

Application for Major Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

PETITIONER*

Name (last name first)	Phillips, Krista - Southcentral Foundation
Mailing Address	4501 Diplomacy Drive
	Anchorage, AK 99508
Contact Phone: Day	907/729-6656
Evening	
E-mail	kphillips@southcentralfoundation.com

PETITIONER REPRESENTATIVE (if any)

Name (last name first)	Branch, Melissa - Big City Engineers, LLC
Mailing Address	P.O. Box 92946
	Anchorage, AK 99509
Contact Phone: Day	907/360-0985
Evening	
E-mail	mbranch@bigcityak.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION

Property Tax # (000-000-00-000):	007-201-97-000		
Site Street Address:	6901 E. Tudor Road		
Current legal description: (use additional sheet if necessary)	Lot 1G, Century Village Subdivision, Addition No. 3		
Zoning: B3-SL	Acreage: 4.77	Grid #: SW1739	Underlying plat #: 2003-120

SITE PLAN APPROVAL REQUESTED

Use:	neighborhood shopping center (per MOA records), SCF programs (Elder Care and Early Education)	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan	Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.



5/20/2024

Signature ☐ Owner ☒ Representative (Agents must provide written proof of authorization)

Date

Melissa A. Branch, P.E.

Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number:	Meeting Date: P2C:
			2024-0079	08/05/2024

COMPREHENSIVE PLAN INFORMATIONImprovement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| <input type="checkbox"/> Large Lot Residential | <input type="checkbox"/> Single and Two-family Residential | <input type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High | <input checked="" type="checkbox"/> Neighborhood Center |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Regional Commercial Center | <input type="checkbox"/> City Center |
| <input type="checkbox"/> Commercial Corridor | <input type="checkbox"/> Main Street Corridor | <input type="checkbox"/> Open Space |
| <input type="checkbox"/> Facilities and Institutions | <input type="checkbox"/> Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|---|---|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development |
| <input type="checkbox"/> Greenway-supported Development | <input type="checkbox"/> Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks | <input type="checkbox"/> Community Facility |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks/open space | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve |
| <input type="checkbox"/> Commercial/Residential | <input type="checkbox"/> Commercial Recreation | | |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: _____

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- | | | | | |
|--------------------------------|--|---|-----------------------------------|---|
| Wetland Classification: | <input checked="" type="checkbox"/> None | <input type="checkbox"/> "C" | <input type="checkbox"/> "B" | <input type="checkbox"/> "A" |
| Avalanche Zone: | <input type="checkbox"/> None | <input type="checkbox"/> Blue Zone | <input type="checkbox"/> Red Zone | |
| Floodplain: | <input checked="" type="checkbox"/> None | <input type="checkbox"/> 100 year | <input type="checkbox"/> 500 year | |
| Seismic Zone (Harding/Lawson): | <input type="checkbox"/> "1" | <input checked="" type="checkbox"/> "2" | <input type="checkbox"/> "3" | <input type="checkbox"/> "4" <input type="checkbox"/> "5" |

- | | |
|--|---|
| <input type="checkbox"/> Steep Slope > _____ % | <input type="checkbox"/> Riparian Stream Setback Area |
|--|---|

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|--|
| <input type="checkbox"/> Rezoning - Case Number: |
| <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s): |
| <input type="checkbox"/> Conditional Use - Case Number(s): |
| <input type="checkbox"/> Zoning variance - Case Number(s): |
| <input type="checkbox"/> Land Use Enforcement Action for |
| <input checked="" type="checkbox"/> Building or Land Use Permit for C23-1879, C20-1372 |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage |

APPLICATION REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required:**
- ☒ Signed application (original)
 - ☒ Watershed sign off form, completed
 - ☒ 8 ½" by 11" copy of site plan/building plans submittal

16 copies required:

- ☒ Signed application (copies)
- ☒ Project narrative explaining:
 - ☒ the project
 - ☒ planning objectives
 - ☒ addressing the site plan review criteria on page 3 of this application
- ☒ Site plan to scale depicting, with dimensions:

<input type="checkbox"/> building footprints	<input type="checkbox"/> parking areas	<input type="checkbox"/> vehicle circulation and driveways
<input type="checkbox"/> pedestrian facilities	<input type="checkbox"/> lighting	<input type="checkbox"/> grading
<input type="checkbox"/> landscaping	<input type="checkbox"/> loading facilities	<input type="checkbox"/> freestanding sign location(s)
<input type="checkbox"/> required open space	<input type="checkbox"/> drainage	<input type="checkbox"/> snow storage area or alternative strategy
<input type="checkbox"/> trash receptacle location and screening detail	<input type="checkbox"/> fences	
<input type="checkbox"/> significant natural features	<input type="checkbox"/> easements	<input type="checkbox"/> project location
- ☒ Building plans to scale depicting, with dimensions:
 - ☒ building elevations
 - ☒ floor plans
 - ☒ exterior colors and textures
- ☒ Assembly Ordinance enacting zoning special limitations, if applicable
- ☒ Summary of community meeting(s)

(Additional information may be required.)

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

SPECIAL LIMITATION STANDARDS (if applicable)

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

Southcentral Foundation

May 6, 2024

Mrs. Sonnet Calhoun
Senior Land Use Planner
Municipality of Anchorage
4700 Elmore Road
Anchorage, Alaska 99519-6650

Subject: Letter of Authorization
6901 E. Tudor Road

Dear Mrs. Calhoun:

I am the owner's representative of the properties described as Lot 1G, Century Village Subdivision, Addition No. 3 (Plat No. 2003-120) located at 6901 E. Tudor Road. As such, I authorize Big City Engineers, LLC to act on our behalf regarding the site plan review associated with the property referenced above.

If you have any questions, please call me at 907/729-6656.

Thank you,



Krista Phillips, FAIA, NCARB
Director of Facility Planning
Southcentral Foundation

4501 Diplomacy Drive • Anchorage, Alaska 99508
(907) 729-4955 • Fax (907) 729-5000



SCF Chugach Square Mall Greenhouse

Site Plan Review Narrative

May 2024

Project Location

The proposed project is located on the northwest corner of Tudor Road and Patterson Street at 6901 E. Tudor Road on Lot 1G, Century Village Subdivision, Addition No. 3 (Plat No. 2003-120) in Municipality of Anchorage (MOA) grid SW1739.

Project Description

The proposed project is a 522 SF greenhouse located east of the existing mall structure. The greenhouse will be located on a new asphalt pad directly east of the playground on the property. The greenhouse will serve the Elder program already housed on the property, allowing the elders to grow native plants in an accessible environment.

Property Ownership and Adjacent Developments

The property is zoned B-3 SL, a general business district with special limitations. The special limitations are outlined in Anchorage Ordinance (AO) 1985-104. The current property owner has provided a letter authorizing Big City Engineers, LLC to pursue the site plan review required by the special limitations on their behalf.

The properties to the north and west are zoned B1A; properties to the east are zoned R3-SL, and the properties to the south (across Tudor Road) are zoned PLI. The properties to the north, east, and west are developed.

Request for Approval

We are requesting approval for Site Plan Review for the proposed greenhouse. Please see the narrative below and the attached plans for more information.

Applicable Requirements

A greenhouse is a permitted accessory use in a B-3 district. The special limitations require the property to have a public hearing site plan review for any expansion of the existing structures or external new construction (AO 85-104).

The following documents and sections of the Anchorage Municipal Code (AMC) and AMCR (Anchorage Municipal Code of Regulations) apply to this project. Each is discussed in the narrative that follows.

- AMC 21.01.080 Comprehensive Plan
 - AO 1985-104 Special Limitations (requires Site Plan Review)
 - AMC 21.03.180 Site Plan Review
 - AMC 21.04.030.D B-3:General Business District
-

- AMC 21.05.070D.10 Accessory Structures: Home and Garden Related Use
- AMC 21.06 Dimensional Standards and Measurements
- AMC 21.07 Development and Design Standards

Conformance with the Approval Criteria for Site Plan Review (AMC 21.03.180.F)

A. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.

The site is already developed with a mixed-use mall. The greenhouse use provides a benefit to the existing Elder program at the site.

B. The site plan complies with all applicable development and design standards set forth in the Anchorage Municipal Code, including but not limited to the provisions in Chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*.

See Development and Design Standards section below for a detailed description of how the site plan complies with the applicable development and design standards.

C. The site plan addressed any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

No adverse impacts are anticipated by the addition of the greenhouse.

1. **Pedestrian and vehicular traffic circulation and safety.** The greenhouse will use existing pedestrian routes and will not impact vehicular traffic circulation patterns.
 2. **The demand for and availability of public services and facilities.** The property is already served by public utilities. No utilities will be extended to the greenhouse.
 3. **Noise, air, water, or other forms of environmental pollution.** The development is not expected to generate noise or air emissions that would adversely affect surrounding land uses. All drives and parking areas are already paved. Drainage is already treated and/or detained on site and is not expected to leave the site.
 4. **Maintenance of compatible and efficient development patterns and land use intensities.** The proposed use is compatible with the existing surrounding commercial, residential, and institutional uses. The development also meets the goals of the Comprehensive Plan (see narrative below).
-

D. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

The development shall be in accordance with the comprehensive plan (AMC 21.01.080).

The facility is consistent with the following Anchorage 2040 goals:

Goal 1 – Plan for Growth and Livability The proposed greenhouse allows SCF’s Elder program to expand and better serve its community. The greenhouse will allow elders to plant native plants in an accessible environment connecting them to their ancestors and their community and improving their lives.

Goal 3 – Mixed-use, walkable commercial centers and corridors thrive within their neighborhood context, offer housing to an affordable range of incomes, and enable business growth. The existing Chugach Square Mall is a mixed-use, walkable commercial center. The proposed accessory greenhouse use enhances existing SCF programs, enabling growth and allowing the program to thrive.

Goal 7- Infill development is compatible with the valued characteristics of surrounding properties and neighborhoods. The greenhouse use is compatible with the property use and the surrounding properties and neighborhoods.

Conformance with Development and Design Standards

The following requirements are based on AMC 21.04 *Zoning Districts*, 21.05 *Use Regulations*, 21.06 *Dimensional Standards and Measurements*, and 21.07 *Development and Design Standards*.

1. Lot Requirements

The minimum lot requirements in a B-3 district are a width of 50 feet and an area of 6,000 square feet (SF) (AMC 21.06.030.D, Table 21.06-2).

Lot 1G meets the minimum lot requirements. The width is 375 feet and the area is 4.77 acres.

2. Maximum Lot Coverage

The maximum lot coverage allowed in a B-3 district for a non-residential use is unrestricted (Table 21.06-2).

The 522 SF greenhouse does not violate lot coverage requirements.

3. Yard Setbacks

The minimum yard requirements in a B-3 district are a front yard of ten feet, a side yard of five feet, and a rear yard of ten feet (Table 21.06-2).

The greenhouse has a front yard setback of 100.94 feet along Patterson, 106.00 feet to the north, 129.85 feet to the south, and 110.12 feet to the west. Minimum yard requirements are met.

