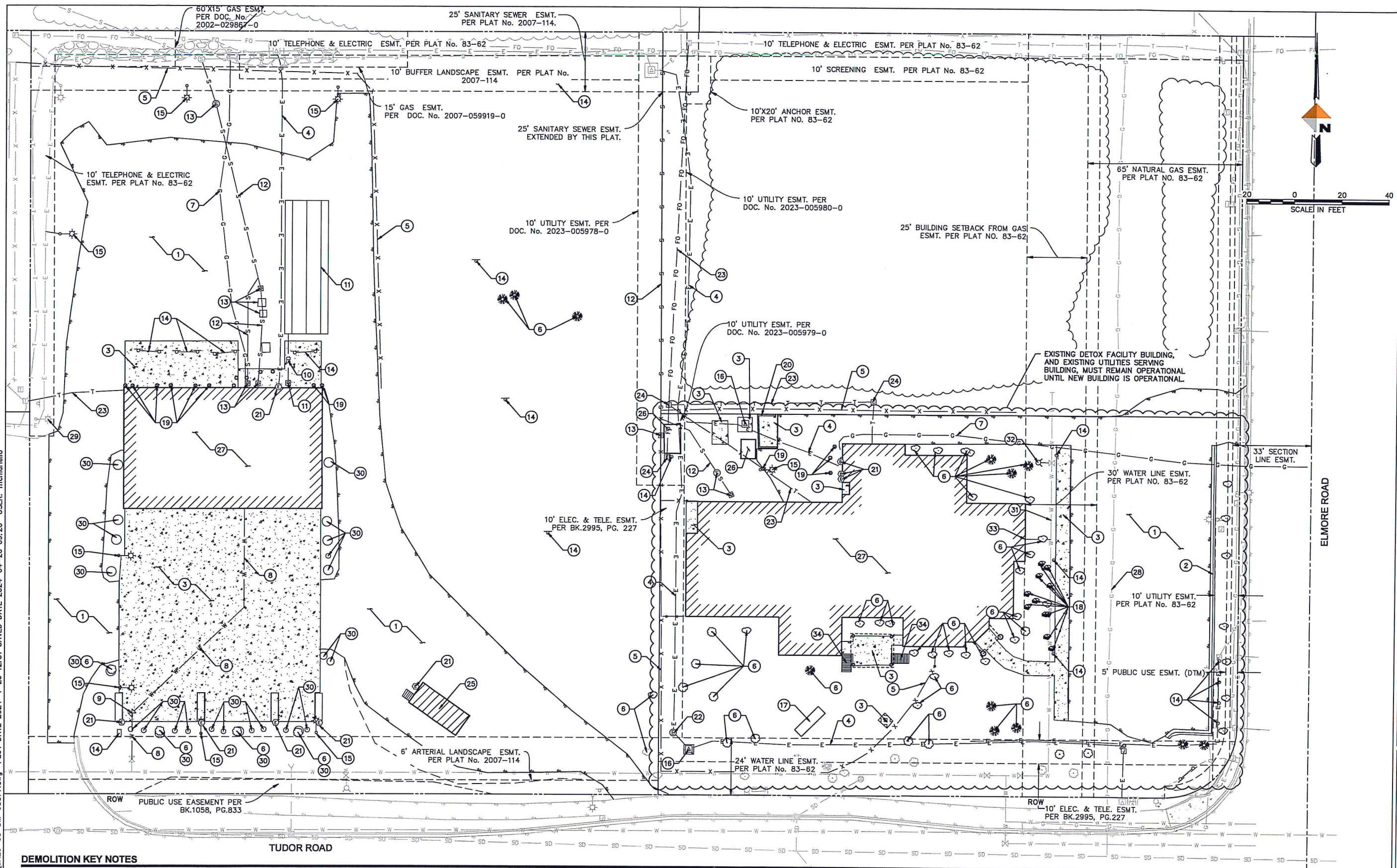
SHEET NO.

C0.1

HALF SCALE WHEN PRINTED AT 11x17



J:\80\63877-01\65CAD\Civil\SA20-CS-DM-63877.dwg PLOT DATE 2024-4-26 12:51 SAVED DATE 2024-04-26 09:20 USER: metioriello



#### DEMOLITION KEY NOTES

- |   |   |   |   |  |
|---|---|---|---|--|
| 1 REMOVE EXISTING ASPHALT               | 8 DEMOLISH EXISTING WATER SERVICE             | 15 REMOVE EXISTING LUMINAIRE                | 22 DEMOLISH EXISTING ELECTRICAL MANHOLE | 29 PROTECT IN PLACE EXISTING LUMINAIRE     |
| 2 REMOVE EXISTING CURB AND GUTTER       | 9 DEMOLISH EXISTING WATER VALVE               | 16 REMOVE EXISTING TRANSFORMER              | 23 DEMOLISH EXISTING TELECOM SERVICE    | 30 REMOVE EXISTING CONCRETE PLANTER BOX    |
| 3 REMOVE EXISTING PCC SIDEWALK/PAD      | 10 DEMOLISH EXISTING STORM DRAIN              | 17 DEMOLISH EXISTING BRIDGE                 | 24 DEMOLISH EXISTING TELECOM MANHOLE    | 31 PROTECT IN PLACE EXISTING WATER LINE    |
| 4 DEMOLISH EXISTING ELECTRIC SERVICE    | 11 DEMOLISH EXISTING STORM STRUCTURE          | 18 REMOVE LANDSCAPING BOULDERS AS NECESSARY | 25 DEMOLISH EXISTING COFFEE HUT         | 32 RELOCATE EXISTING HYDRANT               |
| 5 REMOVE EXISTING FENCE                 | 12 DEMOLISH EXISTING SANITARY SEWER SERVICE   | 19 REMOVE EXISTING BOLLARD                  | 26 DEMOLISH EXISTING SHED               | 33 DEMOLISH AND CAP EXISTING WATER SERVICE |
| 6 REMOVE EXISTING VEGETATION AS NEEDED  | 13 DEMOLISH EXISTING SANITARY SEWER STRUCTURE | 20 DEMOLISH BLOCK WALL                      | 27 DEMOLISH EXISTING BUILDING           | 34 REMOVE EXISTING STAIRS                  |
| 7 DEMOLISH EXISTING NATURAL GAS SERVICE | 14 REMOVE EXISTING SIGN                       | 21 DEMOLISH EXISTING ELECTRICAL METER       | 28 PROTECT IN PLACE EXISTING GAS LINE   |  |

CERTIFICATE OF AUTHORIZATION NO:  
DOWL, LLC #AEC1848



## SOUTHCENTRAL FOUNDATION TUDOR & ELMORE DEVELOPMENT ANCHORAGE, ALASKA

REVISIONS

JOB NO. 23-057  
DATE 04.29.2024  
DRAWN MAC  
REVIEWED NMC

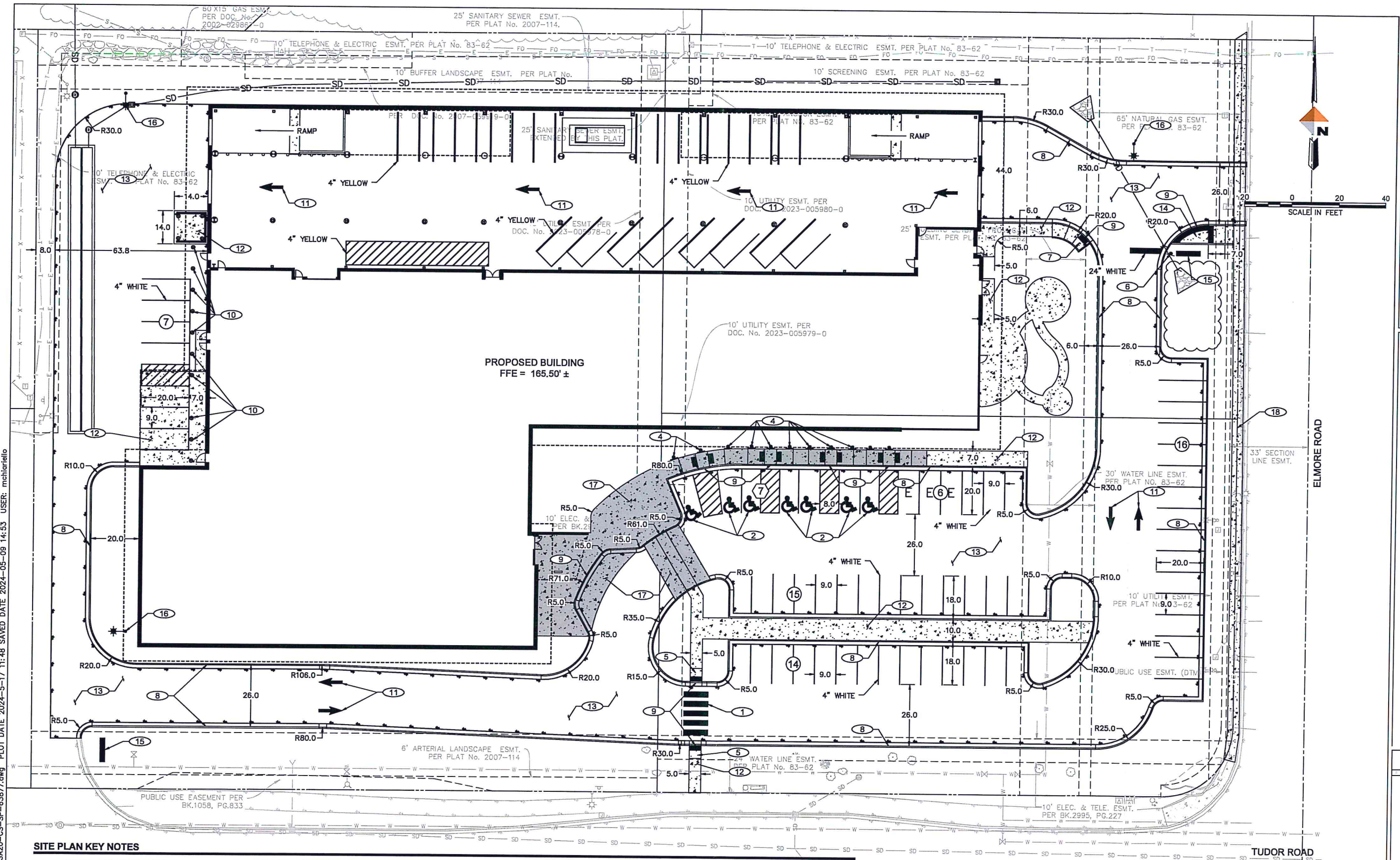
SHEET NAME  
EXISTING CONDITIONS AND  
DEMOLITION PLAN

SHEET NO.  
C1.0

HALF SCALE WHEN PRINTED AT 11x17



J:\BO\63877-01\65CAD\Civil\SA20-CS-SP-63877.dwg PLOT DATE 2024-5-17 11:48 SAVED DATE 2024-05-09 14:53 USER: mchiorello



#### SITE PLAN KEY NOTES

- |   |  |   |   |
|---|--|---|---|
| 1. INSTALL CROSSWALK STRIPING<br>SEE DETAIL 1, SHEET C2.1       | 6. INSTALL STOP SIGN<br>SEE DETAIL 7, SHEET C2.1               | 11. INSTALL TRAFFIC ARROW<br>SEE DETAIL 3, SHEET C2.2           | 17. AREA SHADED GRAY, CONSTRUCT HEATED PCC SIDEWALK<br>SEE DETAIL 5, SHEET C2.2 |
| 2. INSTALL ADA PARKING SYMBOL<br>SEE DETAIL 3, SHEET C2.1       | 7. CONSTRUCT PARALLEL CURB RAMP<br>SEE DETAIL 8, SHEET C2.1    | 12. CONSTRUCT PCC SIDEWALK/PAD<br>SEE DETAIL 4, SHEET C2.2      | 18. SEE R&M PLANS DATED NOV. 2023<br>FOR PROPOSED PCC SIDEWALK                  |
| 3. CONSTRUCT HANDICAPPED CURB RAMP<br>SEE DETAIL 4, SHEET C2.1  | 8. CONSTRUCT TYPE 1 CURB & GUTTER<br>SEE DETAIL 1, SHEET C2.2  | 13. CONSTRUCT ASPHALT PARKING LOT                               |   |
| 4. INSTALL HANDICAPPED PARKING SIGN<br>SEE DETAIL 5, SHEET C2.1 | 9. CONSTRUCT TYPE 1A CURB & GUTTER<br>SEE DETAIL 1, SHEET C2.2 | 14. CONSTRUCT UNIDIRECTIONAL CURB RAMP<br>SEE MASS DETAIL 30-12 |   |
| 5. INSTALL PERPENDICULAR CURB RAMP<br>SEE DETAIL 6, SHEET C2.1  | 10. INSTALL CONCRETE BOLLARD<br>SEE DETAIL 2, SHEET C2.2       | 15. MONUMENT SIGN   |   |
|   |  | 16. LUMINAIRE   |   |

CERTIFICATE OF AUTHORIZATION NO.  
DOWL LLC #AEC1948



## SOUTHCENTRAL FOUNDATION TUDOR & ELMORE DEVELOPMENT ANCHORAGE, ALASKA

REVISIONS

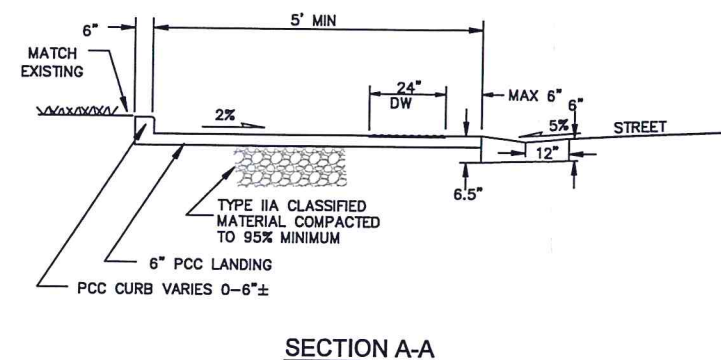
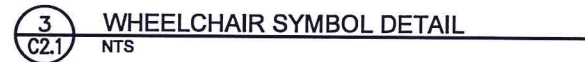
JOB NO. 23-057  
DATE 04.29.2024  
DRAWN MAC  
REVIEWED NMC

SHEET NAME  
SITE LAYOUT

SHEET NO.  
C2.0

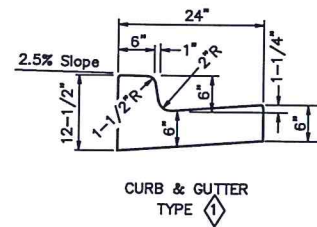
HALF SCALE WHEN PRINTED AT 11x17



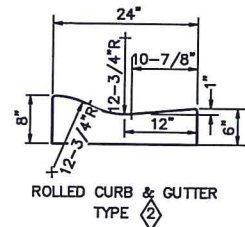




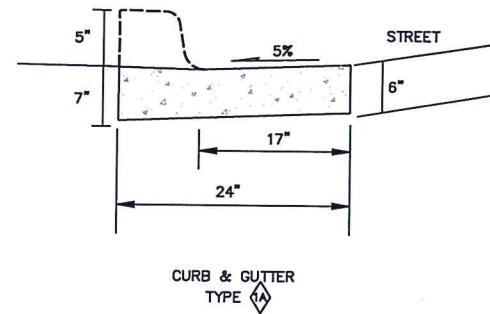
J:\80\63877-01\65CAD\Civil\SA20-CS-DT-63877.dwg PLOT DATE 2024-04-26 13:11 SAVED DATE 2024-04-26 11:40 USER: mchiarliello



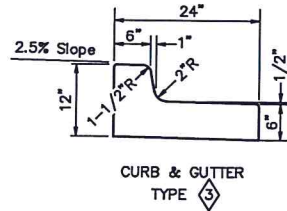
CURB & GUTTER  
TYPE 1



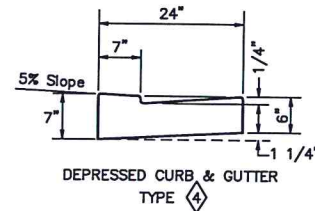
ROLLED CURB & GUTTER  
TYPE 2



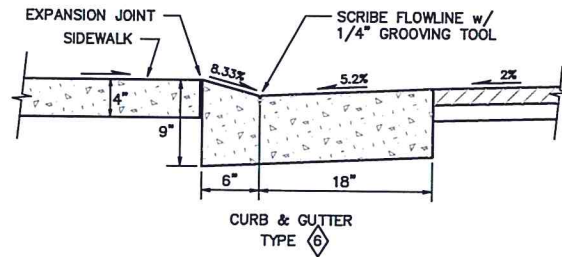
CURB & GUTTER  
TYPE 3



CURB & GUTTER  
TYPE 4



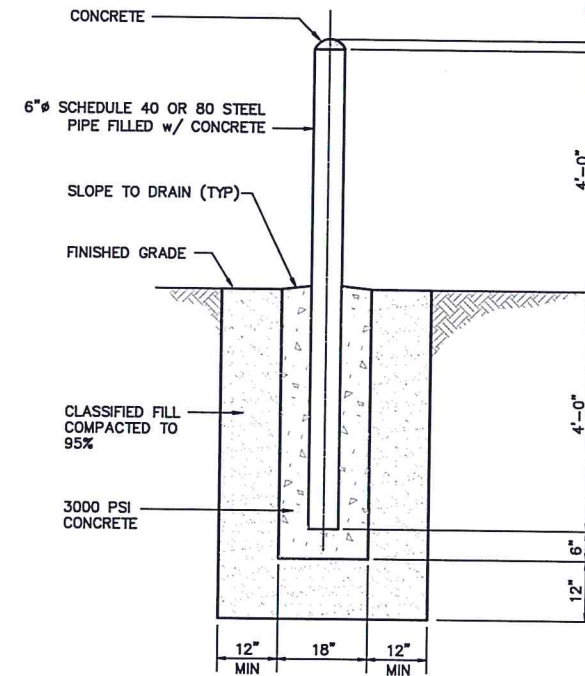
DEPRESSED CURB & GUTTER  
TYPE 5



CURB & GUTTER  
TYPE 6

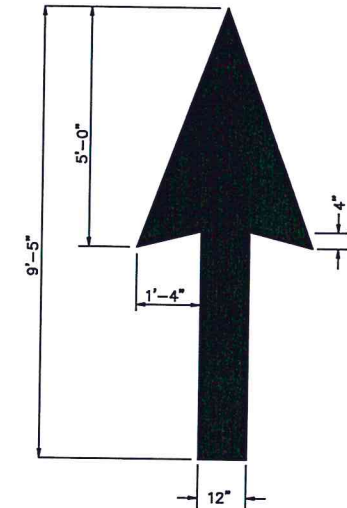
NOTE:  
BOTH FRONT AND BACK EDGES OF THE CURB & GUTTER SHALL  
BE TROWELED TO A RADIUS OF ONE-HALF (1/2) INCH.