4. Landscaping

Parking lot perimeter landscaping is required for all parking lots with 10 or more parking spaces (AMC 21.07.080.E.2.b.i). Parking lot perimeter landscape shall be placed along the perimeters of a parking lot, which includes appurtenant driveways, where the parking lot abuts a property line. (AMC 21.07.080.E.2.b.ii). Parking lots with more than 40 parking spaces require interior landscaping.

The proposed greenhouse is located interior to the lot. Perimeter landscape requirements are met and will not be altered. The property has an existing non-conforming determination. Lack of interior landscaping was acknowledged in the NCD. The 2020 parking lot project brought the site towards further conformance with current code.

5. Parking

There is no parking requirement based on use. Adequate parking was provided in connection with the use under the previous code. Accessible parking is based on the total required parking spaces as outlined in 21.070.090 (Table 21.07-8).

The parking lot is not being altered by the proposed work. The parking is paved. All turning and maneuvering occurs on property.

6. Traffic Impact Analysis

MOA Traffic reviews site location, access and trip generation to determine if a Traffic Impact Analysis will be required for the site.

The greenhouse is an accessory use to the Elder program already operating in the mall. It does not increase traffic to the property. A TIA is not required.

7. Loading Facilities

Off-street loading shall be provided in accordance with 21.07.090, Table 21.07-6.

Loading is already provided on the property per code requirements. The proposed accessory use does not increase the area to require additional loading.

8. Development Setbacks

According to AMC 21.45.140 Setbacks from Projected Rights-of-Way, no new structural or land

development activity requiring a building or land use permit shall be permitted within the maximum setback from the existing or projected centerline of a street designated on the Official Streets and Highways Plan (OSHP).

Tudor Road is designated as a Major Arterial III per the OSHP. Per the OSHP, the setback from the centerline of the road is 50 feet. Patterson Street is designated as a Neighborhood Collector IC per the OSHP; the setback from the centerline is 30 feet. Tudor Road has 125 feet from the centerline. Patterson Street has 50 feet from the centerline. There are no development setbacks on the property.

9. Snow Storage

For commercial uses, an area equal to at least 5 percent of the surface area on the site to be plowed for motorized vehicle parking and access shall be designated for snow storage (AMC 21.07.040.F.b). If snow will be removed off-site to a snow disposal facility, then snow storage areas may be reduced or eliminated from the site plan.

The proposed greenhouse location is not in any existing snow storage areas. Snow from the greenhouse area, if removed, will be pushed east to the edge of the new asphalt pad.

10. Pedestrian Walkways

A walkway shall connect the primary entrance to the abutting primary street frontage (AMC 21.07.060.E.4.b.i). All primary entrances on a site shall be connected to the street by a convenient system of walkways (AMC 21.07.060.E.4.b.ii). The minimum clear width of the sidewalk shall be five feet, excluding vehicle overhang (AMC 21.07.060.E.4.c). Where an on-site pedestrian walkway abuts a parking lot, the pedestrian facility shall be clearly marked and physically separated from the parking lot. (AMC 21.07.060.E.4.d.i).

The 2020 parking lot project work added a pedestrian connection to Patterson Street as part of the conformance work. No additional pedestrian connections are proposed. The minimum clear width of the sidewalks is at least 5 feet. The sidewalks is grade separated from the parking and drive. The pedestrian walkway requirements are met.

11. Refuse

AMC does not have a specific refuse requirement. However, MOA requires that refuse be addressed by some means for the development. AMC 21.07.080.G.2.a.v states that refuse collection receptacles that are stored indoors and brought outdoors on garbage pickup days are exempt from the screening requirements.

There are existing refuse dumpsters on the property. Any waste generated by the greenhouse use will use the existing dumpsters.

12. Stormwater Management

MOA typically requires connection to a piped system, if one is located near the property. MOA guidelines require that detention be provided, to slow the rate of discharge to the MOA or DOT&PF system. MOA stormwater guidelines also require that the site runoff be treated to reduce pollutants prior to leaving the site. Stormwater management includes snow storage (discussed in a separate section).

Runoff and drainage requirements were brought into conformance with the 2020 parking lot improvements. The proposed greenhouse and pad do not increase the impervious area by more than 5 percent and disturb less than 10,000 SF so only conveyance must be addressed. The existing pad will shed east and use existing drainage patterns to safely convey runoff to the ditch along Patterson, which overflow to a piped storm drain system. The drainage requirements are met.

13. Fencing

The fencing around the new greenhouse pad will match the existing daycare fencing on the property – 6-foot high chain link with wood framing. See below:



WMS WATERCOURSE MAPPING SUMMARY

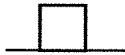
Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Century Village #3
- Project Location, Tax ID, or Legal Description: Tract 1G
007-201-97-000
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

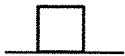


DOES NOT contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*



DOES contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS NOT REQUIRED**.**



Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**



Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

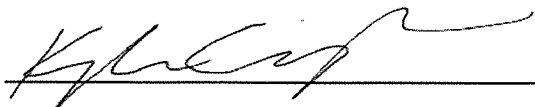
* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

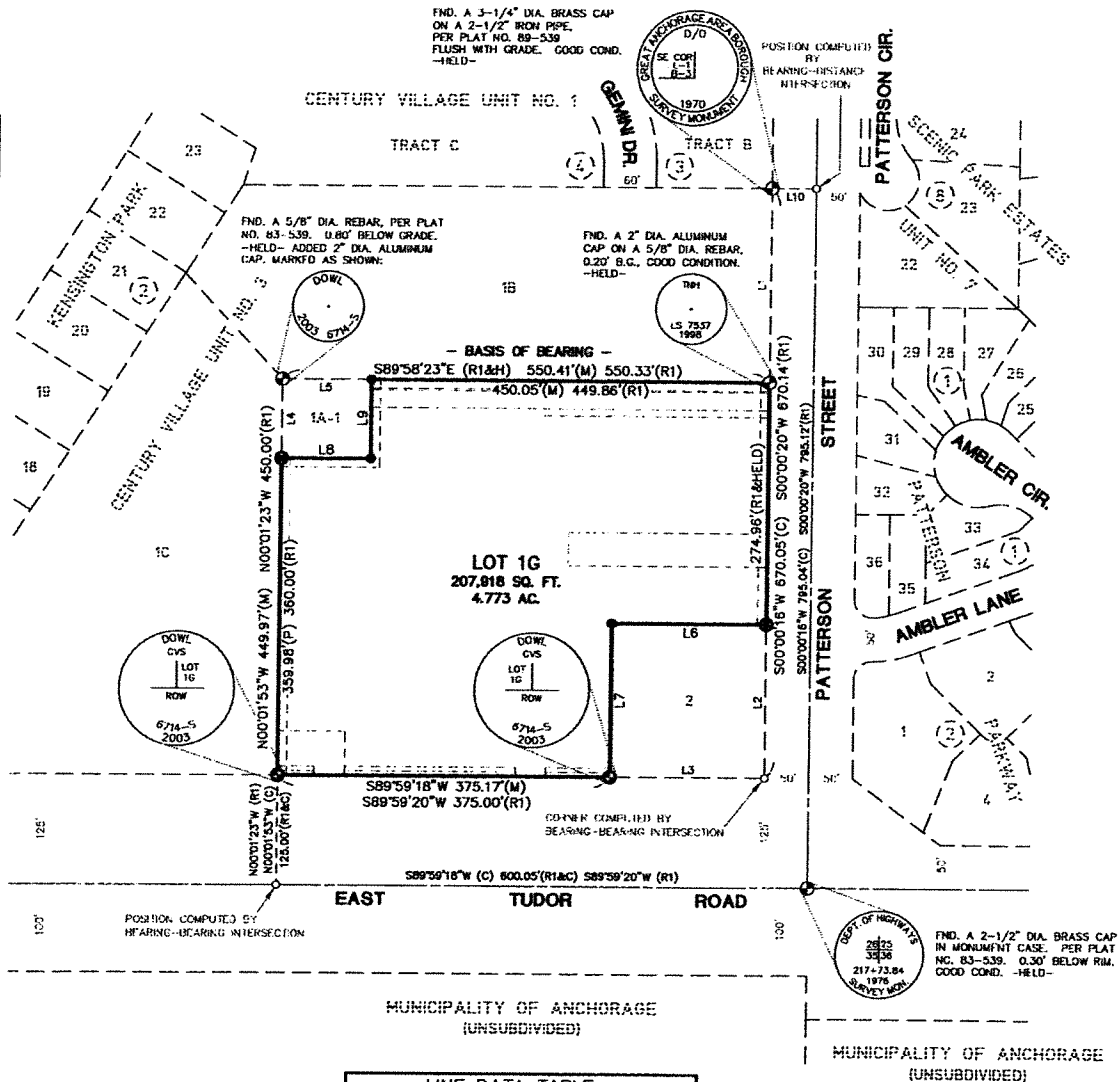
- | | | |
|---|--|---|
| <input type="checkbox"/> Y <input type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary <input type="checkbox"/> Final |
| <input type="checkbox"/> Y <input type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | |

Inspection Certified By:

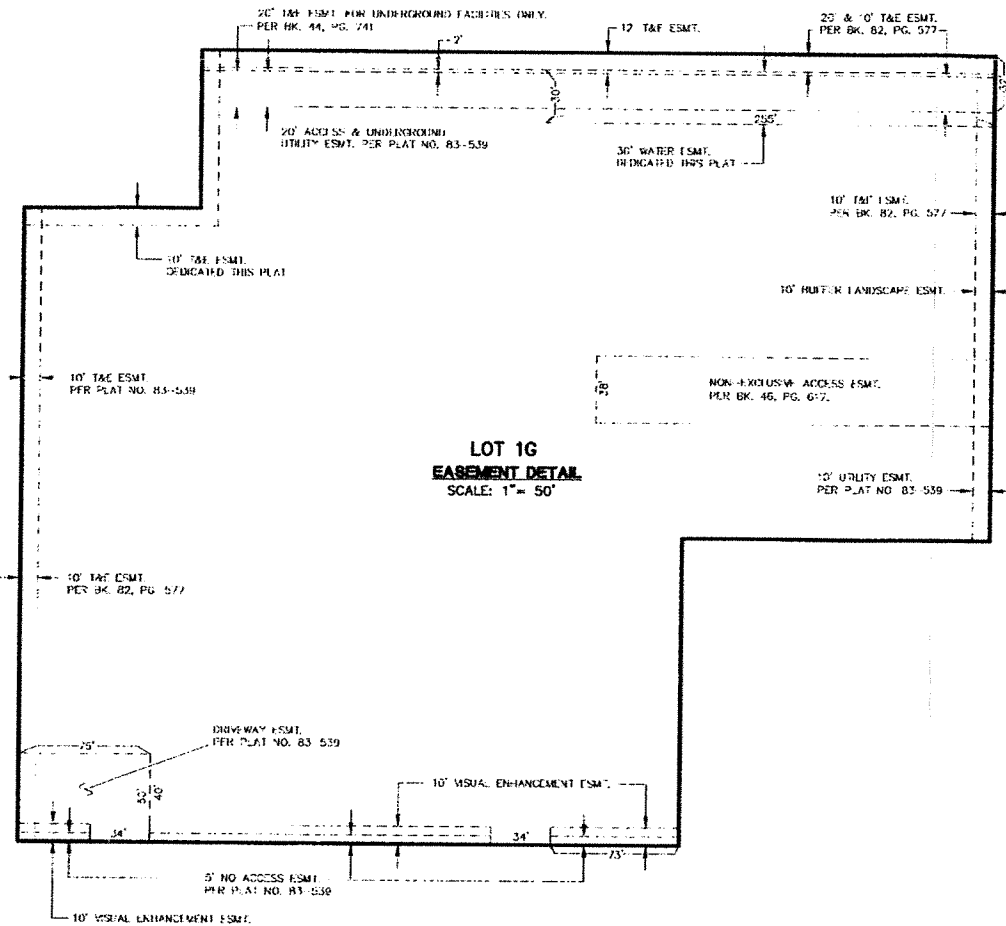
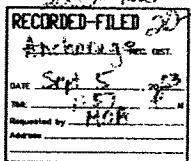
Date:



6/9/20



LINE DATA TABLE		
LINE	BEARING	LENGTH
L1	(M) S00°00'16\"W	220.45'
	(R1) S00°00'20\"W	220.51'
L2	(C) S00°00'16\"W	174.84'
	(R1) S00°00'20\"W	174.66'
L3	(C) S89°59'18\"W	174.95'
	(R1) S89°59'20\"W	175.11'
L4	(P) N00°01'53\"W	89.99'
	(R1) N00°01'23\"W	90.00'
L5	(M) S89°58'23\"E	100.35'
	(R1) S89°58'23\"E	100.47'
L6	(M) S89°59'07\"W	174.93'
	(R1) S89°59'20\"W	175.08'
L7	(M) S00°00'42\"W	174.63'
	(R1) S00°00'20\"W	174.66'
L8	(M) N89°55'15\"E	100.56'
	(R1) S89°58'23\"E	100.47'
L9	(M) N00°09'52\"W	89.81'
	(R1) N00°01'23\"W	90.00'
L10	(C) S89°59'44\"E	50.00'(HELD)
	(R1) S89°59'40\"E	50.00'



- LEGEND**
- ② FOUND MONUMENT AS DESCRIBED.
 - ③ FOUND 5/8\" REBAR, PER PLAT NO. 83-539. -HELD POSITION- REPLACED WITH 3-1/4\" DIA. ALUMINUM CAP ON A 2-1/2\" DIA. ALUMINUM PIPE. FLUSH WITH GRADE.
 - ④ SET 2\" DIA. ALUMINUM CAP ON 5/8\" x 30\" REBAR, FLUSH WITH PAVEMENT OR GRADE. TYPICALLY STAMPED AS SHOWN:
 - ⑤ FOUND 5/8\" REBAR, PER PLAT NO. 83-539. AVERAGING 0.50' BELOW GRADE. -HELD-
 - COMPUTED POINT - NOTHING SET THIS SURVEY.
 - (R1) RECORD PER PLAT NO. 83-539
 - (R1&C) RECORD PER PLAT NO. 83-539 AND COMPUTED
 - (R1&H) RECORD PER PLAT NO. 83-539 AND HELD
 - (M) MEASURED
 - (C) COMPUTED
 - (P) PROPORTIONED
 - T&E MEANS TELECOMMUNICATIONS AND ELECTRIC.

TAX CERTIFICATION

ALL REAL PROPERTY TAXES LEVIED BY THE MUNICIPALITY OF ANCHORAGE ON THE AREA SHOWN ON THIS PLAT HAVE BEEN PAID IN FULL IF APPROVAL IS SOUGHT BETWEEN JANUARY 1 AND THE TAX DUE DATE, THERE IS ON DEPOSIT WITH THE CHIEF FISCAL OFFICER, AN AMOUNT SUFFICIENT TO PAY ESTIMATED REAL PROPERTY TAX FOR THE CURRENT YEAR.

8-27-03 DATE
[Signature] AUTHORIZED OFFICIAL

ACCEPTANCE OF DEDICATION

THE MUNICIPALITY OF ANCHORAGE HEREBY ACCEPTS FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY DEDICATED ON THIS PLAT, INCLUDING BUT NOT LIMITED TO THE EASEMENTS, RIGHTS OF WAY, ALLEYS, ROADWAYS, THOROUGHFARES AND PARKS SHOWN HEREON.

DATED AT ANCHORAGE, ALASKA, THIS 27th DAY OF August, 2003.
[Signature] MAYOR OF ANCHORAGE
[Signature] MUNICIPAL CLERK

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (WE) HOLD THE HEREIN SPECIFIED PROPERTY INTEREST IN THE PROPERTY SHOWN AND DESCRIBED HEREON. I (WE) HEREBY DEDICATE TO THE MUNICIPALITY ALL AREAS DEPICTED FOR USE AS PUBLIC UTILITY EASEMENTS, STREETS, ALLEYS, THOROUGHFARES, PARKS, AND OTHER PUBLIC AREAS SHOWN HEREON. THERE SHALL BE RESERVED ADJACENT TO THE STREETS SHOWN HEREON A SLOPE RESERVATION EASEMENT SUFFICIENT TO CONTAIN CUT AND FILL SLOPES OF 1.5 FEET HORIZONTAL FOR EACH 1 FOOT VERTICAL (1.5 TO 1) OF CUT OR FILL FOR THE PURPOSE OF PROVIDING AND MAINTAINING THE LATERAL SUPPORT OF THE CONSTRUCTED STREETS. THERE IS RESERVED TO THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE SUCH AREAS AT ANY TIME UPON PROVIDING AND MAINTAINING OTHER ADEQUATE LATERAL SUPPORT, AS APPROVED BY THE MUNICIPALITY.

I (WE) HEREBY AGREE TO THIS PLAT, AND TO ANY RESTRICTION OR COVENANT APPEARING HEREON AND ANY SUCH RESTRICTION OR COVENANT SHALL BE BINDING AND ENFORCEABLE AGAINST PRESENT AND SUCCESSIVE OWNERS OF THIS SUBDIVIDED PROPERTY.

OWNER:

SOUTHCENTRAL FOUNDATION
4501 DIPLOMACY DR. SUITE 200
ANCHORAGE, ALASKA 99508

BY:

[Signature]
SIGNATURE
[Signature]
PRINTED NAME

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY OF August, 2003.
PURSUANT TO ITS BY-LAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS.

[Signature]
PERSONALLY APPEARED
[Signature]
NOTARY PUBLIC

9-11-04
MY COMMISSION EXPIRES



APPROVALS

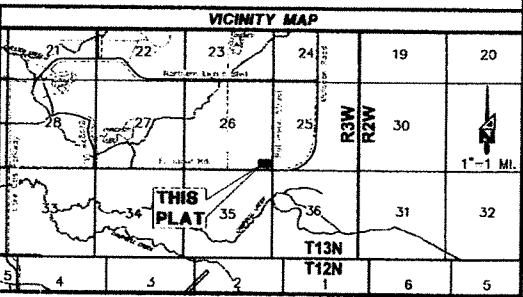
[Signature]
PLATTING OFFICER
[Signature]
MUNICIPAL SURVEYOR

9-2-03 DATE
9/22/03 DATE

PLAT APPROVAL

PLAT APPROVED BY THE MUNICIPAL PLATTING AUTHORITY THIS 2nd DAY OF September, 2003.

[Signature]
AUTHORIZED OFFICIAL



LOCATED WITHIN THE SE 1/4, SEC. 26, T13N, R3W, S.M. AK.

PLAT OF
CENTURY VILLAGE SUBDIVISION, UNIT NO. 3
LOT 1G

A 4.773 ACRE RESUBDIVISION OF LOT 10, CENTURY VILLAGE, UNIT NO. 3, PER PLAT NO. 83-539; AND LOTS 1E AND 1F, CENTURY VILLAGE, UNIT NO. 3, PER PLAT NO. 83-544.

LOCATED WITHIN
THE SE 1/4, SEC. 26, T13N, R3W, S.M. AK.
ANCHORAGE RECORDING DISTRICT

DOWL ENGINEERS			
4040 D STREET, ANCHORAGE, ALASKA 99503 PH: (907) 562-2000 FAX: (907) 563-3853			
DWN: KET	CHK: SEP	DATE: 08-12-03	DOWL FILE NO:
F.B: 1528, 1572	SCALE: 1\"= 100'	W.O. D58258	147-42
C-P: FAT ORDER NO. 03-00664	GRID: 1739		SHEET
SEE DOWL PLAT 83-539 & 83-544 FOR ADDITIONAL INFORMATION			

SURVEYOR'S CERTIFICATE

I, STANLEY E. PONSNESS, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF LANDS ACTUALLY SURVEYED AND THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY AND THAT ALL PERMANENT EXTERIOR CONTROL MONUMENTS, ALL OTHER MONUMENTS, AND LOT CORNERS HAVE BEEN SET AND STAKED, OR IF FINAL COMPLETION IS ASSURED BY SUBDIVISION AGREEMENT, THEY WILL BE SET AS SPECIFIED IN SAID SUBDIVISION AGREEMENT. THERE IS NO SUBDIVISION AGREEMENT.



NOTES

- ALL EASEMENTS REFERENCED BY A BOOK AND PAGE NUMBER OR SERIAL NUMBER ARE DOCUMENT EASEMENTS, AND ARE NOT DEDICATED BY THIS PLAT.
- STREET RIGHT-OF-WAY WIDTHS SHOWN TO THE NEAREST FOOT REPRESENT ACTUAL DIMENSIONS TO THE NEAREST HUNDREDTH OF A FOOT (I.E. 30\"= 30.00').
- THE DEVELOPMENT OF THIS SUBDIVISION MAY REQUIRE THE COLLECTION AND TREATMENT OF SURFACE WATER RUNOFF. ANY SURFACE WATER RUNOFF COLLECTION AND TREATMENT SYSTEM WILL REQUIRE THE SUBMITTAL AND APPROVAL OF ENGINEERING PLANS TO THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION OR ITS AUTHORIZED AGENCY.
- THE FOLLOWING PLATTED EASEMENTS HAVE BEEN MODIFIED BY THIS PLAT: 1) THE 5' SCREENING EASEMENTS ON THE SOUTHERLY BOUNDARIES OF LOT 10 (PER PLAT 83-539) AND LOTS 1E & 1F (PER PLAT 83-544) HAVE BEEN COMBINED AND CHANGED INTO 10' VISUAL ENHANCEMENT EASEMENTS. 2) THE 10' SCREENING EASEMENT ON THE EASTERLY BOUNDARY OF SAID LOT 1F HAS BEEN CHANGED TO A 10' BUFFER LANDSCAPE EASEMENT. 3) THE 10' T&E EASEMENT ON THE NORTHERLY BOUNDARIES OF SAID LOTS 1D, 1E, & 1F HAS BEEN INCREASED INTO A 12' T&E EASEMENT
- DIRECT VEHICULAR ACCESS TO PATTERSON STREET SHALL BE LIMITED TO TWO DRIVEWAYS. ONE LOCATED AT THE ACCESS EASEMENT CENTERED 22' FEET SOUTH OF THE NORTHEAST CORNER OF LOT 1G. THE OTHER CENTERED 192' FEET SOUTH OF SAID CORNER.
- VISUAL ENHANCEMENT LANDSCAPING MEETING THE REQUIREMENTS OF AMC 21.45.125.C.1 SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER OR HIS/HER DESIGNEE WITHIN THE VISUAL ENHANCEMENT LANDSCAPE EASEMENT.
- THERE IS AN ACCESS AGREEMENT PERTAINING TO REAL PROPERTY FOR LOT 2, CENTURY VILLAGE UNIT NO. 3, PER BOOK 1631, PAGE 69.
- BUFFER LANDSCAPING MEETING THE REQUIREMENTS OF AMC 21.45.125.C.2 SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER OR HIS/HER DESIGNEE WITHIN THE BUFFER LANDSCAPE EASEMENT.
- THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH A.O. 2001-24(S) OR ANY OTHER SUBSEQUENT ORDINANCE GOVERNING THE LAND USE OF THE PROPERTY.