1 CURB DETAIL  
C2.2 NTS

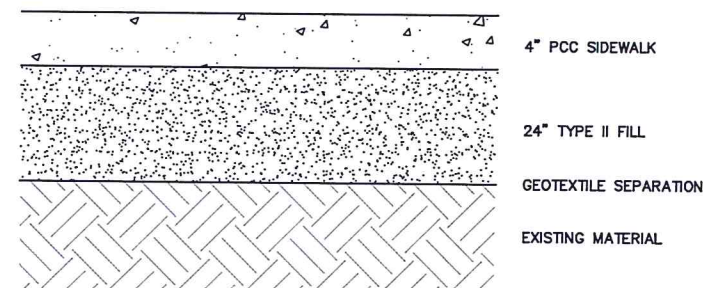


NOTE:  
POSTS SHALL BE PRIMED AND RECEIVE TWO COATS MINIMUM OF  
PAINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.  
COORDINATE BOLLARD SLEEVES WITH ARCHITECT.

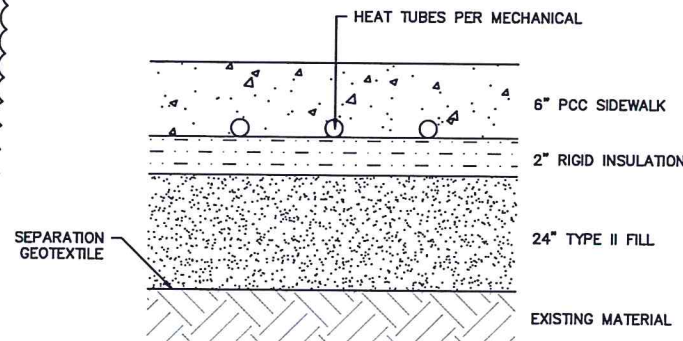
2 CONCRETE BOLLARD DETAIL  
C2.2 NTS



3 STREET ARROW DETAIL  
C2.2 NTS

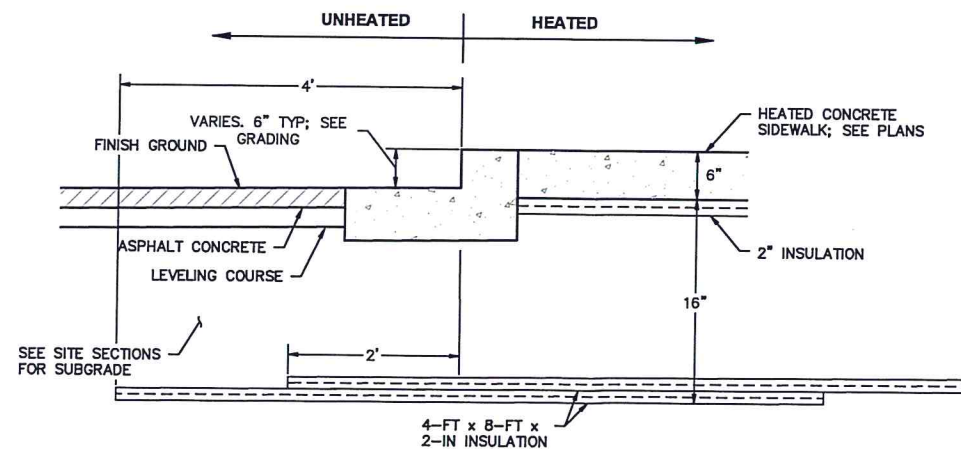


4 CONCRETE SIDEWALK TYPICAL SECTION  
C2.2 NTS

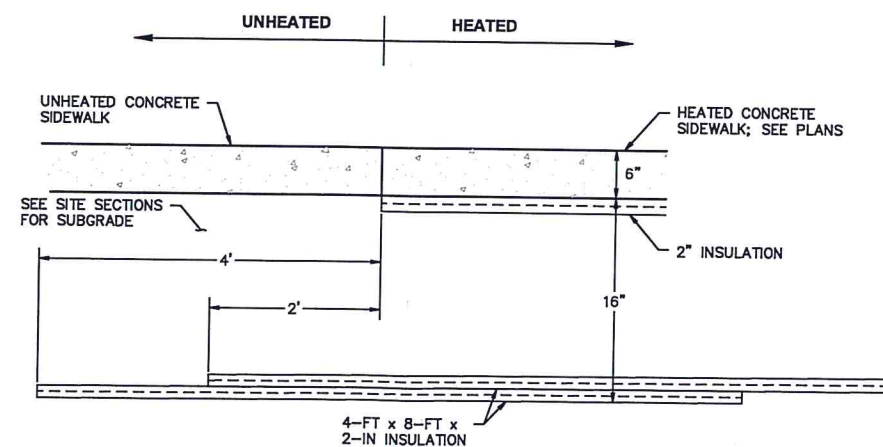


5 HEATED SIDEWALK DETAIL  
C2.2 NTS

FOR REFERENCE ONLY. DETAILS AND SECTIONS  
NEED GEOTECH COORDINATION/RECOMMENDATIONS.



A SIDEWALK TO ASPHALT TRANSITION  
NTS



B SIDEWALK TO SIDEWALK TRANSITION  
NTS

6 HEATED SIDEWALK TRANSITION - INSULATION TAPER  
C2.2 NTS

CERTIFICATE OF AUTHORIZATION NO.  
DOWL, LLC #AEC1848



SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISIONS

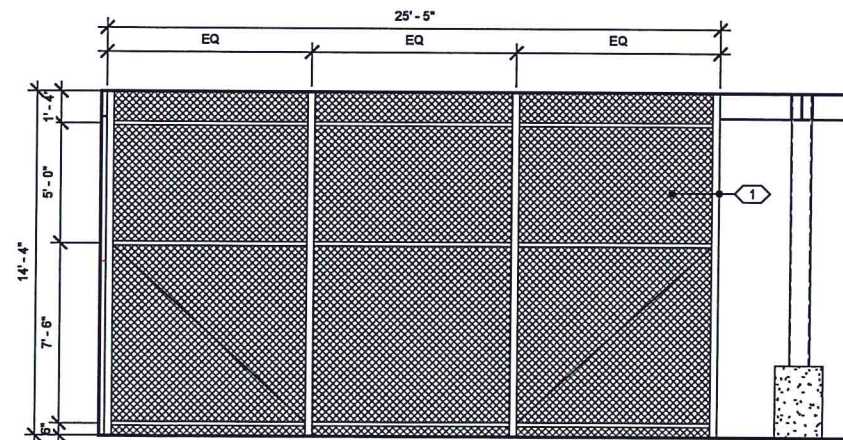
JOB NO. 23-057  
DATE 04.29.2024  
DRAWN MAC  
REVIEWED NMC

SHEET NAME  
SITE DETAILS

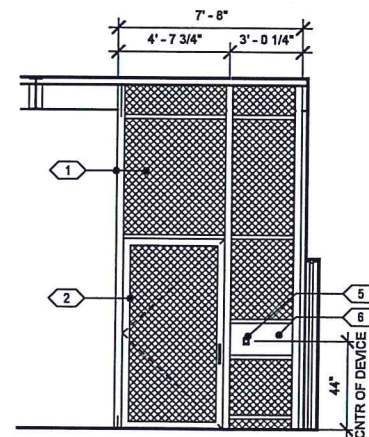
SHEET NO.  
C2.2

HALF SCALE WHEN PRINTED AT 11x17

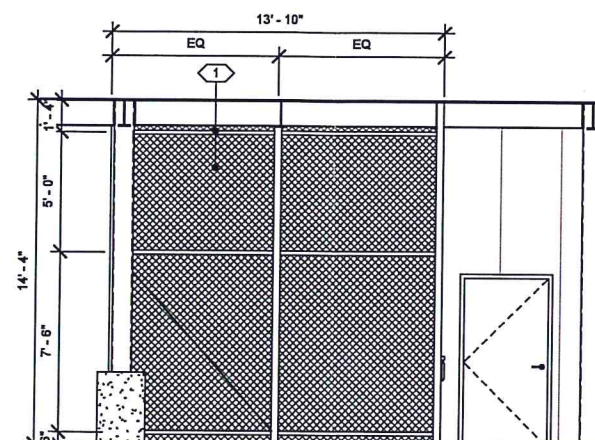




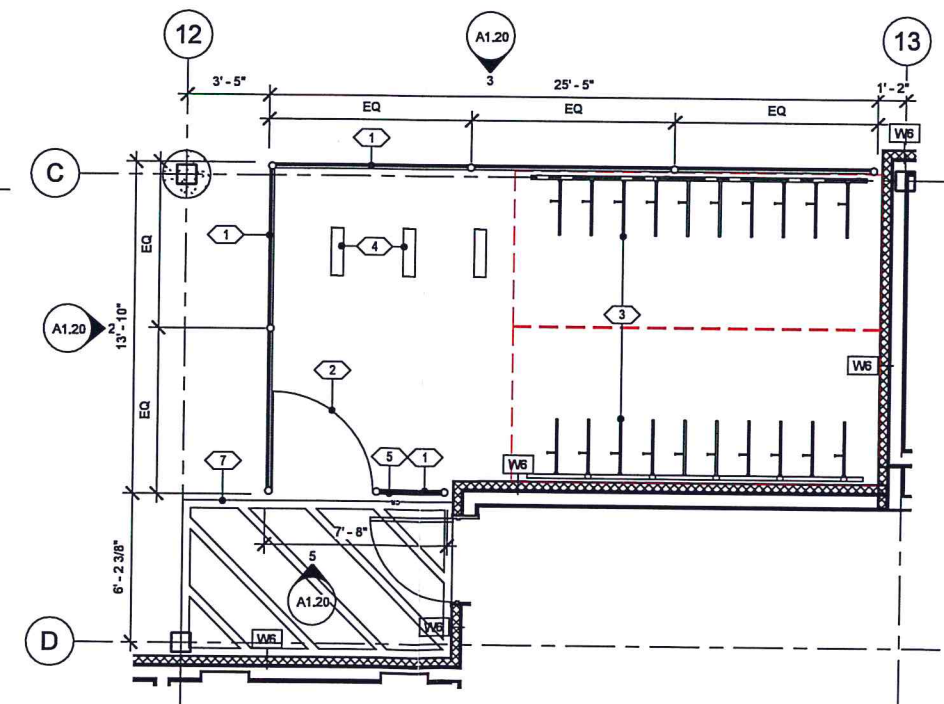
**3 SECURED BIKE STORAGE - NORTH**  
1/4" = 1'-0"



**5 SECURED BIKE STORAGE - SOUTH**  
1/4" = 1'-0"



**2 SECURED BIKE STORAGE - WEST**  
1/4" = 1'-0"



**1 SECURED BICYCLE PARKING**  
1/4" = 1'-0"

#### ENLARGED BIKE STORAGE PLAN: GENERAL NOTES

- REFERENCE G1.01 - G1.04 AND G2.01 - G2.04 FOR RATED WALLS, CEILINGS, AND STRUCTURAL ELEMENTS.
- REFERENCE G3.00 FOR WALL ASSEMBLIES AND NOTES. REFERENCE G3.01 FOR HORIZONTAL ASSEMBLIES AND NOTES.
- REFERENCE A5.00 - A5.04 FOR DOOR SCHEDULE, WINDOW TYPES AND FINISHES.
- ALL DIMENSIONS ARE TO FACE OF STUD OF NEW CONSTRUCTION, FACE OF FINISH OF EXISTING CONSTRUCTION OR TO GRID LINE.
- GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- GENERAL CONTRACTOR TO ENSURE ANY MEP FIXTURES ARE EXTERIOR RATED, INCLUDING RECIEVERS, BRACKETS, AND OTHER MECHANICAL METHODS FOR INSTALLATION.

#### FLOOR PLAN: LEGEND

NEW PARTITIONS, REFERENCE G3.00 FOR WALL ASSEMBLIES

#### FLOOR PLAN: SHEET NOTES

- SECURE BICYCLE ENCLOSURE - COMMERCIAL GRADE GALVINIZED CHAINLINK, 2 3/8" MESH
- 42" WIDE DOOR TO MATCH SECURE ENCLOSURE, TYP.
- VERTICAL BIKE RACKS, REFER TO LANDSCAPE FOR PRODUCT DATA
- HORIZONTAL BIKE RACKS, REFER TO LANDSCAPE FOR PRODUCT DATA
- DOOR ACCESS CONTROL(S) - PROVIDE CARD READER WITH MAG LOCK, TYP.
- 1/4" GALVANIZED PLATE STEEL FLAT PANEL
- PEDESTRIAN PAINT STRIPING INDICATING ACCESSIBLE ROUTE, TYP.

CERTIFICATE OF AUTHORIZATION NO:  
SPARK DESIGN, LLC #AEC1394

**watterson**  
Construction  
**spark design, llc**

**SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA**

#### REVISION SCHEDULE

#	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	APRIL 29, 2024
2	REVISIONS	DTW

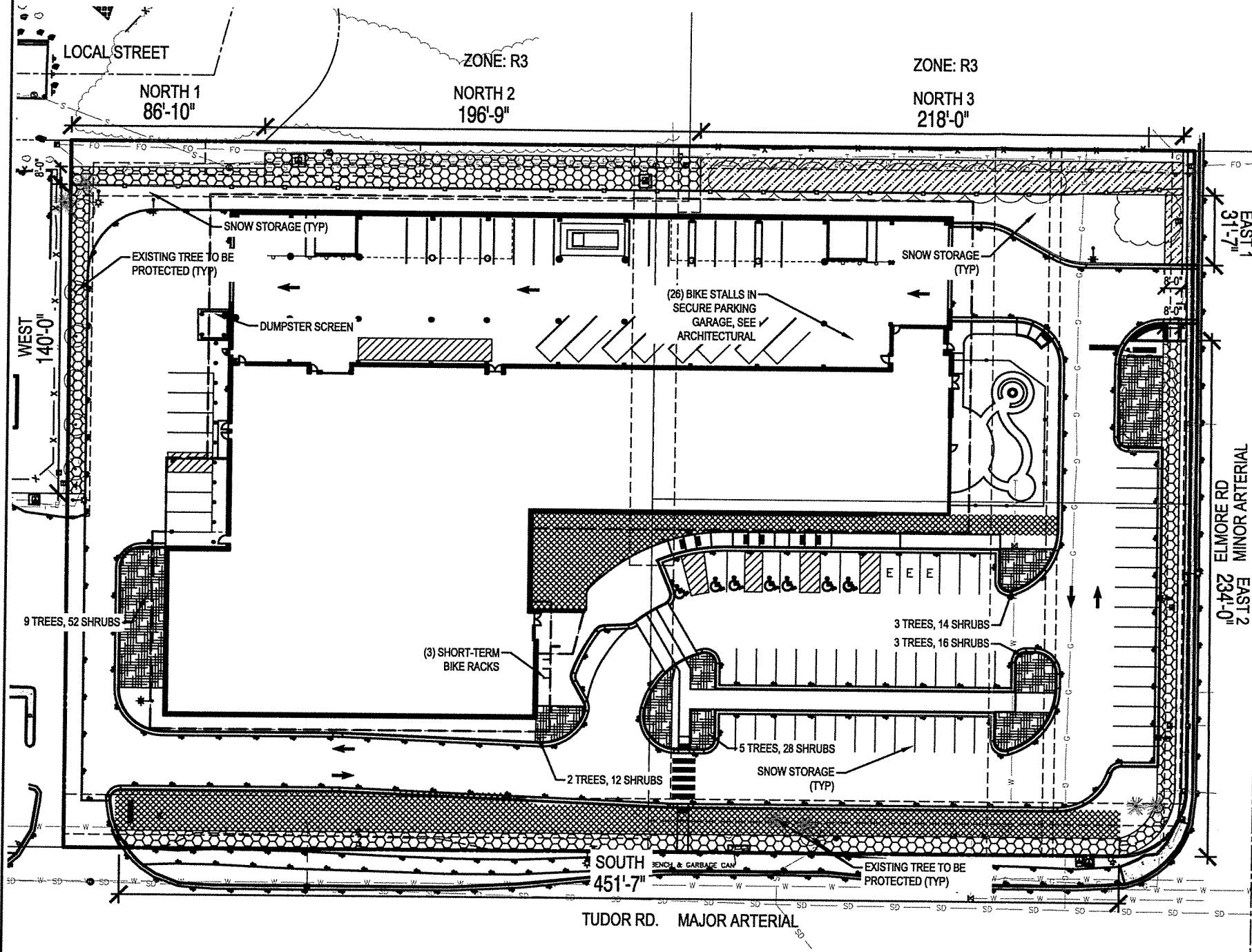
JOB NO. 23-057  
DATE APRIL 29, 2024  
DRAWN KA  
REVIEWED DTW

SHEET NAME  
ENLARGED PLAN - BIKE  
ENCLOSURE

SHEET NO.  
**A1.20**

HALF SCALE WHEN PRINTED AT 11x17





# TITLE 21 LANDSCAPE ANALYSIS

## TITLE 21 SNOW STORAGE REQUIREMENTS

5% OF THE SURFACE AREA ON THE SITE TO BE PLOWED FOR MOTORIZED VEHICLE PARKING AND ACCESS.

	AREA OF LOT	5% OF LOT AREA REQUIRED	TOTAL PROVIDED (SF)
REQUIRED	44,492	2,225	2,237

SEE SECTION 21.07.040.

## BIKE PARKING REQUIREMENTS

21.07.090.K HEALTH CARE FACILITIES REQUIRE 1 BIKE STALL/ 5,000SF OF GFA, WHERE GFA IS MEASURED AS HABITABLE SPACE, EXCEPTING PARKING SPACES, DRIVEWAYS, LOADING AREAS, ETC.

GFA	TOTAL REQ'D	LONG-TERM	SHORT-TERM	TOTAL PROVIDED
101,000	21	15	6	32

SEE SECTION 21.07.090 FOR PARKING REGULATIONS

TITLE 21 LANDSCAPE ASSESSMENT							
	INTERIOR						
	PARKING SPACES			AREA OF PLANTING BED REQ'D (SF)		TOTAL AREA OF PLANTING BED PROVIDED	
	66			2,670		3,493 SF	
	PERIMETER						
	NORTH 1	NORTH 2	NORTH 3	EAST 1	EAST 2	SOUTH	WEST
	1	2					
LINEAR FEET							
	87	197	218	32	234	452	140
LANDSCAPE LEVEL							
	L1	L2	L2	L1	L1	L1	L1
PERIMETER TYPE							
	PARKING	PARKING	PARKING	SITE	PARKING	PARKING	PARKING
REQUIRED	TREES	5	20		NA	12	23
	SHRUBS	27	60		NA	71	136
	PERENNIALS (SUB UP TO 3:1 FOR SHRUBS)	NA			NA		NA
	PEDESTRIAN AMENITIES (UP TO 1/3 REDUCTION)	NA			NA		NA
	AREA OF PLANTING BED (SF)	NA		3,224	256		NA
EXISTING VEGETATION SUBSTITUTIONS	NATIVE PLANT MASS EQUIVALENT RETAINED (MINIMUM 50% OF REQUIRED BED AREA)	NA		2,500	158		NA
	EXISTING DECIDUOUS TREES OVER 6" CAL	NA			NA		6
	EXISTING DECIDUOUS TO NEW TREE EQUIVALENCE (1:3)	NA			NA		18
	EXISTING EVERGREEN TREES OVER 10" HEIGHT	NA			NA		NA
	EXISTING EVERGREEN TREE TO NEW TREE EQUIVALENCE (1:3)	NA			NA		NA
	TOTAL NUMBER OF TREES CREDITED TO REQUIREMENTS	NA			NA		NA
PROVIDED	TOTAL TREES	5	20	0	0	12	23
	TOTAL SHRUBS	27	60	0	0	71	136
	TOTAL PERENNIALS	0			0		0
	AREA OF PLANTING BED (SF)	0			0		0
CODE COMPARISON	TREES EXCEEDING CODE	0			0		0
	SHRUBS EXCEEDING CODE	0			0		0
	BED AREA EXCEEDING CODE	0			0		0

SEE SECTION 21.07.080 FOR LANDSCAPING, SCREENING, AND FENCES REQUIREMENTS. SEE TABLE 21.07-2 FOR REQUIRED SITE PERIMETER LANDSCAPING LEVEL AND TABLE 21.07-01 FOR LANDSCAPING SPECIFICATIONS. SEE SECTION 21.07.080.F.1.c FOR NATIVE PLANT MATERIAL MASS EQUIVALENT REQUIREMENTS.

## PRIVATE OPEN SPACE REQUIREMENTS

21.07.030 B-3 ZONING REQUIRES 5% OF THE GFA (MINUS PARKING SPACE). MAX 2,000SF. REQUIRED LANDSCAPING DOES NOT APPLY.

GFA (SF)	TOTAL REQ'D (SF)	TOTAL PROVIDED (SF)
101,000	5,077	13,373

SEE SECTION 21.07.030 FOR PRIVATE OPEN SPACE REQUIREMENTS.

## LEGEND

SYMBOL	DESCRIPTION
	PRIVATE OPEN SPACE

## VEGETATED OPEN SPACE REQUIREMENTS

21.05.040.F HEALTH CARE FACILITIES REQUIRE 15% OF THE LOT REMAIN VEGETATED OPEN AREA, LANDSCAPED AREA, NATURAL VEGETATION AREAS, OR USEABLE YARD.

LOT AREA	TOTAL REQ'D (SF)	TOTAL PROVIDED (SF)
161,772	24,266	41,205

SEE SECTION 21.07.040 FOR USE REGULATIONS

CORPORATE NO. AEC219  
BETTISWORTHNORTH.COM

**Waterson**  
Construction  
**BETTISWORTH NORTH**

SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISION SCHEDULE  
# DESCRIPTION DATE

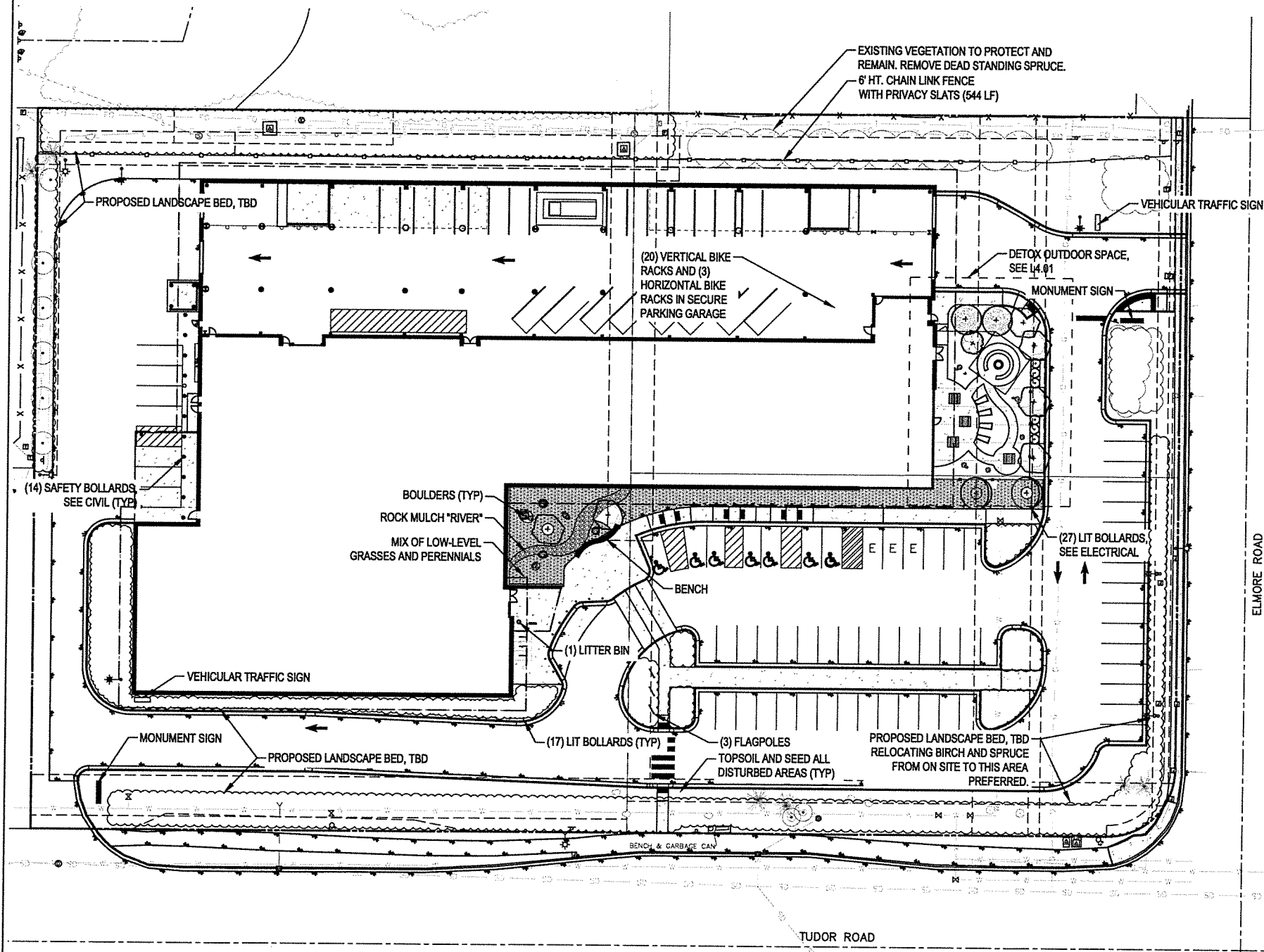
JOB NO. 23-057  
DATE APRIL 28, 2024  
DRAWN SC  
REVIEWED MK

SHEET NAME  
TITLE 21 LANDSCAPE ANALYSIS

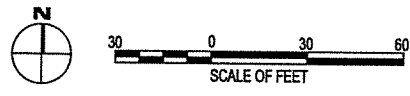
SHEET NO.  
L1.01

HALF SCALE WHEN PRINTED AT 11x17





1 LANDSCAPE PLAN  
L1.02 NTS



PLANT SCHEDULE (PROPOSED PLANTING BEDS WILL BE COMPRISED OF THE FOLLOWING PLANTING MATERIALS)

EVERGREEN TREES						
QTY.	SYMBOL	ABBR.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
17		PG	PICEA GLAUCA	WHITE SPRUCE	6' HT.	B&B

DECIDUOUS TREES						
QTY.	SYMBOL	ABBR.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
31		BP	BETULA PAPPYRIFERA	PAPER BIRCH	2" CAL.	B&B SINGLE STEM
12		LS	LARIX SIBIRICA	SIBERIAN LARCH	8' HT.	B&B
30		AT	ACER TATARICUM SUBSP. GINNALA	AMUR MAPLE	2" CAL.	B&B SINGLE STEM
15		MS	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	2" CAL.	B&B SINGLE STEM

SHRUBS						
QTY.	SYMBOL	ABBR.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
150		SB	SPIRAEA BETULIFOLIA 'TOR'	BIRCHLEAF SPIRAEA	#2 CONT.	POTTED NOTES
80		FO	FORSYTHIA 'NORTHERN GOLD'	'NORTHERN GOLD' FORSYTHIA	#5 CONT.	POTTED
110		PO	PHYSOCARPUS OPULIFOLIUS 'DIABOLO'	'DIABOLO' COMMON NINEBARK	#2 CONT.	POTTED
80		AA	AMELANCHIER ALNIFOLIA 'REGEN'	GLOSSY SERVICEBERRY	#5 CONT.	POTTED NOTES
110		VT	VIBURNUM TRILOBUM 'BAILEY COMPACT'	'BAILEY COMPACT' CRANBERRY	#5 CONT.	POTTED NOTES

PERENNIALS & GRASSES						
QTY.	SYMBOL	ABBR.	LATIN NAME	COMMON NAME	SIZE	FURNISHING NOTES
1,000			Mix of Cornus canadensis, Calamagrostis acutiflora, Nuuk Potentilla, Birchleaf Spiraea, Adiantum pedatum var. aleuticum			

MISCELLANEOUS				MISCELLANEOUS			
QTY.	SYMBOL	DESCRIPTION	NOTES	QTY.	SYMBOL	DESCRIPTION	NOTES
4		BENCH	(4) SEGMENTS	1		FIRE PIT	
2		LITTER BIN		4		PICNIC TABLE	
6		BIKE RACK - SHORT TERM AND HORIZONTAL LONG-TERM	(20) LONG-TERM VERT. BIKE RACKS			ROCK MULCH	2'-6" DIA.
3		FLAG POLE				EXISTING DECIDUOUS TREE	
44		LIT BOLLARD	(1) 4' DIA. (3) 3' DIA. (8) 2' DIA. (7) 1' DIA.	1		EXISTING EVERGREEN TREE	
		BOULDER				FIRE PIT	

- GENERAL LANDSCAPE NOTES:
- IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE PLANS OR ON THE SITE. MODIFICATIONS IN THE FIELD SHALL NOT BE MADE UNTIL APPROVAL HAS BEEN GRANTED BY THE ENGINEER.
  - SEE CIVIL FOR EXISTING AND PROPOSED UTILITIES.
  - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS AND VERIFY LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
  - ALL PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED.
  - ALL PLANTING BEDS SHALL RECEIVE XX" DEPTH TOPSOIL AND XX" DEPTH XX MULCH, UNLESS OTHERWISE NOTED ON PLANS.
  - ALL TREE PLANTINGS IN SEEDED AREAS TO RECEIVE MIN. 18" DEPTH TOPSOIL AND MIN. 3" DEPTH MULCH. PLACE MULCH IN A 5Ø RING AROUND TREE TRUNKS UNLESS OTHERWISE NOTED.
  - ALL DISTURBED AREAS NOT WITHIN PLANTING BEDS SHALL RECEIVE 4" MINIMUM TOPSOIL AND SEED PER SCHEDULE AS NOTED ON PLANS.
  - DO NOT APPLY HYDROSEEDING PRODUCT OR SEED MIX IN THE MULCHED AREA AROUND STEM OR TRUNK OF NEW PLANTINGS.
  - NEW TREE PLANTINGS IN SITE DISTANCE TRIANGLES SHALL BE BARE OF BRANCHES TO A HEIGHT OF 8'-0" UPON MATURITY. TREES SHALL NOT BE ALTERED BY PRUNING OR OTHER MEANS TO MEET SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
  - NEW SHRUB AND PERENNIAL PLANTINGS IN SITE DISTANCE TRIANGLES SHALL CONSIST OF SPECIES THAT TYPICALLY REACH A MAXIMUM HEIGHT OF 30" OR SHORTER.
  - REFER TO SHEET L5.01 AND L5.02 FOR LANDSCAPE PLANTING DETAILS.
  - BOULDERS SHALL BE PLACED IN RANDOM MIX WITH SIZE RANGE AS NOTED ON PLANS UNLESS OTHERWISE SPECIFIED.
  - ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING PER DETAIL 7/L5.01.
  - EXISTING VEGETATION TO BE SAVED AND PROTECTED SHALL RECEIVE PROTECTION FENCING PER DETAIL 6/L5.01.