AMENDED AND APPROVED

DATE

9-3-85

Submitted by: Chairman of the Assembly
At the Request of the Mayor
Prepared by: Department of Community
Planning
For reading: July 23, 1985

ANCHORAGE, ALASKA
AO NO. 85-104

AN ORDINANCE AMENDING THE ZONING MAP AND PROVIDING FOR THE REZONING FROM B-1 (LOCAL AND NEIGHBORHOOD BUSINESS DISTRICT) TO B-3 (GENERAL AND STRIP COMMERCIAL BUSINESS DISTRICT) WITH SPECIAL LIMITATIONS FOR LOTS 1D, 1E, 1F AND 2 OF CENTURY VILLAGE SUBDIVISION, UNIT 3 (NORTHEAST AND SCENIC PARK COMMUNITY COUNCILS).

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1. That the zoning map be amended by designating the following described property as a B-3 (General and Strip Commercial Business District) with Special Limitations zone:

Lots 1D, 1E, 1F and 2 of Century Village Subdivision as shown in Exhibit A, attached.

Section 2. This zoning map amendment is subject to the following special limitations regarding the uses of the property:

A. Permitted principal uses and structures shall be limited to:

1. furriers, fur repair and storage;
2. jewelry stores;
3. hardware and variety stores;
4. drugstores;
5. retail food stores and liquor stores;*
6. restaurants, tea rooms, cafes and other places serving food and beverages;*
7. tobacco stores;
8. camera and photographic supply stores;
9. gift, novelty and souvenir shops;

10. photographic studios;
11. art studios art supplies and framing shops;
12. on-premises dry cleaning establishments using a perchlorethylene process or similar nonflammable, nonaqueous solvent, provided, however, that large commercial and industrial laundry and dry cleaning plants are prohibited; **
13. laundry and dry cleaning pickup stations;
14. beauty shops and barbershops;
15. shoe repair shops and tailors;
16. travel agencies, ticket brokers;
17. insurance and real estate offices;
18. business and professional offices;
19. medical, health and legal services;
20. off-street parking lots;
21. garden supply stores;
22. nurseries;
23. veterinary clinics provided that such activities shall be conducted within a completely enclosed building;
24. family residential care, day care and 24 hour child care facilities;

* Uses involving the retail sale, dispensing or service of alcoholic beverages may be permitted by Conditional Use only.

B. Permitted principal uses and structures subject to a maximum gross floor area limit shall be limited to:

1. department stores, general merchandise and dry goods stores: 12,000sq. ft.;

** Establishment of this use may occur only after a non-public site plan review by the Planning and Zoning Commission which would be heard after a presentation to the community council at least 30 days prior to the Planning & Zoning review.

2. men's, women's, and children's clothing and apparel and shoe stores: 12, 000 sq. ft.;
3. miscellaneous apparel and accessory shops: 12,000 sq. ft.;
4. furniture and home furnishings stores: 3,000 sq. ft.;
5. radio, television and music stores: 12,000 sq. ft.;
6. household appliance stores: 12,000 sq. ft.;
7. sporting goods stores and bicycle shops: 12,000 sq. ft.;
8. bookstores and stationery stores: ^{1,200}~~1,000~~ sq. ft.;
9. catalog sales stores: 3,600 sq. ft.;
10. florists: 1,200 sq. ft.;
11. small appliance repair shops: 2,400 sq. ft.;
12. banking and financial institutions: 3,600 sq. ft.;
13. business service establishments including commercial and job printing: 4,800 sq. ft.;
14. employment agencies: 4,800 sq. ft.;
15. retail sales and showrooms: 12,000 sq. ft.;
16. laboratories and establishments for production, fitting and repair of eyeglasses, hearing aids, prosthetic appliances and the like: 12,000 sq. ft.;
17. plumbing and heating service and equipment dealers: 2,400 sq. ft.*
18. paint, glass and wallpaper stores: 2,400 sq. ft.*
19. electrical or electronic appliances, parts and equipment: 2,400 sq. ft.*

- * No overnight parking of service vehicles. Outside storage of equipment is not allowed.

C. Permitted Conditional Uses shall be limited to:

1. auditoriums, libraries, museums, historical and cultural exhibits and the like;
2. gasoline services stations;
3. automobile car washes self-service and automatic with sufficient off-street area for maneuvering, waiting and drying automobiles;
4. drive-in banks with sufficient off-street area for maneuvering and waiting automobiles;
5. public parks and buildings;
6. utility substations;
7. marquees, overpasses and similar substantial projections into public airspace, together with any signs to be mounted thereon;
8. planned unit developments;
9. churches and synagogues, along with the customary accessory uses, including parsonages, day care and meeting rooms.

Section 3. This zoning map amendment is subject to the following special limitations establishing design standards for the property:

- A. Public Hearing site review before the Planning and Zoning Commission shall be held prior to any expansion of existing structures or external new construction.
- B. Minimum yard requirements:
 1. front yard: 20 ft., provided however, that no structure shall be built closer than 30 feet from the centerline of any Class I street, nor closer than 40 feet from the centerline of any Class II street as designated on the Official Streets and Highways Plan;

2. side yard: 10 ft. where the lot adjoins a residential district boundary; otherwise, none, provided, however, that if any side yard is provided, it shall be not less than five feet, the purpose being that adjoining commercial buildings shall either directly abut or shall maintain a minimum of five feet between such buildings;
 3. rear yard: 25 ft., in addition, where the rear of the lot adjoins a residential district boundary, a sight-obscuring fence not less than six feet in height shall be erected and maintained along the rear line that abuts an alley or such residential boundary. In cases where the rear line of the lot adjoins other land in a business district, the required rear yard shall be five feet.
- C. Maximum lot coverage of all buildings shall not exceed 50% of the property.
- D. Maximum height of all structures shall not exceed 25 feet.

Section 4. The special limitations set forth in this ordinance prevail over any inconsistent provisions of Title 21 of the Anchorage Municipal Code, unless specifically provided otherwise. All provisions of Title 21 of the Anchorage Municipal Code not specifically affected by a Special Limitation set forth in this ordinance shall apply in the same manner as if the district classifications applied by this ordinance were not subject to special limitations.

Section 5. The Director of Community Planning shall change the zoning map accordingly.

Section 6. This ordinance becomes effective ten days after passage and approval.

Assembly Ordinance No. 85-
Page 6

PASSED AND APPROVED by the Anchorage Assembly this
3rd day of September, 1985.

Chairman *Jane Aronson*

ATTEST.

Rebecca E. Smith
Municipal Clerk

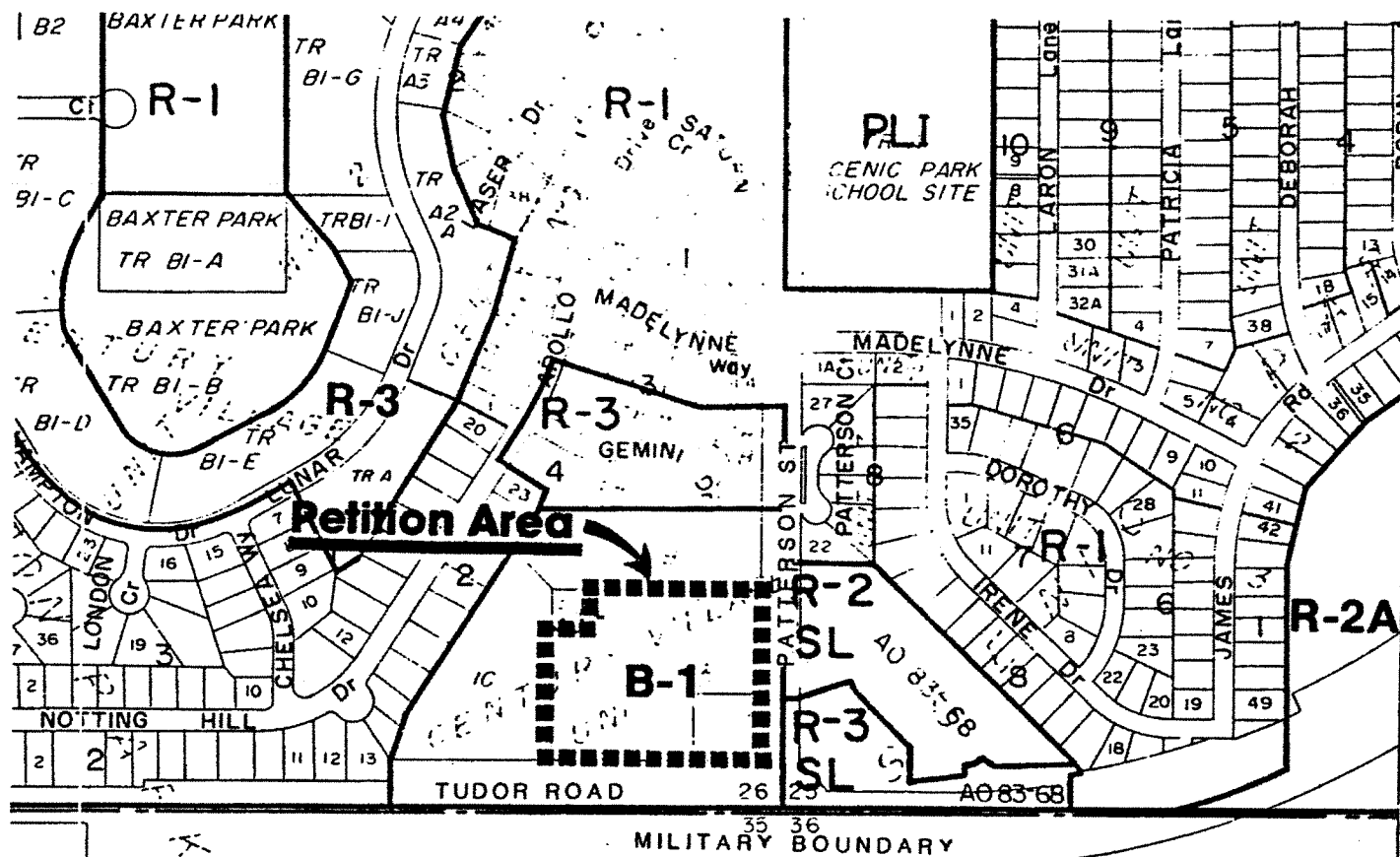
sm13/bao8

(85-030)

EXHIBIT A

85-030

REZONING



A horizontal number line with tick marks at 0, 500, and 1000. The word "FEET" is written below the line.