LANDSCAPE ABBREVIATIONS:

ABBR.	ABBREVIATION	HT.	HEIGHT
B&B	BALL & BURLAP	MAX.	MAXIMUM
CAL.	CALIPER	MIN.	MINIMUM
CL	CENTERLINE	N.I.C.	NOT IN CONTRACT
CONT.	CONTAINER	O.C.	ON CENTER
DIA.	DIAMETER	QTY.	QUANTITY
Ø	DIAMETER	TYP.	TYPICAL

CORPORATE NO. AECC219  
BETTISWORTHNORTH.COM



SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISION SCHEDULE	
#	DESCRIPTION

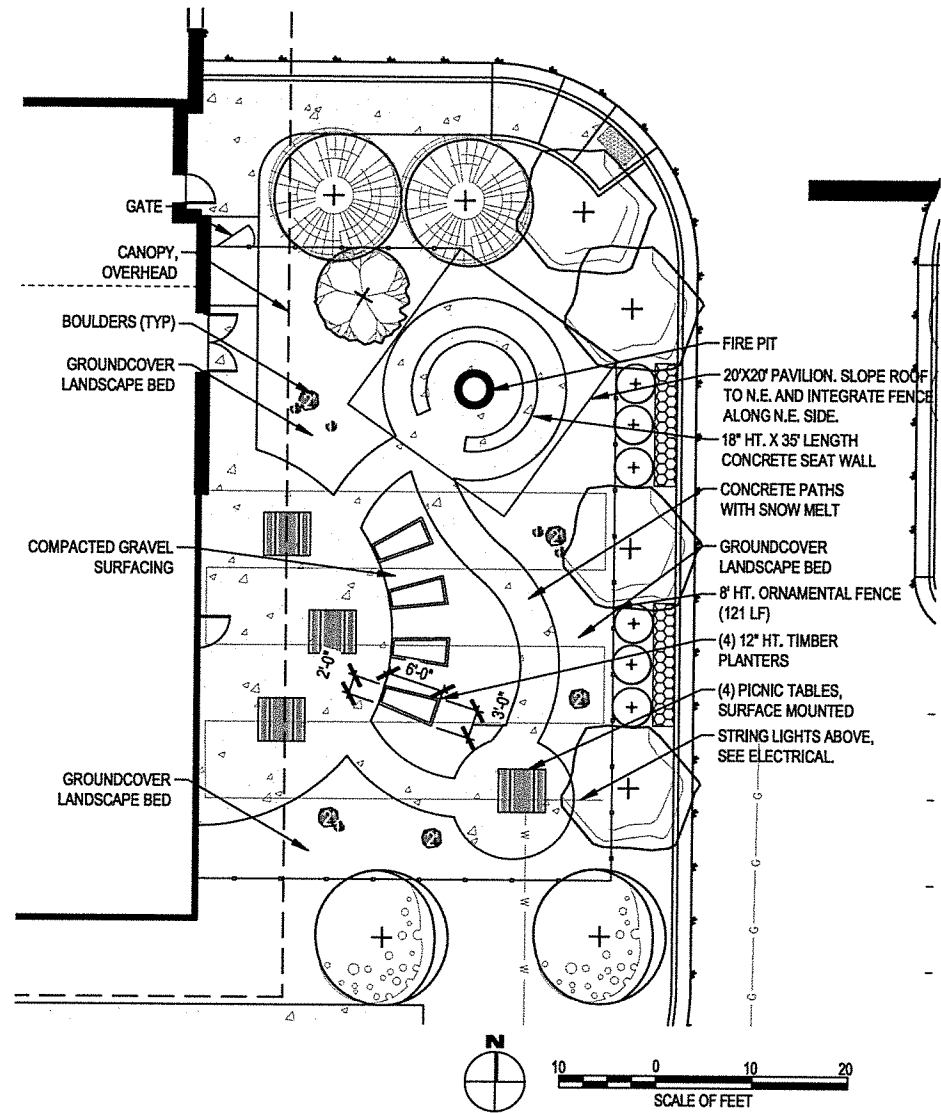
JOB NO.	23-057
DATE	APRIL 29, 2024
DRAWN	SC
REVIEWED	NK

SHEET NAME  
LANDSCAPE PLAN

SHEET NO.  
L1.02

HALF SCALE WHEN PRINTED AT 11x17





1  
L4.01  
NTS

ENLARGEMENT - DETOX OUTDOOR SPACE

CORPORATE NO. AECC219  
BETTISWORTHNORTH.COM

**Waterson**  
Construction  
**BETTISWORTH**  
**NORTH**

SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISION SCHEDULE

#	DESCRIPTION	DATE
---	-------------	------

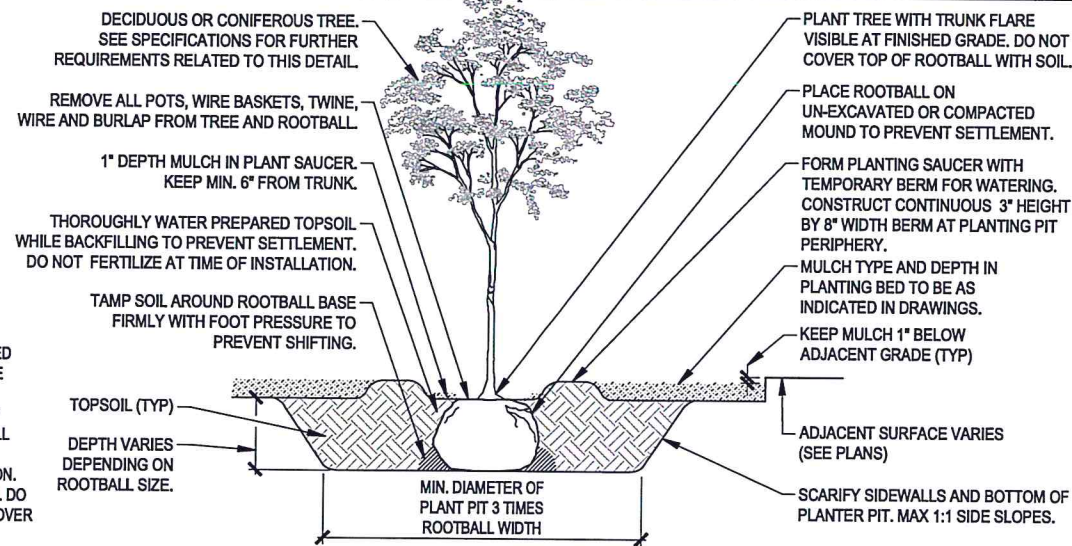
JOB NO. 23-057  
DATE APRIL 29, 2024  
DRAWN SC  
REVIEWED MK

SHEET NAME  
ENLARGEMENT - DETOX OUTDOOR  
SPACE

SHEET NO.  
L4.01

HALF SCALE WHEN PRINTED AT 11x17

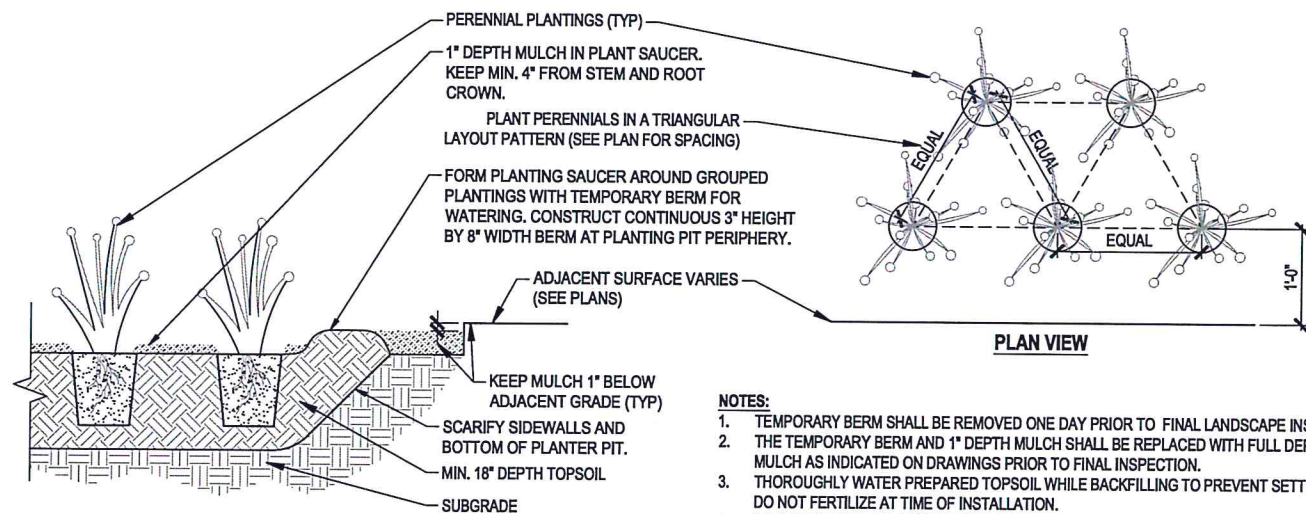




- NOTES:**
1. TEMPORARY BERM SHALL BE REMOVED ONE DAY PRIOR TO FINAL LANDSCAPE INSPECTION.
  2. THE TEMPORARY BERM AND 1" DEPTH MULCH SHALL BE REPLACED WITH FULL DEPTH MULCH AS INDICATED ON DRAWINGS PRIOR TO FINAL INSPECTION.
  3. KEEP ALL MULCH MIN. 6" FROM TRUNK. DO NOT ALLOW MULCH OR TOPSOIL TO COVER TRUNK FLARE.

### 1 01 TREE PLANTING

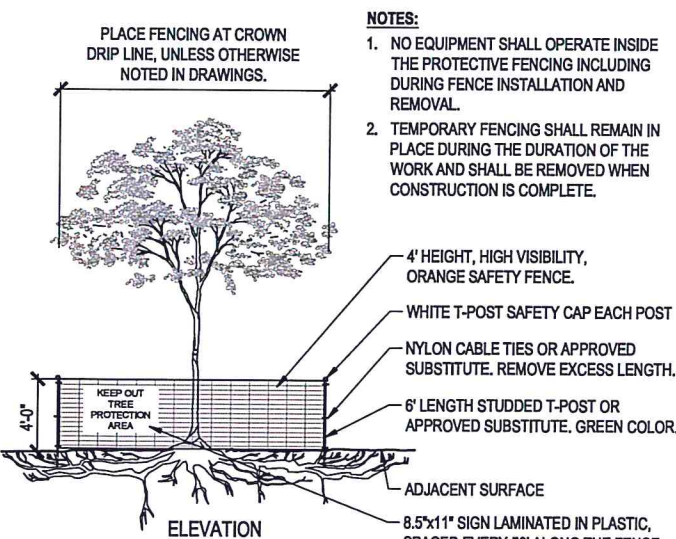
NTS



- NOTES:**
1. TEMPORARY BERM SHALL BE REMOVED ONE DAY PRIOR TO FINAL LANDSCAPE INSPECTION.
  2. THE TEMPORARY BERM AND 1" DEPTH MULCH SHALL BE REPLACED WITH FULL DEPTH MULCH AS INDICATED ON DRAWINGS PRIOR TO FINAL INSPECTION.
  3. THOROUGHLY WATER PREPARED TOPSOIL WHILE BACKFILLING TO PREVENT SETTLEMENT. DO NOT FERTILIZE AT TIME OF INSTALLATION.
  4. MULCH TYPE AND DEPTH IN PLANTING BED TO BE AS INDICATED IN DRAWINGS.
  5. KEEP ALL MULCH MIN. 4" FROM MAIN STEM AND ROOT CROWN OF SHRUB.

### 3 01 PERENNIAL PLANTING

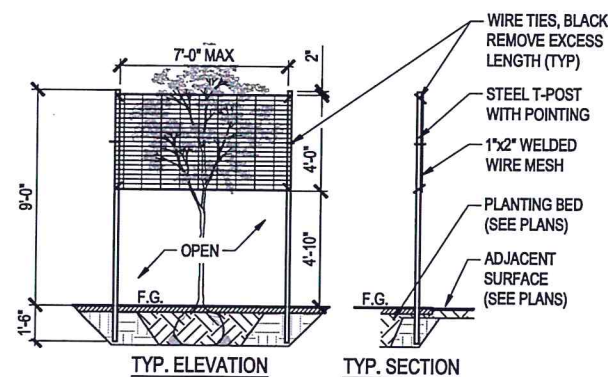
NTS



- NOTES:**
1. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  2. TEMPORARY FENCING SHALL REMAIN IN PLACE DURING THE DURATION OF THE WORK AND SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETE.

### 6 01 TEMPORARY TREE PROTECTION FENCING

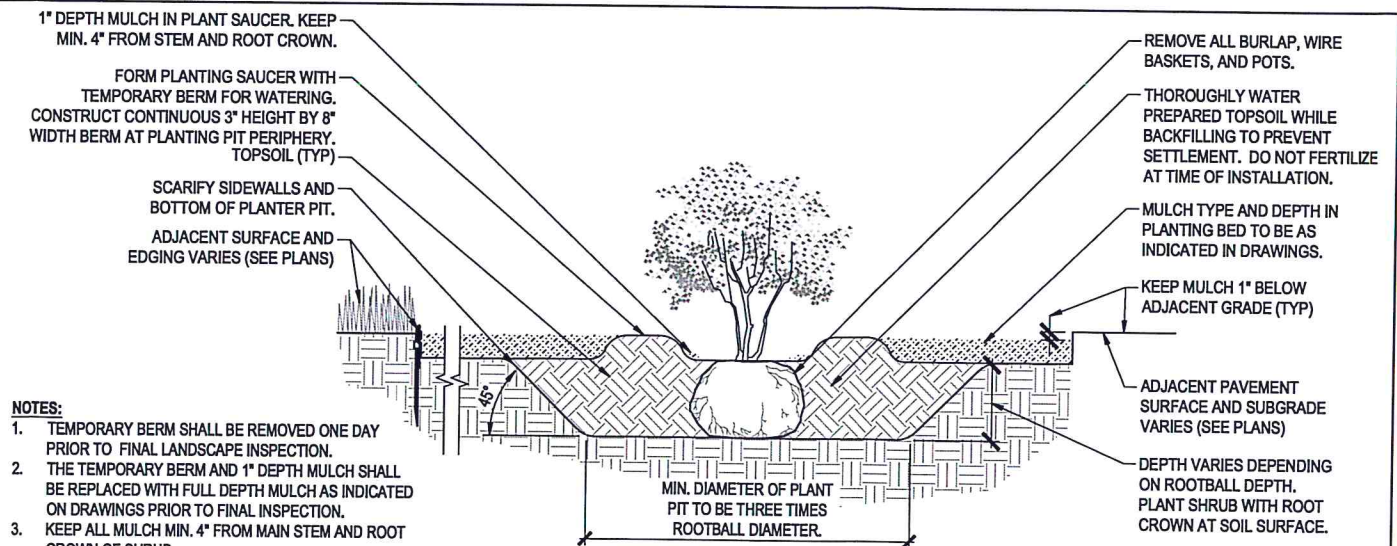
NTS



- NOTES:**
1. MOOSE PROTECTION FENCING REQUIRED AROUND ALL NEW DECIDUOUS TREES.
  2. FOR INDIVIDUAL TREES, MIN. 3 POSTS REQUIRED PER TREE.
  3. FOR TREE GROUPINGS, PLACE T-POSTS SO THAT MESH DOES NOT TOUCH BRANCHES.

### 7 L5.01 MOOSE PROTECTION FENCE

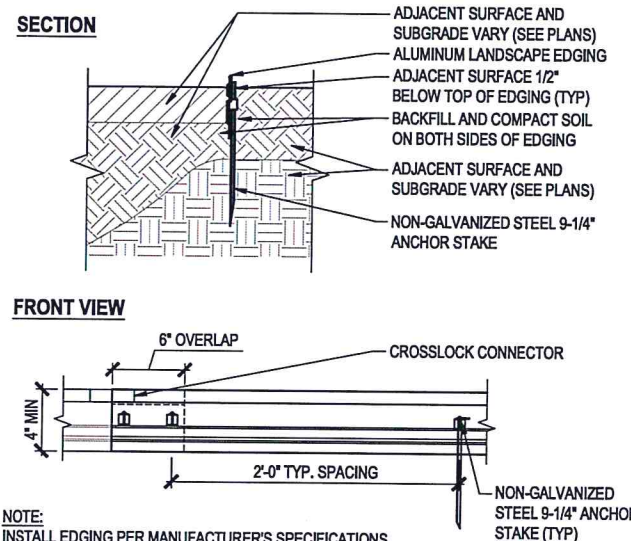
NTS



- NOTES:**
1. TEMPORARY BERM SHALL BE REMOVED ONE DAY PRIOR TO FINAL LANDSCAPE INSPECTION.
  2. THE TEMPORARY BERM AND 1" DEPTH MULCH SHALL BE REPLACED WITH FULL DEPTH MULCH AS INDICATED ON DRAWINGS PRIOR TO FINAL INSPECTION.
  3. KEEP ALL MULCH MIN. 4" FROM MAIN STEM AND ROOT CROWN OF SHRUB.

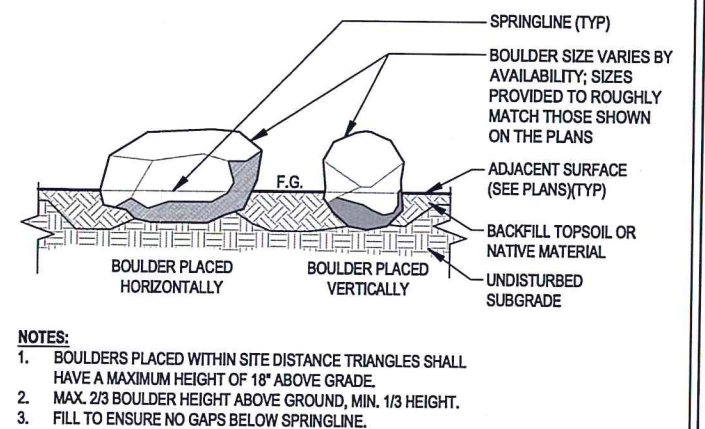
### 2 01 SHRUB PLANTING

NTS



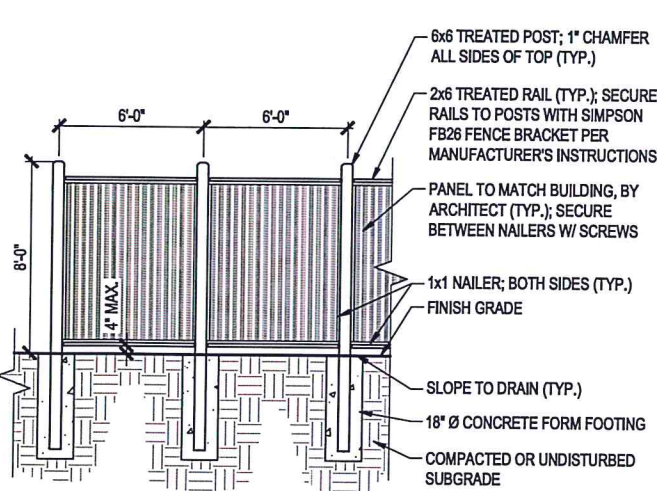
### 4 01 LANDSCAPE EDGING

NTS



### 5 01 BOULDER

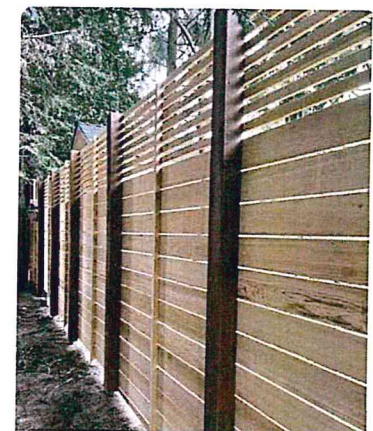
NTS



- NOTE:**
- ALL UNTREATED MEMBERS OR CUTS TO RECEIVE TWO COATS OF CLEAR SEALER PRIOR TO INSTALLATION.

### 8 01 DUMPSTER SCREEN FENCE

NTS



- NOTES:**
1. SCREEN FENCE TO BE 8' HT WITH 8'-0" O.C. POST SPACING.
  2. HORIZONTAL CEDAR WOOD SLATS.

### 9 01 SCREEN FENCE

NTS

CORPORATE NO. AEC219  
BETTISWORTHNORTH.COM

**Watterson**  
Construction  
**BETTISWORTH**  
**NORTH**

**SOUTHCENTRAL FOUNDATION**  
**TUDOR & ELMORE DEVELOPMENT**  
**ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 23-057  
DATE APRIL 29, 2024  
DRAWN SC  
REVIEWED MK

SHEET NAME  
LANDSCAPE DETAILS

SHEET NO.  
**L5.01**

HALF SCALE WHEN PRINTED AT 11x17





MANUFACTURER: POLYGON  
MODEL: FOUR-COLUMN MONOSLOPE SHELTER  
MOUNT: EMBEDDED  
FINISH: TBD

1  
02 PAVILION  
NTS



MANUFACTURER: LANDSCAPEFORMS  
MODEL: GRETCHEN  
MOUNT: SURFACE  
FINISH: TBD

2  
02 PICNIC TABLE  
NTS



MANUFACTURER: LANDSCAPEFORMS  
MODEL: LINK - 96" R. PIANO KEY  
MOUNT: SURFACE  
FINISH: TBD

3  
02 BENCH  
NTS



MANUFACTURER: LANDSCAPEFORMS  
MODEL: GRETCHEN - SIDE OPENING  
MOUNT: SURFACE  
FINISH: TBD

4  
02 LITTER BIN  
NTS



MANUFACTURER: LANDSCAPEFORMS  
MODEL: HUMO ASH URN  
MOUNT: SURFACE  
FINISH: STAINLESS STEEL

NOTE: (1) ASH URN TO BE INCLUDED  
IN THE DETOX OUTDOOR SPACE.

5  
02 ASH URN  
NTS



MANUFACTURER: DERO  
MODEL: ULTRA SPACE SAVER SQUARED  
MOUNT: SURFACE  
FINISH: TBD

6  
02 BIKE RACK - LONG-TERM  
NTS



MANUFACTURER: LANDSCAPEFORMS  
MODEL: MULTIPLICITY BIKE RACK  
MOUNT: SURFACE  
FINISH: TBD

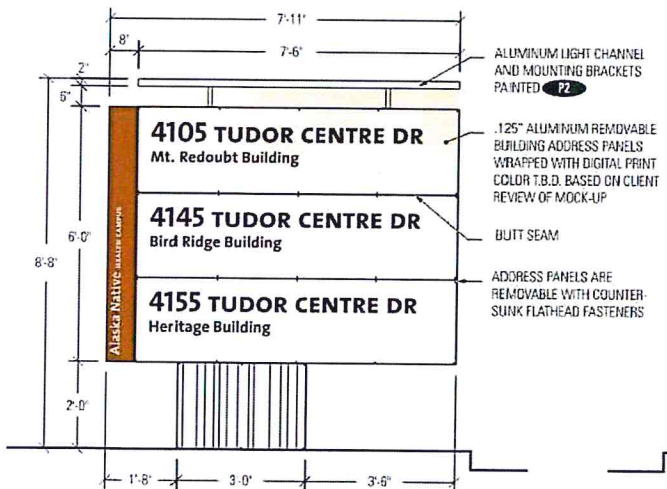
NOTE: TO BE USED FOR SHORT-TERM  
PARKING AND AS THE HORIZONTAL RACKS  
IN THE PARKING GARAGE.

7  
02 BIKE RACK - SHORT-TERM  
NTS



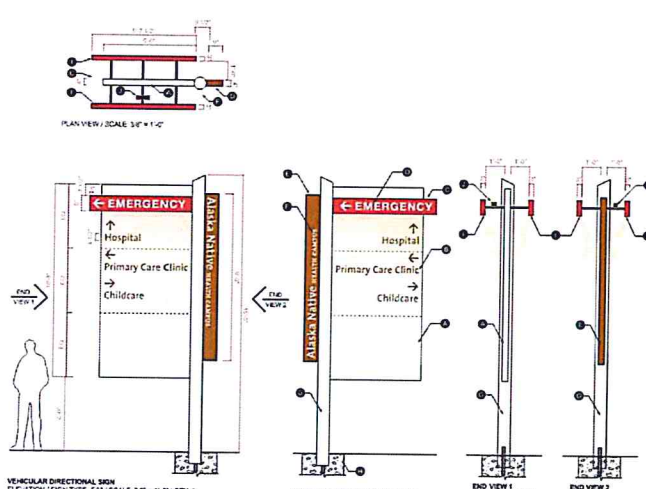
MANUFACTURER: AMERICAN FYRE DESIGNS  
MODEL: 686-CB-11-M6xC  
MOUNT: SURFACE  
FINISH: TBD

8  
02 FIRE PIT  
NTS



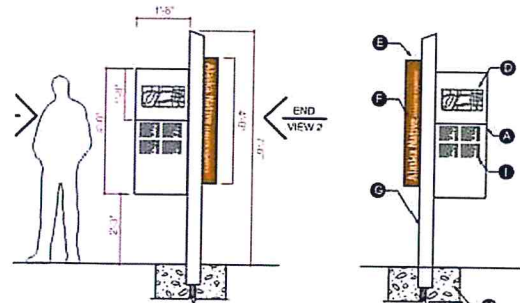
NOTE: SIGN TEXT CONTENT TBD

9  
02 MONUMENT SIGN  
NTS



NOTE: SIGN TEXT CONTENT TBD

10  
02 VEHICAL SIGN  
NTS



NOTE: NOT SHOWN ON PLANS.  
ASSUME (3) OF THESE SIGNS.  
SIGN TEXT CONTENT TBD

11  
02 PEDESTRIAN SIGN  
NTS



MANUFACTURER: CONCORD AMERICAN FLAGPOLE  
MODEL: INDEPENDENCE SERIES - IRW  
FINISH: TBD

12  
02 FLAG POLE  
NTS

CORPORATE NO. AECG219  
BETTISWORTHNORTH.COM

**Watterson**  
Construction  
**BETTISWORTH**  
**NORTH**

**SOUTHCENTRAL FOUNDATION**  
**TUDOR & ELMORE DEVELOPMENT**  
**ANCHORAGE, ALASKA**

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	23-057
DATE	APRIL 29, 2024
DRAWN	SC
REVIEWED	MK

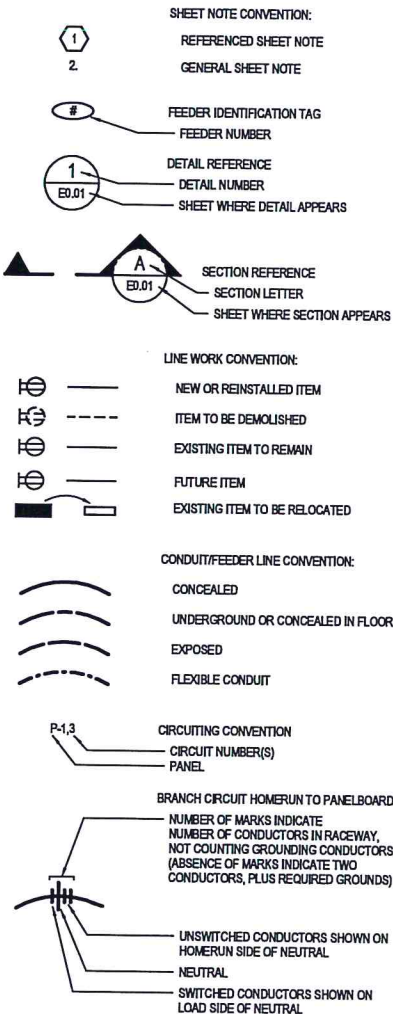
SHEET NAME  
LANDSCAPE DETAILS

SHEET NO.  
**L5.02**

HALF SCALE WHEN PRINTED AT 11x17



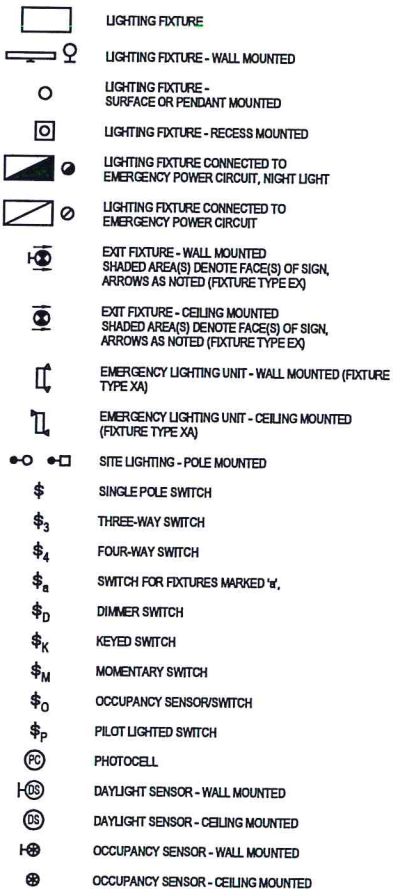
## GENERAL



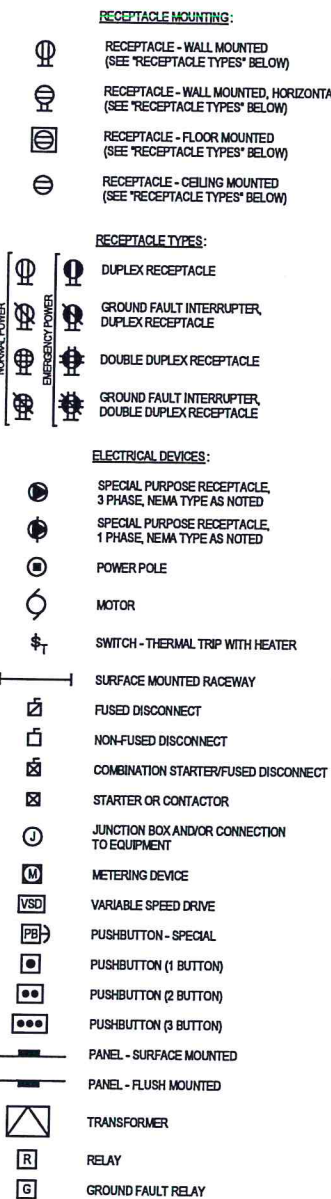
## ABBREVIATIONS

ACS	ACCESS CONTROL SYSTEM
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AL	ALUMINUM
APPROX	APPROXIMATE
AHJ	AUTHORITY HAVING JURISDICTION
BAS	BUILDING AUTOMATION SYSTEM
CKT	CIRCUIT
CCTV	CLOSED CIRCUIT TELEVISION
CMH	COMMUNICATIONS MANHOLE
C	CONDUIT
C.O.	CONDUIT ONLY
CU	COPPER
(D)	DEMOLISH
DB	DECIBEL
EL	EMERGENCY LIGHT
ELU	EMERGENCY LIGHTING UNIT
ENL	EMERGENCY NIGHT LIGHT
(E)	EXISTING
(F)	FUTURE
FAA	FIRE ALARM ANNUNCIATOR
FACP	FIRE ALARM CONTROL PANEL
FO	FIBER OPTIC
FOPP	FIBER OPTIC PATCH PANEL
FSD	FIRE/SMOKE DAMPER
FZ	FREQUENCY
HP	HORSEPOWER
IAW	IN ACCORDANCE WITH
K	KELVIN
KVA	KILO VOLT-AMPS
KW	KILOWATT
LCP	LIGHTING CONTROL PANEL
MCC	MOTOR CONTROL CENTER
MCP	MOTOR CONTROL PANEL
MDS	MAIN DISTRIBUTION SWITCHBOARD
MIN	MINIMUM
MM	MULTIMODE FIBER OPTIC CABLE
MTR	MAIN TELECOM ROOM
NEC	NATIONAL ELECTRICAL CODE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NL	NIGHT LIGHT
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OFC	OPTICAL FIBER CABLE
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFCI	OWNER FURNISHED, OWNER INSTALLED
PA	PUBLIC ADDRESS
PH	PHASE (ELECTRICAL)
PLC	PROGRAMMABLE LOGIC CONTROLLER
PMCS	POWER MONITORING CONTROL SYSTEM
SM	SINGLEMODE FIBER OPTIC CABLE
SMR	SURFACE MOUNTED RACEWAY
SPD	SURGE PROTECTIVE DEVICE
TELECOM	TELECOMMUNICATION
TR	TELECOMMUNICATION ROOM
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VR	VANDAL RESISTANT
VSD	VARIABLE SPEED DRIVE
VAC	VOLTS (ALTERNATING CURRENT)
VDC	VOLTS (DIRECT CURRENT)
V	VOLTS OR VOLTAGE
W	WATT
WP	WEATHERPROOF
WG	WIRE GUARD