GENERAL NOTES

1. ALL SITE WORK CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MUNICIPALITY OF ANCHORAGE (MASS) STANDARD SPECIFICATIONS, CURRENT EDITION, UNLESS OTHERWISE SPECIFIED.
2. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION.
3. DIMENSIONS AND RADII SHOWN ARE TO TOP BACK OF CURB, EDGE OF SIDEWALK, CENTER OF PAINT STRIPE OR FACE OF FOUNDATION UNLESS INDICATED OTHERWISE.
4. ELEVATIONS ARE TO EDGE OF PAVEMENT, OR EARTHWORK FINISH GRADE UNLESS INDICATED OTHERWISE.
5. EXISTING GROUND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY COMPLETED BY EDGE SURVEY AND DESIGN, LLC IN JANUARY 2024.
6. SOILS INFORMATION IS FROM SHANNON & WILSON, INC.'S GEOTECHNICAL REPORT DATED JANUARY 2017 AND TITLED: LOT 2, BLOCK 1, LABAR STREET, ANCHORAGE, ALASKA.
7. ALL FILL MATERIAL SHALL BE PLACED IN LIFTS NO THICKER THAN 12 INCHES, AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY DETERMINED BY AASHTO T-180-d. EXISTING SOILS THAT QUALIFY AS CLASSIFIED FILL MAY BE UTILIZED AS BACKFILL. SUBMIT TEST RESULTS TO THE ENGINEER OF RECORD VERIFYING GRADATION OF EXISTING SOIL MATERIAL PRIOR TO PLACING AS BACKFILL.
8. PROVIDE PASSING COMPACTION TESTS FOR ALL FILL AND BACKFILL PLACED AT A RATE OF ONE TEST PER 5,000 SQUARE FEET, PER LIFT.
9. ASPHALT PAVEMENT SHALL BE MASS CLASS E.
10. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
11. PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE REGULAR SWEEPING OF STREETS ADJACENT TO THE SITE THAT ACCUMULATE SITE SOILS. ADDITIONAL CONTROLS MAY BE REQUIRED IF THESE MEASURES PROVE INADEQUATE. IMPLEMENT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND UPDATE AS NECESSARY DURING CONSTRUCTION.
12. FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATION, AND DUST CONTROL.
13. RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
14. HAUL ROUTES SHALL BE THE SHORTEST, MOST DIRECT ROUTES TO MINIMIZE TRAVEL ON LOCAL AND COLLECTOR ROADWAYS. SEE SWPPP FOR ROUTE DETAILS.

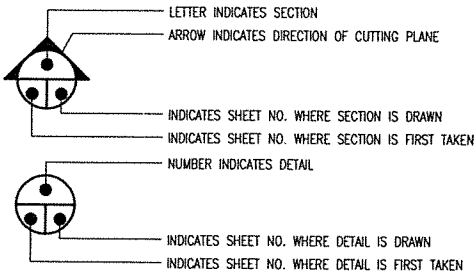
YARD SETBACKS

REQUIRED (B-3) AMC 21.06
FRONT 10 FT
SIDE 0 OR 10 FEET
REAR 0 OR 5 FEET

PROVIDED

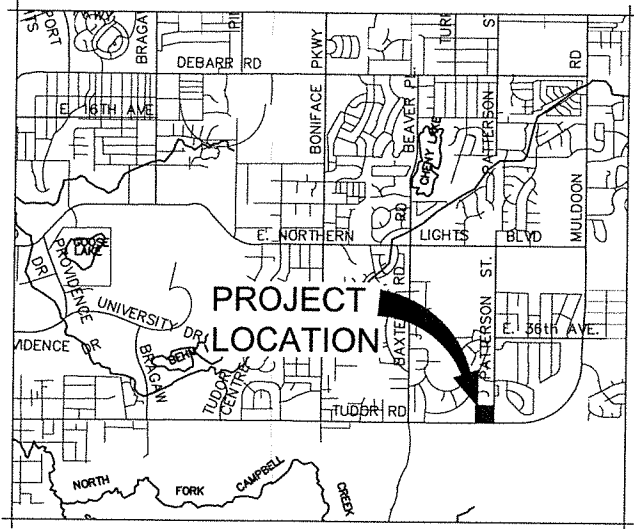
FRONT (SOUTH) 129.86 FT
FRONT (PATTERSON) 100.96 FT
SIDE (WEST) 435.37 FT
SIDE (NORTH) 106.00 FT

LEGEND		
DESCRIPTION	EXISTING	NEW
PROPERTY LINE	---	---
EASEMENT	---	---
GRADE BREAK		--- GB ---
CENTERLINE	---	---
DRAINAGE SWALE	---	---
DRAINAGE ARROW	---	---
GAS LINE	---	---
UNDERGROUND ELECTRIC	---	---
SEWERLINE W/MANHOLE	---	---
STORMDRAIN W/MANHOLE	---	---
WATERLINE W/VALVE	---	---
ELEVATION CONTOUR	204	204
EDGE OF ASPHALT	---	---
STRUCTURE	---	---
CONCRETE	---	---
SPOT ELEVATION		124.77
SIGN	---	---
FIRE HYDRANT	---	---
TEST BORING	---	---
LIGHT POLES	---	---
TEMPORARY BENCH MARK	---	---
2-1/2" BRASS CAP	---	---
2" ALUMINUM CAP	---	---



ABBREVIATIONS

AC	ASPHALT CONCRETE/ASBESTOS CEMENT	ME	MATCH EXISTING
BM	BENCHMARK	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CI	CAST IRON	N	NORTH
CL	CENTERLINE	NC	NON-CONFORMING
CMP	CORRUGATED METAL PIPE	NE	NORTHEAST
CP	CONTROL POINT	NTS	NOT TO SCALE
CPEP	CORRUGATED POLYETHYLENE PIPE	OHE	OVERHEAD ELECTRIC
CU	COPPER	PCC	PORTLAND CEMENT CONCRETE
DIP	DUCTILE IRON PIPE	R	RADIUS
E	ELECTRICAL	S	SEWER, SOUTH
EA	EACH	SD	STORM DRAIN
ELEV	ELEVATION	SS	SANITARY SEWER
FL	FLOWLINE	ST	STEEL
GB	GRADE BREAK	SW	SOUTHWEST
INV	INVERT	TC	TOP BACK OF CURB
LF	LINEAR FEET	TYP	TYPICAL
MAX	MAXIMUM	W	WIDTH, WATER



PROPERTY & SURVEY DATA

LEGAL DESCRIPTION: LOT 1G, CENTURY VILLAGE SUBDIVISION #3 (PLAT NO. 2003-120)

SURVEY CONTROL

HORIZONTAL CONTROL

HORIZONTAL DATUM IS IN A LOCAL COORDINATE SYSTEM BASED ON A DOWL PLAN SET ENTITLED "CHUGACH MALL DELIVERY ALLEY" DATED 3/10/2005.

THE DIMENSIONS ARE PER PLAT 2003-120. ALL DISTANCES ARE EXPRESSED IN US FEET.

VERTICAL CONTROL

ELEVATIONS ARE BASED ON THE NORTHERLY CHUGACH MALL FINISH FLOOR ELEVATION OF 323.70 FEET.

CP# 1	REBAR NO CAP	N=20449.84	E=49999.96	ELEV=325.85'
CP# 2	REBAR NO CAP	N=20360.13	E=49925.60	
CP# 3	3.25" ALUM CAP	N=20000.07	E=50200.18	ELEV=315.48'
CP# 4	3" BRASS CAP	N=20010.33	E=50082.27	ELEV=318.64'



BEFORE DOING
ANY DIGGING
OR EXCAVATION

CALL FOR FREE UNDERGROUND LOCATION

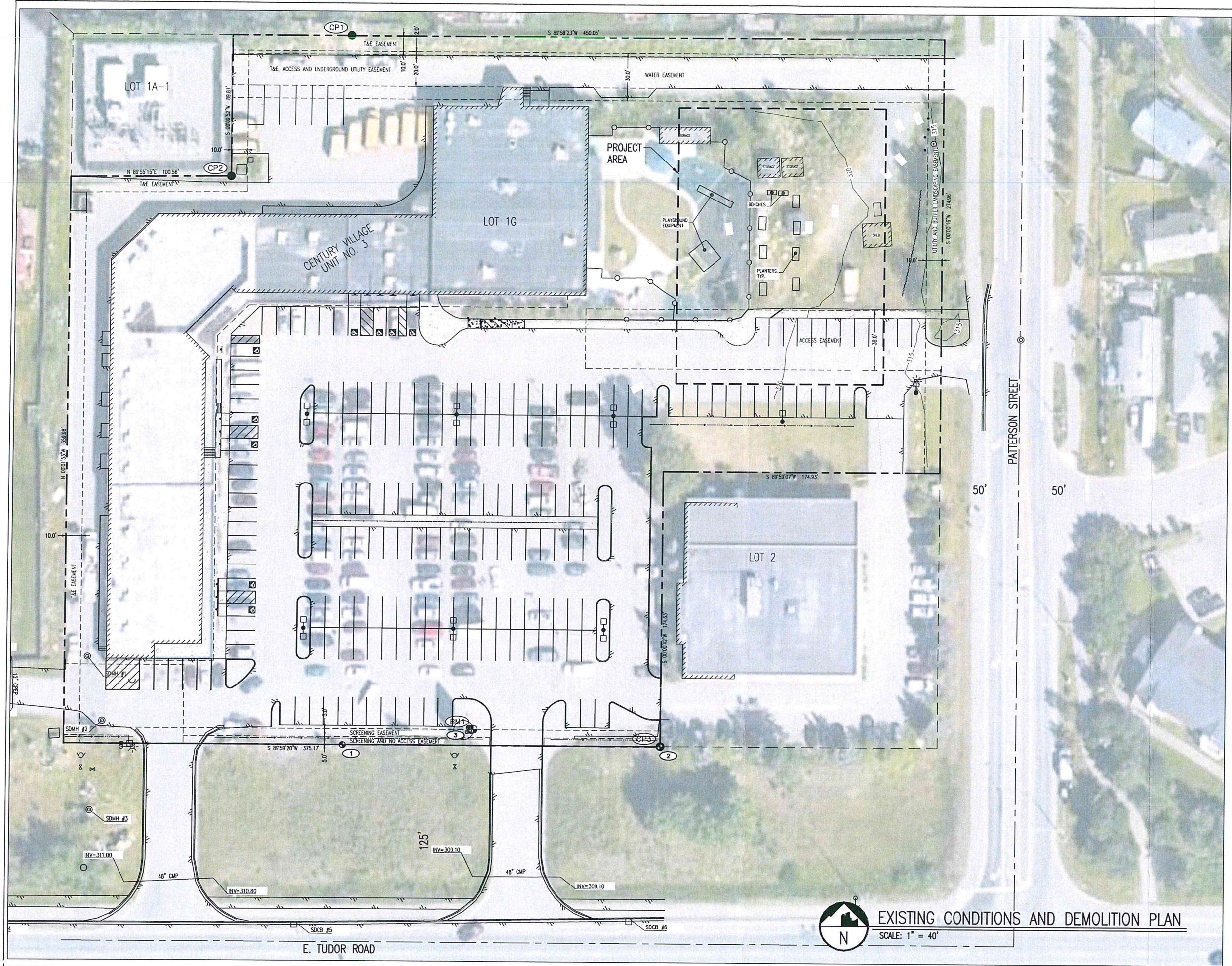
ALASKA DIGLINE INC.
ANCHORAGE AREA: 278-3121
STATEWIDE: 800-478-3121



P.O. BOX 92946
ANCHORAGE, ALASKA 99509
907/360-0985
LICENSE # 102525

SOUTHCENTRAL FOUNDATION
CHUGACH SQUARE MALL GREENHOUSE
6901 E. TUDOR ROAD
LOT 1G, CENTURY VILLAGE SUBDIVISION, ADDITION NO. 3