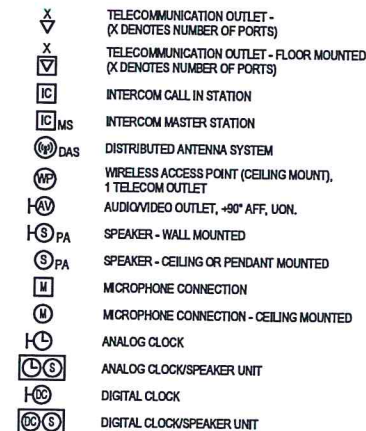
## LIGHTING



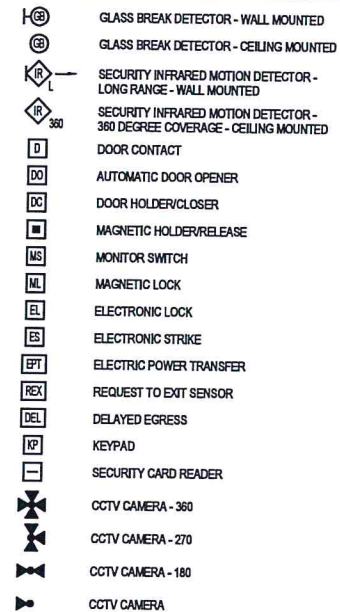
## POWER



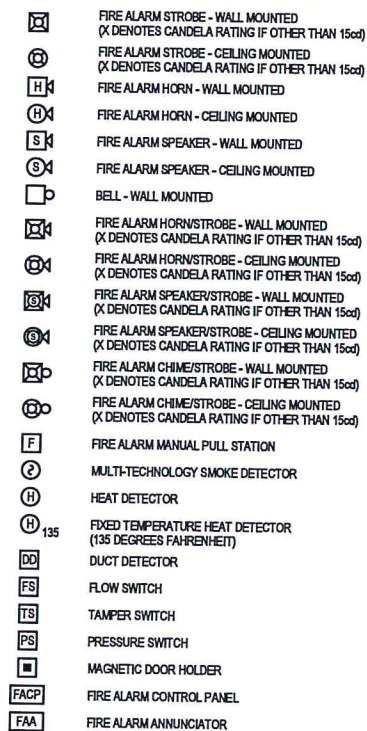
## COMMUNICATIONS



## SECURITY



## FIRE ALARM



SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO.	23-057
DATE	04.29.2024
DRAWN	Author
REVIEWED	HOOD

SHEET NAME  
ELECTRICAL LEGEND

SHEET NO.  
E0.01

HALF SCALE WHEN PRINTED AT 11x17

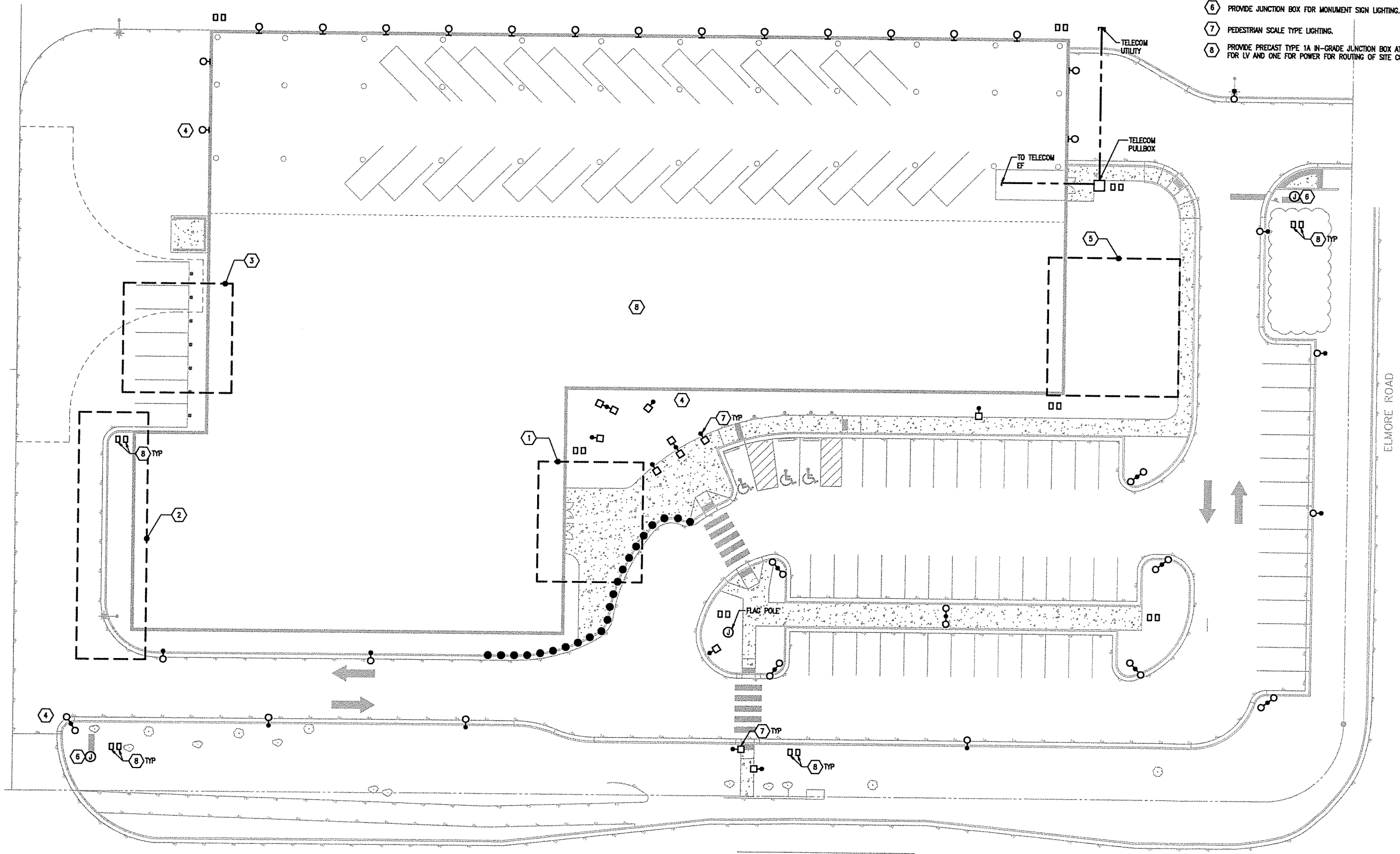


GENERAL NOTES

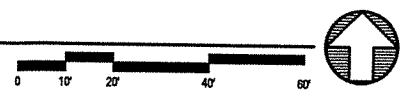
- 1.
- 2.

SHEET NOTES

1. LOCATION INDICATES FUTURE CANOPY, CANOPY AND BUILDING FACADE WILL CONSIST OF MULTIPLE LAYERS OF LIGHTING.  
EXAMPLES:  
LINEAR AND WALL GRATING FIXTURES
2. OUTDOOR LIGHTING WILL CONSIST OF PEDESTRIAN LANDSCAPE TYPE LIGHTING TO PROVIDE A WARM OUTDOOR ENVIRONMENT.
3. LIGHTING IN THIS AREA WILL CONSIST OF DOWNLIGHTS AND BUILDING MOUNTED LIGHTS TO ACHIEVE A SECURITY LEVEL OF LIGHTING.
4. A MIX OF POLE MOUNTED AND WALL MOUNTED AREA LIGHTS WILL BE USED TO ILLUMINATE THE AREA AROUND THE PERIMETER OF BUILDING.
5. OUTDOOR LIGHTING WILL CONSIST OF PEDESTRIAN LANDSCAPE AND CATENARY STRING TYPE LIGHTING TO PROVIDE A WARM OUTDOOR ENVIRONMENT.
6. PROVIDE JUNCTION BOX FOR MONUMENT SIGN LIGHTING.
7. PEDESTRIAN SCALE TYPE LIGHTING.
8. PROVIDE PRECAST TYPE 1A IN-GRADE JUNCTION BOX AT LOCATION SHOWN, ONE FOR LV AND ONE FOR POWER FOR ROUTING OF SITE CONDUIT.



1 SITE PLAN - ELECTRICAL  
E1.01 SCALE: 1" = 20'



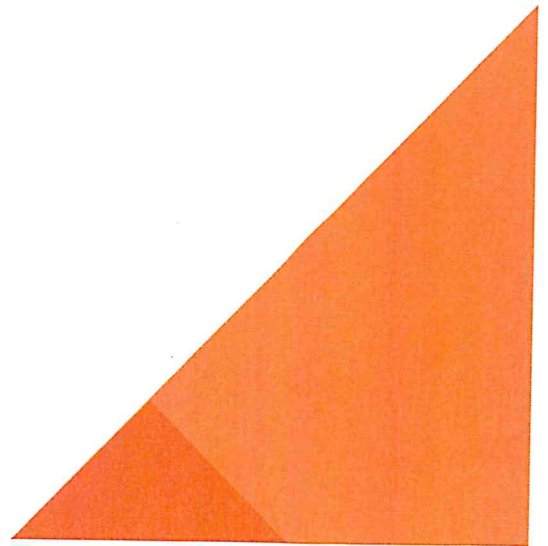
SOUTHCENTRAL FOUNDATION  
TUDOR & ELMORE DEVELOPMENT  
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE
JOB NO.	23-057	
DATE	04.26.2024	
DRAWN		
REVIEWED	JEH	
SHEET NAME	SITE PLAN - ELECTRICAL	
SHEET NO.	E1.01	

HALF SCALE WHEN PRINTED AT 11x17



## **APPENDIX 2: USE DETERMINATION**





# MUNICIPALITY OF ANCHORAGE



Planning Department  
Zoning and Land Use Review

Phone: 907-343-7931

*Mayor Dave Bronson*

April 19, 2024

Southcentral Foundation  
4501 Diplomacy Drive  
Anchorage, Alaska 99508

To Whom It May Concern:

This letter is in response to your request for a use classification for the proposed development at 4330 Elmore Road, Anchorage, Alaska. MOA Parcel ID Number 008-024-10-000. This site is legally described as Tract G5-1 Athenian Village Subdivision. The site for the proposed development is within the B-3 (General Business) zoning district.

The narrative provided with the application for use classification indicates the existing buildings on the site will be removed to allow construction of a new three-story, 101,000-square-foot building to expand behavioral health services. The proposed development also includes a 100,000-square-foot, 155 space integrated parking garage and 60 surface parking spaces to support the development.

The services provided within the new building will include a detox (withdrawal management) program that provides 24-hour, 7-day a week medical support for patients with severe addiction. The program medically manages withdrawal and provides symptomatic relief at a level of care below that of a hospital environment. Once the medical detox portion of treatment is complete, patients either begin outpatient treatment programs or transfer to a residential rehabilitation center. Patients are over the age of 18 and meet medical necessity and medically monitored residential withdrawal criteria under the American Society of Addiction Medicine.

Other services include a Crisis Stabilization Clinic which provides support for patients that are in a mental health crisis and whose needs are emergent, but do not require treatment within a traditional emergency department setting. This may include patients who have an impulse to harm themselves or others. The stabilization program provides medical oversight to address the immediate crisis, assess additional treatment needs and facilitates transfer as appropriate to the patient's crisis needs.

Short term support for patients that are in a mental health crisis whose needs could not be addressed within the Crisis Stabilization Clinic is provided on a 24-hour, 7-day a week basis in the Behavioral Crisis Residential Program. This program provides medical support for individuals that may have an impulse to harm themselves or others and medical oversight to connect them with ongoing support on an out-patient basis once they are discharged from care.



Patients in the Detox program stay in the facility between 3 and 10 days. The length of stay for patients in the Crisis Stabilization program is approximately 3 hours, but less than 24 hours, and patients in the Behavioral Crisis Residential Program stay approximately 7-10 days.

The facility will also contain office and administrative space to support the uses of the building as well as outpatient behavioral health services and medication assisted treatment.

The staffing for this facility is a mix of physicians, nurses, clinicians, and other medical and professional staff with an estimated total of 149 full-time staff members and approximately 38 part-time staff members.

There will be no retail or wholesale transactions as part of the proposed use, and no indoor or outdoor storage, assembly, manufacturing, or production on the site. A limited number of portable O2 tanks will be stored on site, consistent with that of a primary care center or other medical office building. Some patients may arrive with narcotics on their person, these substances will be confiscated and disposed of within compliance of all federal, state, and local laws and regulations.

The building is proposed to be a three stories with 101,000 square feet of occupiable space and a 100,000-square-foot integrated parking structure. The parking facility and additional surface parking will provide a total of 210 parking spaces for the site. The building is proposed to be 55 feet in height and will exceed the height limitation of 45 feet for the zoning district. The additional height will require an administrative site plan approval.

There are no nuisances anticipated due to the new development. A design team is assessing the need for a traffic impact analysis. Traffic impacts and mitigation will be addressed during the building permit process. Municipal sewer and water are available to this site.

The surrounding properties are a mix of commercial, health care, and residential campus housing uses. The expansion of the Southcentral Foundation behavioral health services at this location is compatible with the surrounding development and no negative impacts are anticipated as a result of this development.

The narrative provided suggests the proposed uses in the building are most similar to uses defined in the Health Care Facility use category of Title 21. AMC 21.05.040F. states "This category includes uses that provide medical or surgical care to patients. Accessory uses may include offices, laboratories, teaching facilities, meeting areas, cafeterias, parking, maintenance facilities, and housing for staff or trainees."

Use types specific to this determination include Health Services (AMC 21.05.040F.1) and Hospital/Health Care Facility (AMC 21.05.040F.2.) Health Services is defined as "Establishments primarily engaged in furnishing, on an outpatient basis, chiropractic, dental medical, surgical, or other services to individuals, including the offices of chiropractors, physicians, dentists, and other licensed medical practitioners, medical and dental laboratories, outpatient care and outpatient care facilities, pharmacies, home health care agencies, and blood



banks.” A Hospital/Health Care Facility is defined as “A facility or institution, whether public or private, principally engaged in providing inpatient services for medical, surgical, or psychiatric care, and the treatment and housing of persons under the care of doctors and nurses. Examples include general or specialty hospitals, but exclude habilitative care facilities, assisted living facilities, and nursing facilities. Training, rehabilitation services, and health services may be permitted as accessory uses, if integral to the facility’s function. Other accessory uses may include pharmacies and central services facilities, such as kitchens and laboratories which serve the health care facility.”

**The proposed facility has uses that meet the definitions of Hospital/Health Care Facility and Health Services. The Hospital/Health Care Facility and Health Services uses are permitted in the B-3 zoning district subject to the use specific standards of AMC 21.05.040F.1. and AMC 21.05.040F.2.**

This determination is based on the information provided by the applicant. If additional information is obtained, or the information provided is later determined to be inaccurate or false and materially changes the conclusion herein, the department may revise or revoke this determination.

Please feel free to contact our office if you have any additional questions or concerns.

Respectfully,

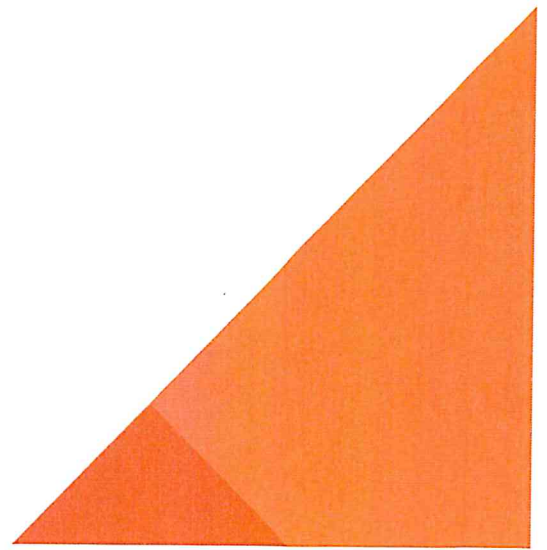


Sonnet Calhoun  
Manager, Zoning and Land Use Review  
Municipality of Anchorage  
Planning Department  
907-343-8353

*Appeal: This use determination may be appealed to the Zoning Board of Examiners and Appeals (ZBEA) in accordance with AMC 21.03.050B. The appeal may be brought by any party of interest for the application no later than 20 days after the date of service of the decision. The appeal fee is \$1,130 and is required to be paid at the time the appeal is submitted. If the ZBEA fully overturns the decision of the director, then the fee will be returned. If the ZBEA overturns the decision of the director in part, then half of the fee will be returned. Please contact the Current Planning Section for more information.*



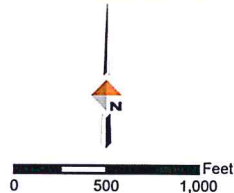
## **APPENDIX 3: PROJECT MAPS**







 Subject Parcel



### Project Location & Vicinity

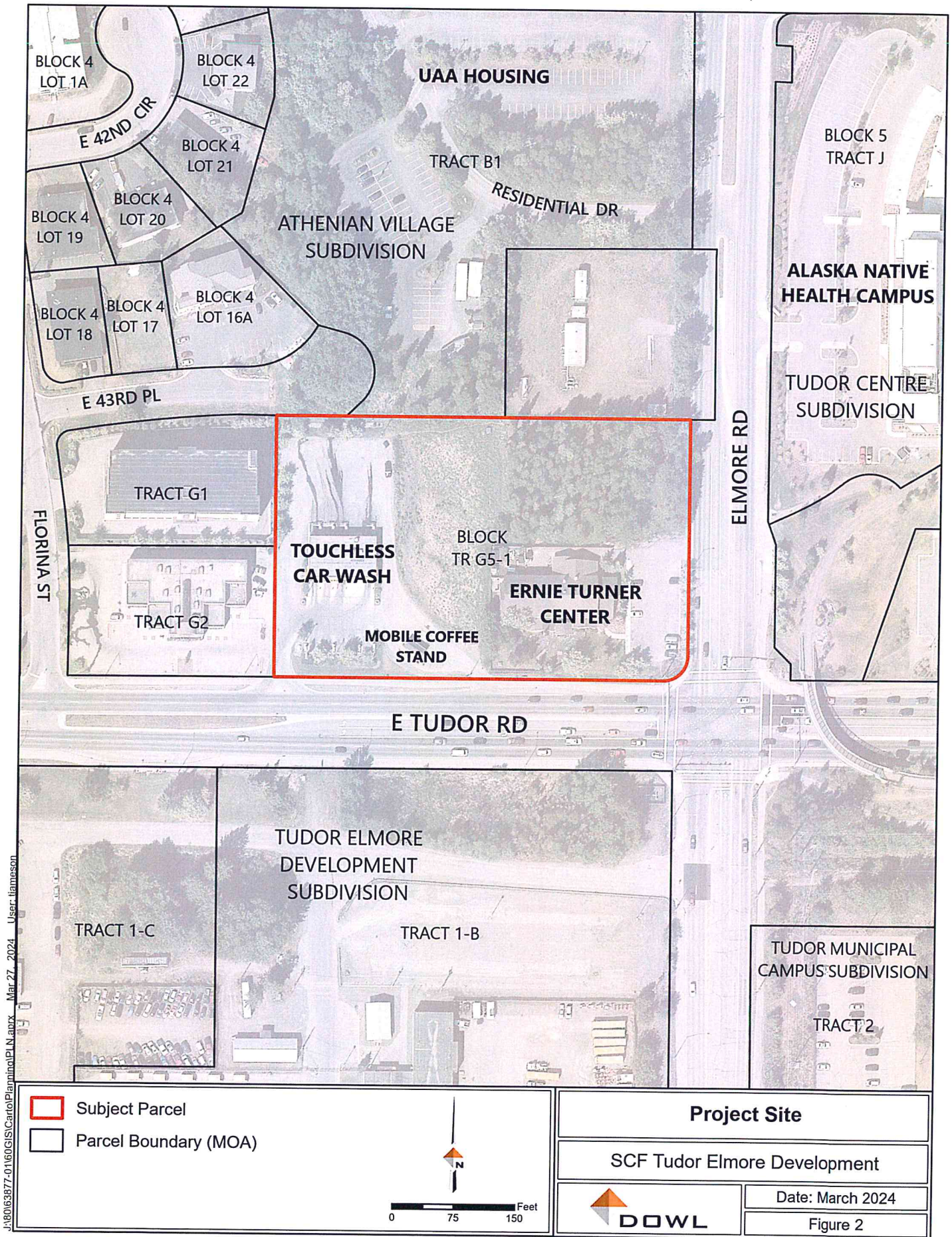
SCF Tudor Elmore Development



Date: March 2024

Figure 1



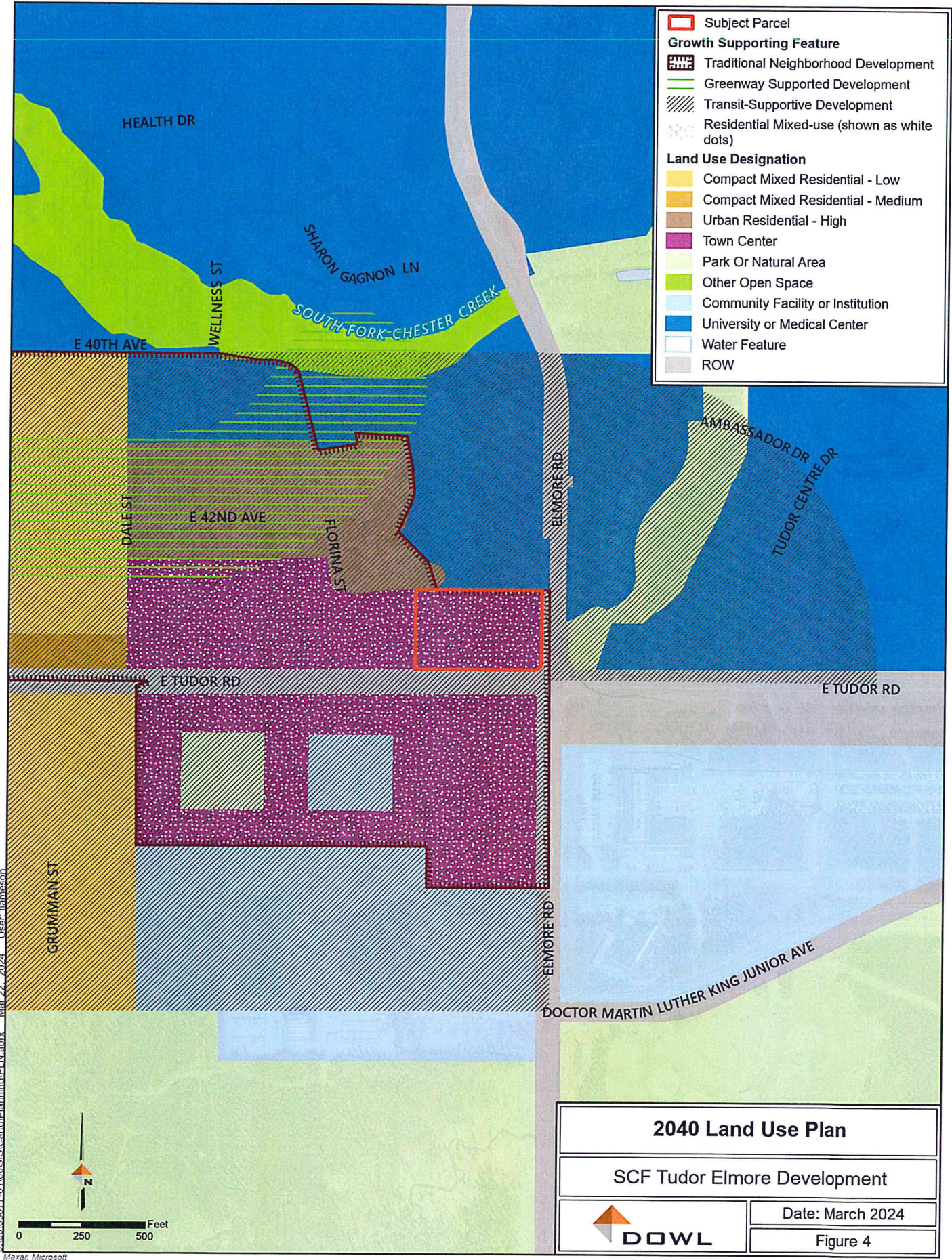








\\B063877-01\B06GIS\Carto\Planning\PLN\aprx Mar 22, 2024 User: liamjason



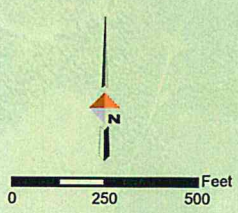
## 2040 Land Use Plan

SCF Tudor Elmore Development



Date: March 2024

Figure 4



Maxar, Microsoft







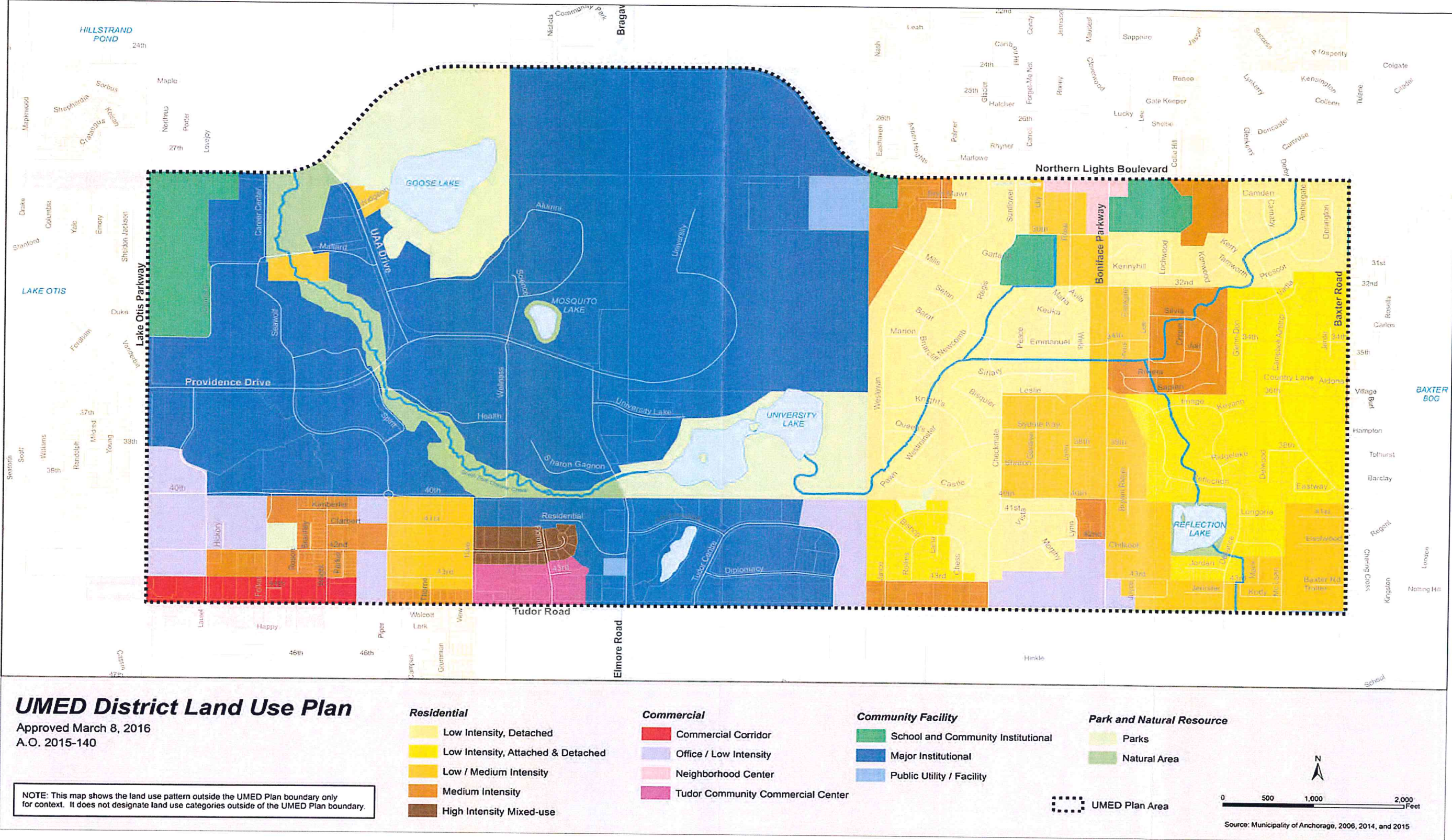
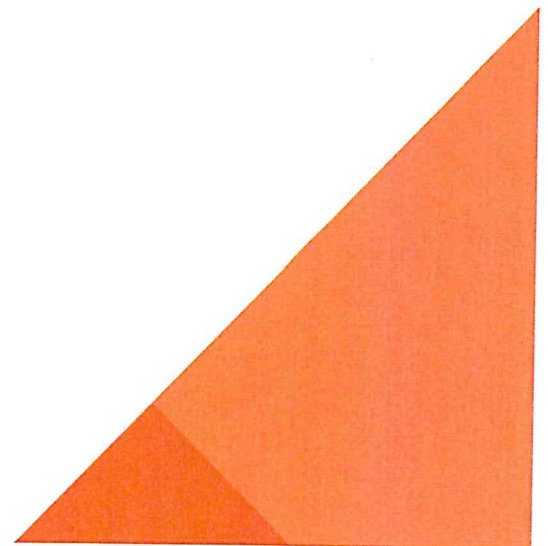


Figure 53. UMED District Land Use Plan Map.



## **APPENDIX 4: PROPERTY CARD AND UNDERLYING PLAT**





PARID: 00802410000  
SOUTHCENTRAL FOUNDATION

4330 ELMORE RD

LUC: 316  
TAX YEAR: 2024

### Property Information

---

Property Location: 4330 ELMORE RD  
Class: C - Commercial  
Use Code (LUC): 316 - Nursing home  
Condo/Unit #:   
Tax District: 03  
Zoning: B3  
Plat #: 230043  
HRA #: 000000  
Grid #: SW1735  
Deeded Acres: .0000  
Square Feet: 161,888  
Legal Description: ATHENIAN VILLAGE  
TR G5-1

Economic Link: No

**Show Parcel on Map**

### Owner

---

Owner SOUTHCENTRAL FOUNDATION  
Co-Owner  
Care Of  
Address 4501 DIPLOMACY DRIVE  
City / State / Zip ANCHORAGE, AK 99508 0000  
Deed Book/Page /

---

### **Make a Payment**

### Assessed Value

---

Tax Year	Roll Type	LUC	Class	Land	Building	Total Appraised
2024	RP	316	C	3,245,000	2,778,100	6,023,100

### Taxable Value

---

Net Taxable Value 6,023,100



# CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE), HEREBY CERTIFY THAT I (WE) HOLD THE HEREIN SPECIFIED PROPERTY INTEREST IN THE PROPERTY DESCRIBED HEREON. I (WE) HEREBY DEDICATE TO THE MUNICIPALITY ALL AREAS DEPICTED FOR USE AS PUBLIC UTILITY EASEMENTS, STREETS, ALLEYS, THOROUGHFARES, PARKS, AND OTHER PUBLIC AREAS SHOWN HEREON. THERE SHALL BE RESERVED ADJACENT TO THE DEDICATED STREETS SHOWN HEREON A SLOPE RESERVATION EASEMENT SUFFICIENT TO CONTAIN CUT AND FILL SLOPES OF 1.5 FEET HORIZONTAL FOR EACH ONE FOOT VERTICAL (1.5 TO 1) OF CUT OR FILL FOR THE PURPOSE OF PROVIDING AND MAINTAINING THE LATERAL SUPPORT OF THE CONSTRUCTED STREETS. THERE IS RESERVED TO THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE SUCH AREAS AT ANY TIME UPON PROVIDING AND MAINTAINING OTHER ADEQUATE LATERAL SUPPORT, AS APPROVED BY THE MUNICIPALITY.

I (WE) HEREBY AGREE TO THIS PLAT, AND TO ANY RESTRICTION OR COVENANT APPEARING HEREON AND ANY SUCH RESTRICTION OR COVENANT SHALL BE BINDING AND ENFORCEABLE AGAINST PRESENT AND SUCCESSIVE OWNERS OF THIS SUBDIVIDED PROPERTY.

James Sears Sr. Director of Facilities Operations  
 PRINTED NAME/TITLE  
 SOUTH CENTRAL FOUNDATION  
 OWNER, TRACT G5-1, ATHENIAN VILLAGE SUBDIVISION  
 4330 ELMORE ROAD  
 ANCHORAGE, AK. 99508  
 SIGNATURE

## NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN BEFORE ME THIS 3 DAY OF

FOR: James Sears Sr. Director Facilities

Deborah Allard Deborah Allard 3/6/23  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES

## APPROVALS

PLATTING OFFICER 9/11/23  
 MUNICIPAL SURVEYOR 9/11/2023  
 DATE DATE

## ACCEPTANCE AND DEDICATION BY MUNICIPALITY OF ANCHORAGE

THE MUNICIPALITY OF ANCHORAGE HEREBY ACCEPTS FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY DEDICATED ON THIS PLAT INCLUDING, BUT NOT LIMITED TO EASEMENTS, RIGHTS-OF-WAY, ALLEYS, ROADWAYS, THOROUGHFARES AND PARKS SHOWN HEREON.

Mandy Thurst 9/16/23  
 MUNICIPAL CLERK DATE MAYOR OF ANCHORAGE DATE

## PLAT APPROVAL

PLAT APPROVED BY THE MUNICIPAL PLAT COMMISSION ON THIS 11 DAY OF Sept., 2023.