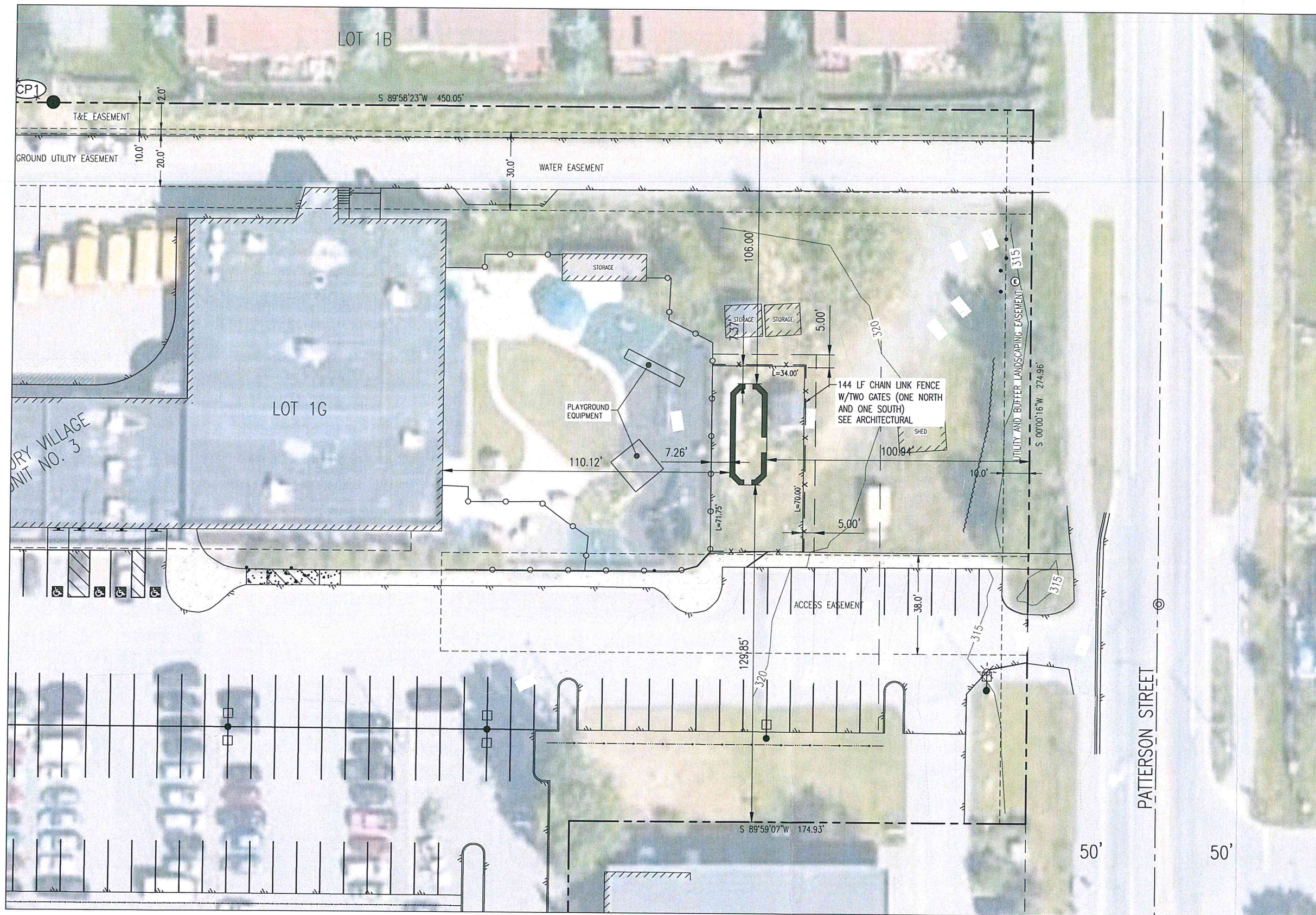
DATE	4.25.2024
PN	TBD
GRID	SW1739
SCALE	AS SHOWN
ENGINEER	MAB
DRAFTER	MAB
SHEET TITLE	
NOTES, LEGEND, AND ABBREVIATIONS	
SHEET NUMBER	
C1.0	



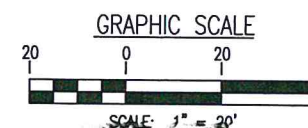
P.O. BOX 92946
ANCHORAGE, ALASKA 99509
907/360-0985
LICENSE # 102525

SOUTHCENTRAL FOUNDATION
CHUGACH SQUARE MALL GREENHOUSE
6901 E. TUDOR ROAD
LOT 1G, CENTURY VILLAGE SUBDIVISION, ADDITION NO. 3

DATE	4.25.2024
PN	TBD
GRID	SW1739
SCALE	AS SHOWN
ENGINEER	MAB
DRAFTER	MAB
SHEET TITLE	EXISTING CONDITIONS AND DEMOLITION PLAN
SHEET NUMBER	C2.0



 **SITE LAYOUT PLAN**
SCALE: 1" = 20'

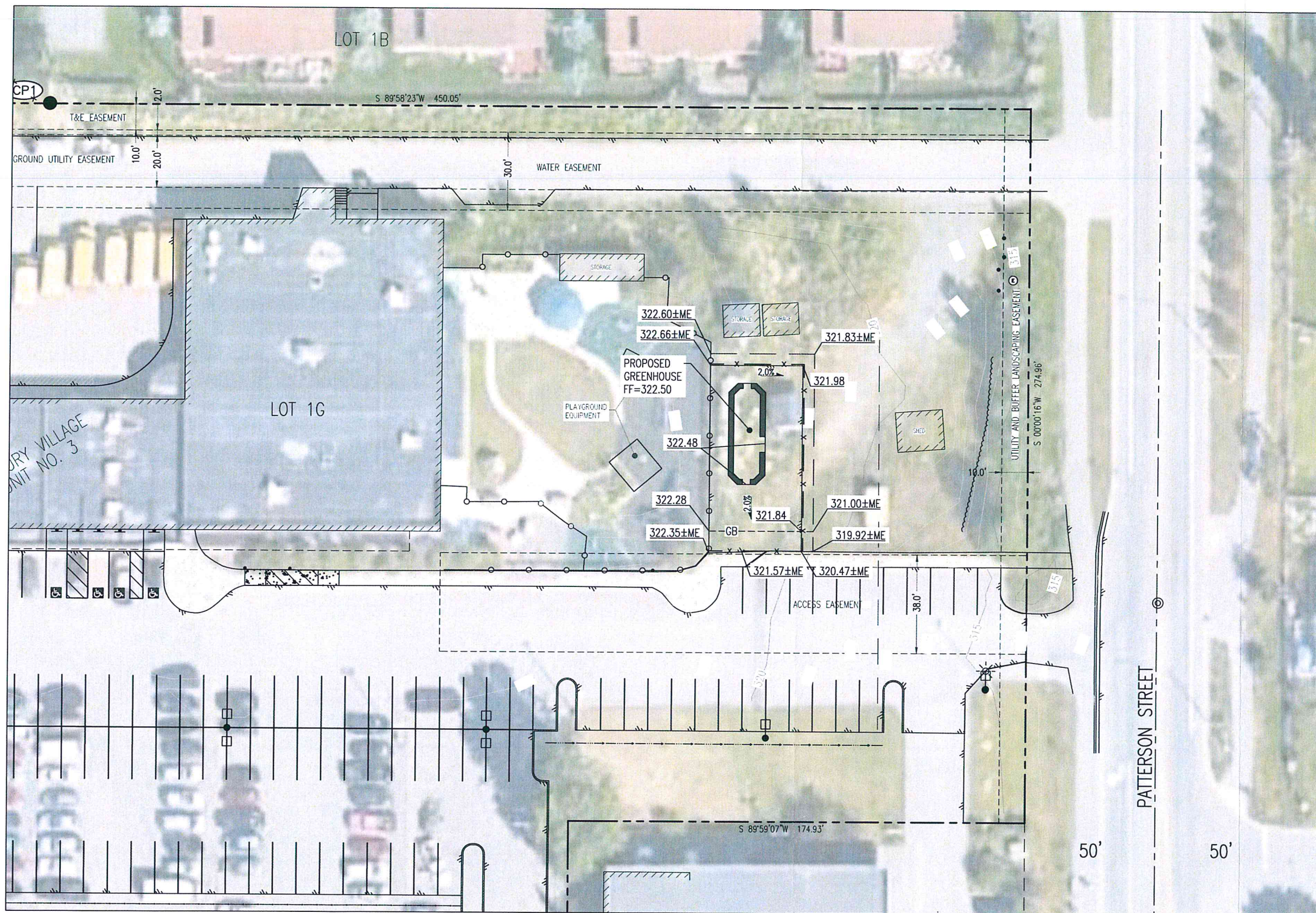


P.O. BOX 92946
ANCHORAGE, ALASKA 99509
907/360-0985
LICENSE # 102525

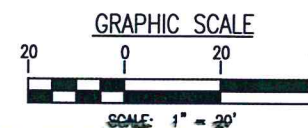
**SOUTHCENTRAL FOUNDATION
CHUGACH SQUARE MALL GREENHOUSE**
6901 E. TUDOR ROAD

LOT 1G, CENTURY VILLAGE SUBDIVISION, ADDITION NO. 3

DATE	4.25.2024
PN	TBD
GRID	SW1739
SCALE	AS SHOWN
ENGINEER	MAB
DRAFTER	MAB
SHEET TITLE	SITE LAYOUT PLAN
SHEET NUMBER	C3.0



 **SITE GRADING AND DRAINAGE PLAN**
SCALE: 1" = 20'



BIG CITY ENGINEERS
P.O. BOX 92946
ANCHORAGE, ALASKA 99509
907/360-0985
LICENSE # 102525

**SOUTHCENTRAL FOUNDATION
CHUGACH SQUARE MALL GREENHOUSE**
6901 E. TUDOR ROAD
LOT 1G, CENTURY VILLAGE SUBDIVISION, ADDITION NO. 3

DATE	4.25.2024
PN	TBD
GRID	SW1739
SCALE	AS SHOWN
ENGINEER	MAB
DRAFTER	MAB
SHEET TITLE	
SITE GRADING AND DRAINAGE PLAN	
SHEET NUMBER	
C3.1	

Drawing File: \\Alder\alder arch main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse.s-23.rvt

Plot Date: 8/16/2023 12:29:13 PM

A map of the state of Alaska. The word "ALASKA" is printed in large, bold, black capital letters in the center of the state. To the west, the "Bering Sea" is labeled. To the east, "Canada" is labeled. In the south-central part of the state, near the coast, two locations are marked with black dots: "WASILLA" and "ANCHORAGE". A line points from the text "PROJECT LOCATION" to the dot for Anchorage. A compass rose is located in the bottom right corner of the map.