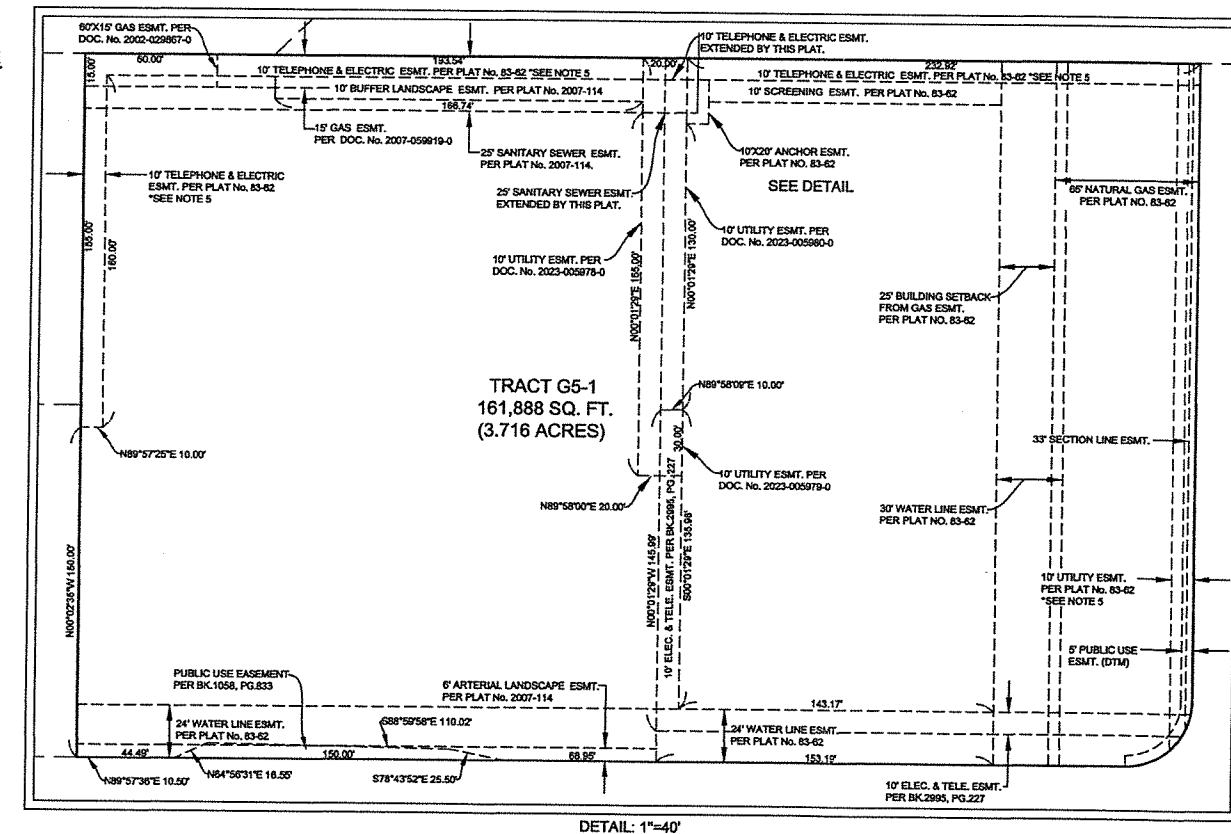
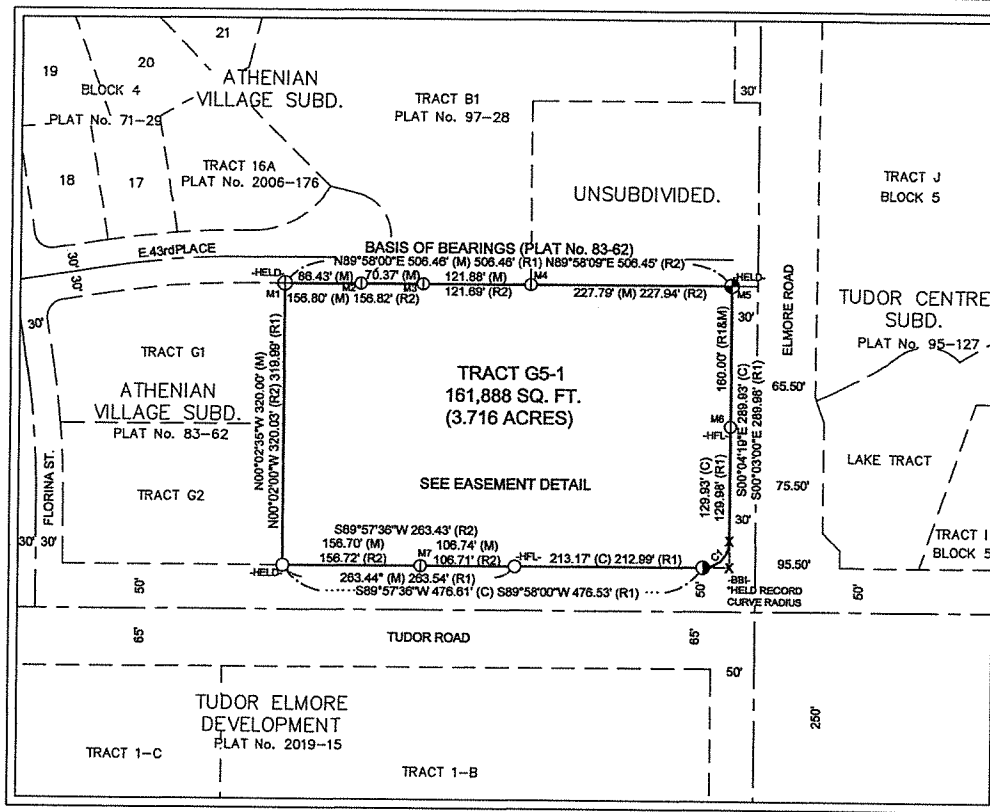
## TAX CERTIFICATION

ALL REAL PROPERTY TAXES LEVIED BY THE MUNICIPALITY OF ANCHORAGE ON THE AREA SHOWN ON THIS PLAT HAVE BEEN PAID IN FULL, AND IF APPROVAL IS SOUGHT BETWEEN JANUARY 1 AND THE TAX DUE DATE, THERE IS ON DEPOSIT WITH THE CHIEF FISCAL OFFICER AN AMOUNT SUFFICIENT TO PAY ESTIMATED REAL PROPERTY TAX FOR THE CURRENT YEAR.

Wawa Wiggos 9/12/23  
 AUTHORIZED OFFICIAL DATE

## LEGEND

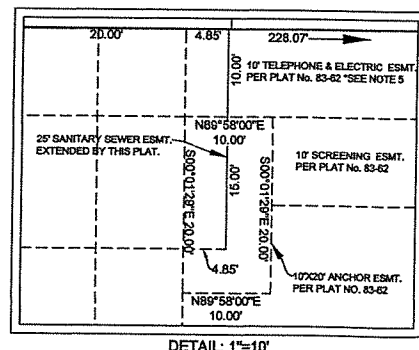
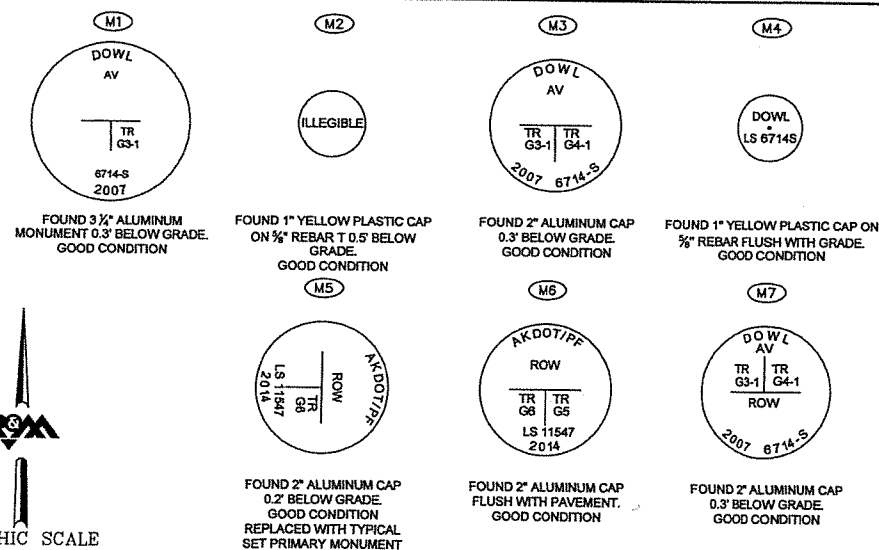
- ⊕ FOUND PRIMARY MONUMENT AS DESCRIBED
- ⊙ FOUND ALUMINUM CAP/YELLOW PLASTIC CAP AS DESCRIBED
- FOUND 5/8" DIA. REBAR
- ⊙ SET 3 1/4" ALUMINUM CAP ON 2" X 30" ALUMINUM POST THIS SURVEY
- ⊙ SET 2" ALUMINUM CAP ON 5/8" X 30" REBAR THIS SURVEY
- X CORNER FALLS ON ELECTRIC JUNCTION BOX. UNABLE TO SET.
- HELD- HELD FOUND MONUMENT POSITION
- HFL- HELD FOUND MONUMENT FOR LINE ONLY
- (DTM) EASEMENT DEDICATED TO THE MUNICIPALITY OF ANCHORAGE BY THIS PLAT
- (M) MEASURED DIMENSION THIS SURVEY
- (C) COMPUTED DIMENSION
- (R1) RECORD DIMENSIONS PER PLAT No. 83-62
- (R2) RECORD DIMENSIONS PER PLAT No. 2007-114



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1 (C)	47.14'	30.00'	90°01'55"	S 44° 56' 38" W	42.44'
C1 (R1)	47.13'	30.00'	90°01'00"		

## NOTES

- THE PROPERTY OWNER AND UTILITIES SHALL NOT RAISE, LOWER, OR RE-GRADE THE PROPERTY IN A MANNER THAT WILL ALTER THE DRAINAGE PATTERNS FROM THOSE SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN WITHOUT PRIOR APPROVAL FROM MUNICIPALITY OF ANCHORAGE BUILDING SAFETY OFFICE.
- PROPERTY OWNERS AND UTILITIES SHALL NOT OBSTRUCT, IMPEDE, OR ALTER APPROVED DRAINAGE FACILITIES (E.G. SWALES, DITCHES) IN ANY WAY THAT WILL ADVERSELY IMPACT ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- EASEMENTS THAT ARE NOT REFERENCED WITH (DTM) ARE NOT DEDICATED BY THIS PLAT.
- NO BUILDING SHALL BE PLACED WITHIN 5 FEET OF A SANITARY SEWER EASEMENT UNLESS FOUNDATION FOOTING IS BELOW ELEVATION 159.00' NGS 1972 ADJUST DATUM.
- A BLANKET ELECTRIC EASEMENT RECORDED IN BOOK 75, PAGE 349 WAS RELEASED AND REPLACED WITH A 10 FOOT ELECTRIC EASEMENT IN FAVOR OF CHUGACH ELECTRIC ASSOCIATION, INC., RECORDED IN MISC. BOOK 200, PAGE 241, AND LAY ALONG THE EAST AND NORTH BOUNDARIES OF TRACT G5-1, AND UNDERLIES THE EXISTING 10 FOOT UTILITY AND TELEPHONE & ELECTRIC EASEMENTS DEDICATED BY PLAT No. 83-62.
- A BLANKET OIL, GAS, AND PETROLEUM EASEMENT EXISTS AS RECORDED IN MISC. BOOK 17, PAGE 204.
- A BLANKET ELECTRIC EASEMENT EXISTS AS RECORDED IN PRECINCT BOOK 101, PAGE 124, WITH A TELEPHONE EASEMENT ATTACHING TO SAID ELECTRIC EASEMENT BY MISC. BOOK 64, PAGE 195.
- IF FUTURE DEVELOPMENT OF TRACT G5-1 REQUIRES ACCESS TO EAST 43RD PLACE, IMPROVEMENTS TO THE SOUTH HALF OF EAST 43RD PLACE FROM FLORINA STREET TO THE EASTERN TERMINUS TO HALF STREET STANDARDS AND A 41.5-FOOT RADIUS CUL-DE-SAC BULB AT THE EAST TERMINUS OF EAST 43RD PLACE TO MEET ACCESS STREET STANDARDS IN ACCORDANCE WITH 21.08.050.F WILL BE REQUIRED.
- A 20 FOOT TELEPHONE, ELECTRIC, AND SANITARY SEWER EASEMENT DEDICATED BY PLAT 83-62 ARE BEING VACATED BY THIS PLAT.
- A SECTION LINE EASEMENT IS SHOWN ON THIS PLAT. CERTIFICATION OF THE EXISTENCE/NON-EXISTENCE OF THE SUBJECT SECTION LINE EASEMENT SHOULD FIRST BE OBTAINED PRIOR TO ANY DEVELOPMENT WITHIN ITS BOUNDS THROUGH THE STATE OF ALASKA DEPARTMENT OF NATURAL RESOURCES (DNR).



## SURVEYOR'S CERTIFICATE

I, DAVID C. HALE, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT OF ATHENIAN VILLAGE SUBDIVISION IS A TRUE AND CORRECT REPRESENTATION OF LANDS ACTUALLY SURVEYED AND THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY AND THAT ALL PERMANENT EXTERIOR CONTROL MONUMENTS, ALL OTHER MONUMENTS, AND LOT CORNERS HAVE BEEN SET AND STAKED, OR IF FINAL COMPLETION IS ASSURED BY SUBDIVISION AGREEMENT, THEY WILL BE SET AS SPECIFIED IN SAID SUBDIVISION AGREEMENT. LOT CORNERS TO BE SET BY N/A.

DAVID C. HALE, L.S. 10395 8/1/23  
 DATE

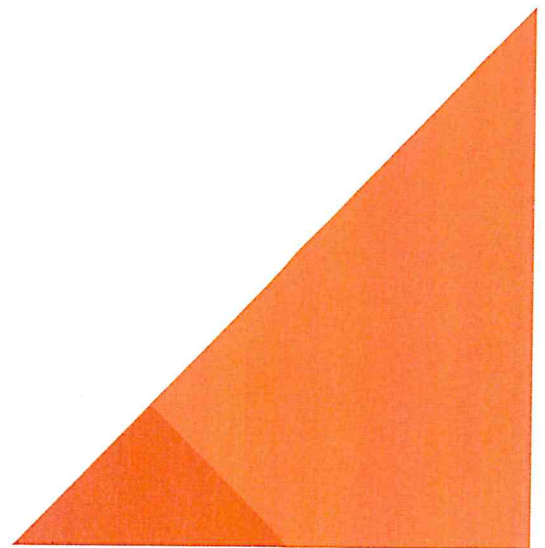
## PLAT OF ATHENIAN VILLAGE SUBDIVISION TRACT G5-1 WITH EASEMENT VACATION

A 3.716 ACRE RESUBDIVISION OF TRACTS G5 AND G6 (PLAT No. 83-62), AND TRACTS G3-1 AND G4-1 (PLAT No. 2007-114), ATHENIAN VILLAGE SUBDIVISION. LOCATED WITHIN THE SE 1/4, SECTION 28, TOWNSHIP 13 NORTH, RANGE 3 WEST, SEWARD MERIDIAN, ALASKA. ANCHORAGE RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA.

9101 Vanguard Drive, Anchorage, Alaska, 99507  
 PH (907) 522-1707 FAX (907) 522-3403  
 www.rmconsult.com  
 AECC 111  
 DRAWN: DCH GRD: SW 1735 PLATTING CASE No. S12651  
 SCALE: 1"=100' PROJECT: 2731.01 DATE: 08/01/2023 SHEET: 1 OF 1



# **APPENDIX 5: WATERSHED SIGN-OFF**





**WMS WATERCOURSE MAPPING SUMMARY**

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Tract G5-1, Athenian Village Subdivision
- Project Location, Tax ID, or Legal Description: 4330 Elmore Road, Anchorage AK 99508  
Tax ID 008-024-10-000
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~KB~~ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

\_\_\_\_\_ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping **IS NOT REQUIRED**.*\*

\_\_\_\_\_ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.*\*

\_\_\_\_\_ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

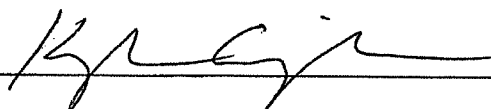
\* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

**ADDITIONAL INFORMATION:**

<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	WMS written drainage recommendations are available.	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final
<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	WMS written field inspection report or map is available.	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final
<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Field flagging and/or map-grade GPS data is available.		

Inspection Certified By:

Date:



3/13/24