GENERAL

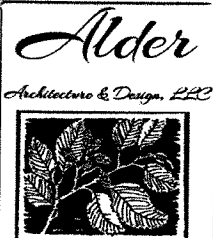
G1.01	COVER SHEET - ABBREVIATIONS, MAP, INDEX, & SYMBOLS LEGEND
G1.02	ADA SHEET
C1.01	SCHEMATIC SITE PLAN

ARCHITECTURAL

A1.01	LIFE SAFETY, FOUNDATION PLAN, & MAIN FLOOR PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTION 1 & ROOF PLAN
A3.02	BUILDING SECTION 2
A3.03	3D VIEWS

STRUCTURAL

S1	DESIGN CRITERIA AND STRUCTURAL NOTES
S2	FRAMING PLANS
S3	SECTIONS AND DETAILS



5050 E Dunbar Dr. Ste. C
Wasilla, Alaska 99654
907-357-ALDR(2537)
AlderArchitecture@gmail.com



SCF GREENHOUSE
6901 E TUDOR ROAD
ANCHORAGE, ALASKA

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY CGM	DATE 8-16-23
CHECKED AML	JOB NO. 23022

SHEET CONTENTS

COVER SHEET - ABBREVIATIONS,
MAP, INDEX, & SYMBOLS LEGEND

SHEET NO

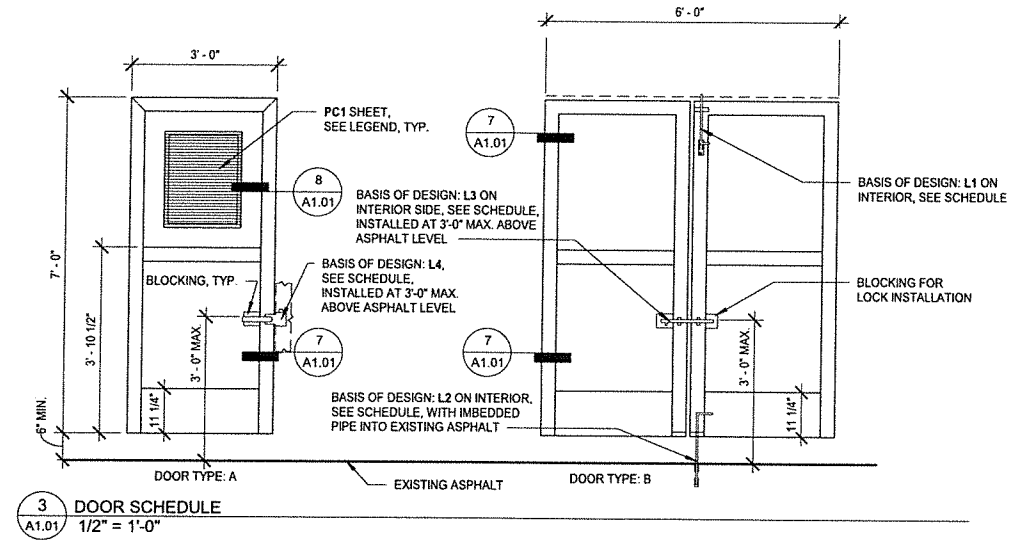
G1.01

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

SHEET NO

G1.02

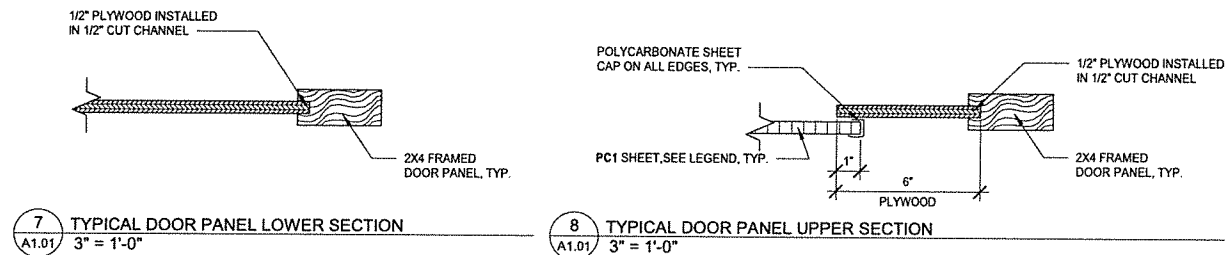
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4 TYPICAL DOOR LOWER JAMB SECTION
A1.01 3" = 1'-0"

5 TYPICAL DOOR UPPER JAMB SECTION
A1.01 3" = 1'-0"

6 TYPICAL BUILDING CORNER DETAIL
A1.01 3" = 1'-0"



DOOR SCHEDULE								
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FIRE RATING	COMMENTS
101A	A	3'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY
101B	A	3'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY
101C	B	6'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY

DOOR SCHEDULE LEGEND			
WD - WOOD	FF - FACTORY FINISH		
CLR - CLEAR FINISH	AL - ALUMINUM		
PT - PAINT			

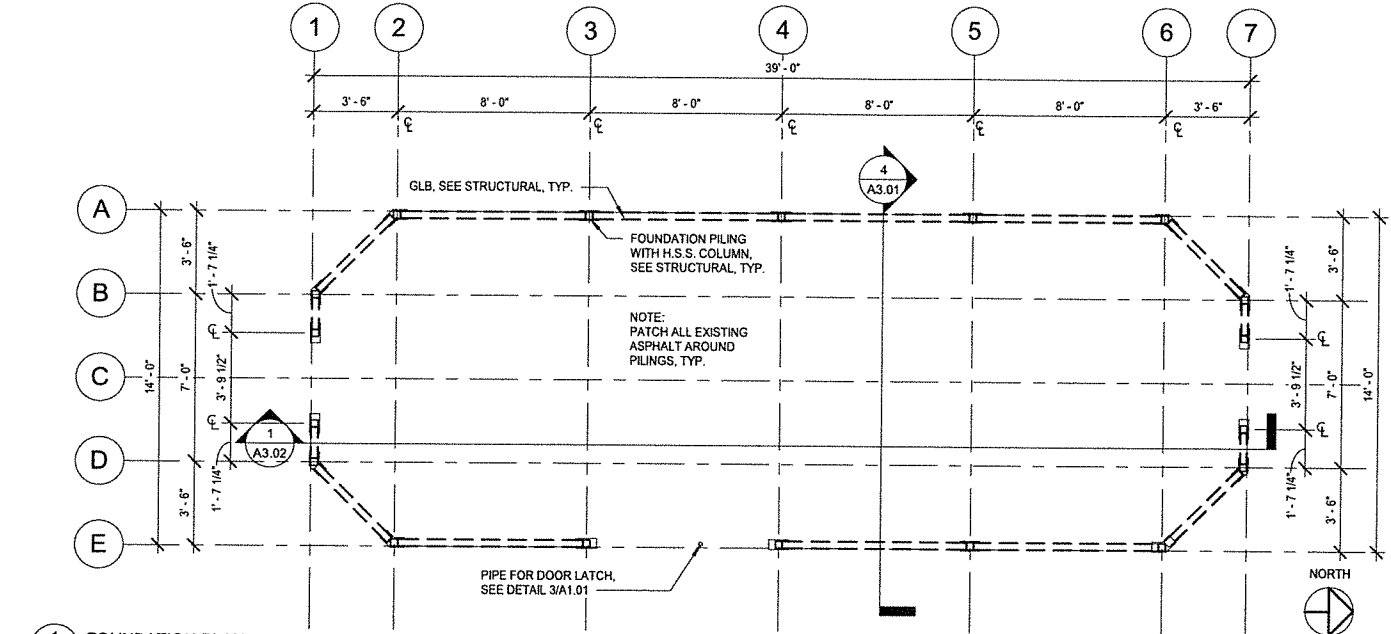
MATERIAL PRODUCTS LEGEND	
PC1 - AMERILUX LEXAN THERMOCLEAR POLYCARBONATE SHEETS	
PC2 - SUNSKY U-PANEL POLYCARBONATE PANEL	
SD - SHAKERTOWN CRAFTSMAN CEDAR SHINGLE PANEL - STAGGERED BUTT STYLE	

HARDWARE LEGEND	
L1 - ABBEY HARDWARE, 12-1/2" GARAGE DOOR BOLT WITH FASTENERS, BLACK MODEL: ABB-520-300-3	
L2 - NATIONAL HARDWARE, 18" CANE BOLT, MODEL: N109-039, BLACK	
L3 - GRAINGER HEAVY DUTY BARREL SLIDE BOLT, MODEL: 1WAA7, BLACK	
L4 - NATIONWIDE INDUSTRIES - MAGNETIC ARMORLATCH, MODEL: NH6244	

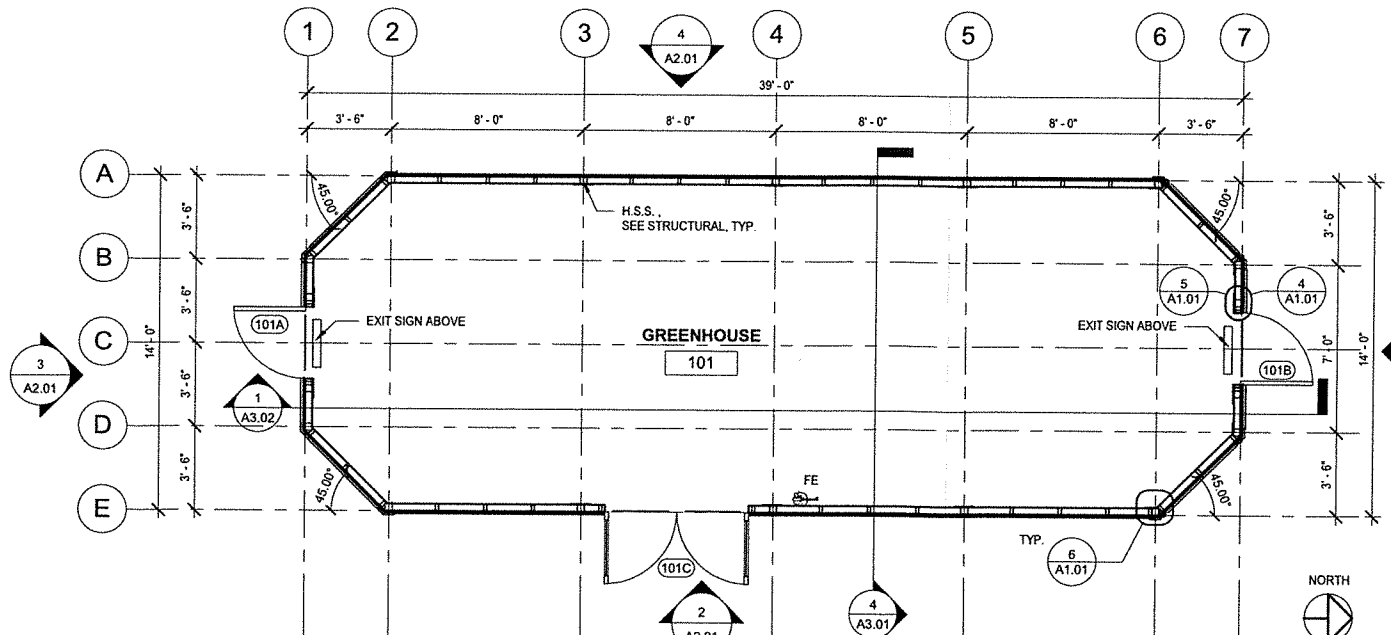
- NOTE:
- ALL EXPOSED WOOD ON DOORS TO BE CEDAR OR CEDAR VENEER.
 - ALL EXPOSED WOOD (EXCEPT TREATED WOOD) ON ALL SURFACES TO BE CLEAR COATED TO PROTECT FROM MOISTURE.

BUILDING CODES

CODES:	2018 INTERNATIONAL BUILDING CODE w/ STATE OF ALASKA AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE w/ STATE OF ALASKA AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE w/ STATE OF ALASKA AMENDMENTS 2018 INTERNATIONAL FIRE CODE w/ STATE OF ALASKA AMENDMENTS 2020 NFPA 70, NATIONAL ELECTRIC CODE 2017 NATIONAL ELECTRIC SAFETY CODE, ANSI C2-2017 ALL CURRENT STATE OF ALASKA AMENDMENTS TO APPLY	
OCCUPANCY:	A-3 (ACCESSORY TO ADJACENT BUILDING WHICH IS AN A-3 OCCUPANCY)	SECTION 303 / 312.1
CONSTRUCTION TYPE:	V-B	TABLE 504.3
AREA:	ALLOWABLE: 6,000 SF ACTUAL: 524 SF	TABLE 506.2
HEIGHT:	ALLOWABLE: 1 STORY ACTUAL: 1 STORY	TABLE 504.4
OCCUPANT LOAD:	524 SF / 30 = 18 (ASSEMBLY - EXHIBIT GALLERY WITH PLANTS)	TABLE 1004.5
EXITING:	1 EXITS REQUIRED, 3 EXITS PROVIDED	SECTION 1022
MEANS OF EGRESS:	REQUIRED: 1 X 2' = 2" PROVIDED: 4 X 36" = 144"	SECTION 1005
DOOR OPERATIONS:	<50 OCCUPANTS PANIC HARDWARE IS NOT REQUIRED FOR EXIT DOORS -EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT -HARDWARE, DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE	SECTION 1010
SPRINKLED:	NOT REQUIRED, NOT PROVIDED	SECTION 903
FIRE EXTINGUISHER:	1 REQUIRED, 1 PROVIDED - JI COSMIC 10E, 4A-60BC	SECTION 906
FIRE ALARM:	NOT REQUIRED, NOT PROVIDED	SECTION 907
KNOX BOX:	PROVIDED PER MOA FIRE REQUIREMENTS	IFC SECTION 506.1



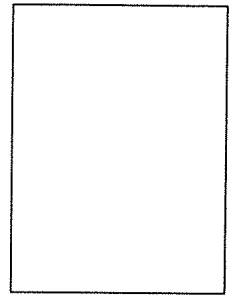
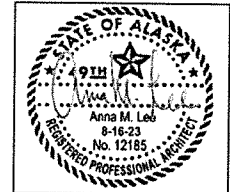
1 FOUNDATION PLAN
A1.01 1/4" = 1'-0"



2 MAIN FLOOR PLAN
A1.01 1/4" = 1'-0"

Alder
Architecture & Design, LLC

5050 E Dunbar Dr. Ste. C
Wasilla, Alaska 99654
907-357-ALDR(2537)
AlderArchitecture@gmail.com



SCF GREENHOUSE
6901 E TUDOR ROAD
ANCHORAGE, ALASKA

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY	DATE
CGM	8-16-23
CHECKED	JOB NO.
AML	23022

SHEET CONTENTS	
LIFE SAFETY, FOUNDATION PLAN, & MAIN FLOOR PLAN	

SHEET NO

A1.01

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

Drawing File: \\alder\alder arch main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse 8-5-23.rvt Plot Date: 8/16/2023 12:28:10 PM

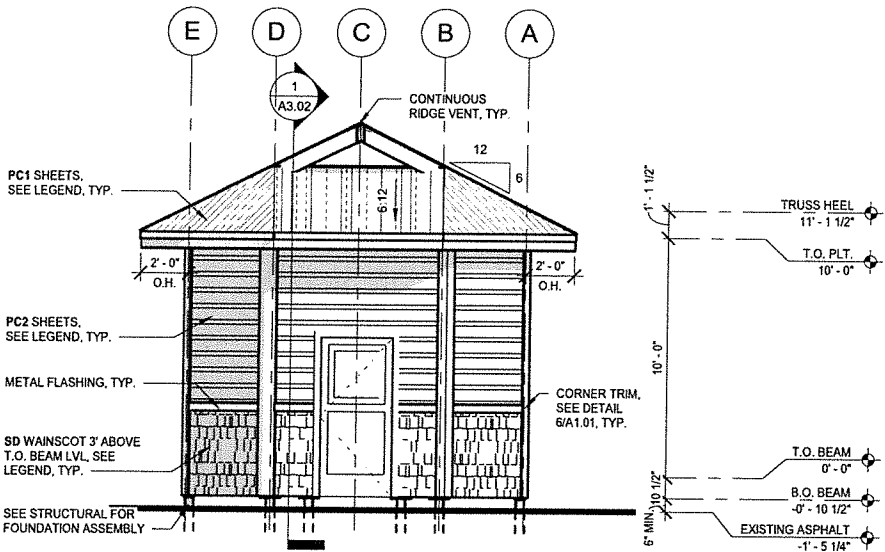
GENERAL CONSTRUCTION NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. ALL FINAL EXTERIOR AND INTERIOR FINISHES, COLORS AND CASEWORK TO BE SELECTED BY OTHERS.
3. CONTRACTOR SHALL COMPLY WITH STATE, LOCAL AND FEDERAL REGULATIONS REGARDING DEMOLITION, HANDLING AND DISPOSAL OF REGULATED MATERIALS. CONTRACTOR SHALL ALSO COMPLY WITH FEDERAL AND STATE OSHA REQUIREMENTS FOR WORKER PROTECTION.
4. UPON COMPLETION OF THE WORK, ALL AFFECTED AREAS SHALL BE FINAL CLEANED TO INCLUDE FINISHES, SURFACES, AND FIXTURES.
5. ALL WORK WILL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE, AND ALL OTHER MOA AND LOCAL CODES, INCLUDING ALL AMENDMENTS.
6. DO NOT SCALE THE DRAWINGS TO OBTAIN CONSTRUCTION DIMENSIONS.
7. ALL INFORMATION SHOULD BE FIELD VERIFIED BEFORE WORK PROCEEDS. ANY DISCREPANCIES FOUND BETWEEN DRAWINGS, DISCIPLINES OR FIELD CONDITIONS, CONTACT THE ARCHITECT IMMEDIATELY.
8. ALL DOCUMENTS AND MATERIALS PRODUCED DURING THE PROJECT ARE INSTRUMENTS OF SERVICE. THE ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT SHALL HAVE THE RIGHT TO USE PHOTOGRAPHS OR DRAWING OF THE PROJECT FOR PROMOTIONAL OR OTHER PURPOSES.

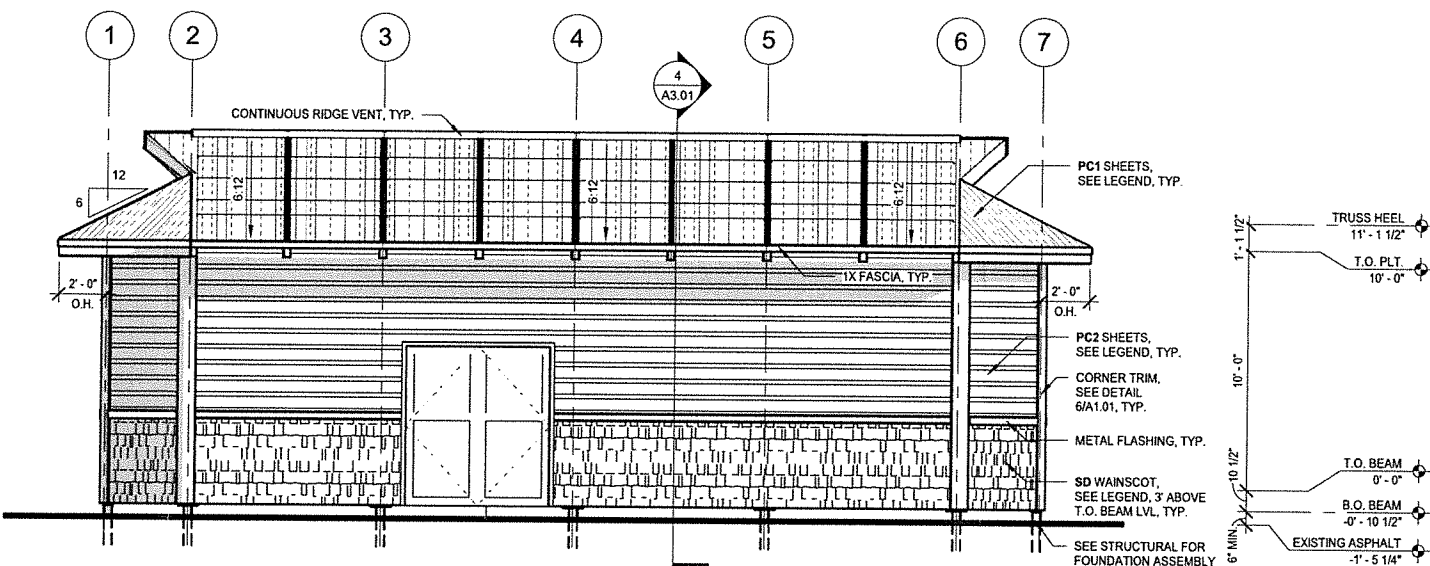
MATERIAL PRODUCTS LEGEND

PC1 - AMERILUX LEXAN THERMOCLEAR
POLYCARBONATE SHEETS
PC2 - SUNSKY U-PANEL
POLYCARBONATE PANEL
SD - SHAKERTOWN CRAFTSMAN CEDAR
SHINGLE PANEL - STAGGERED BUTT STYLE

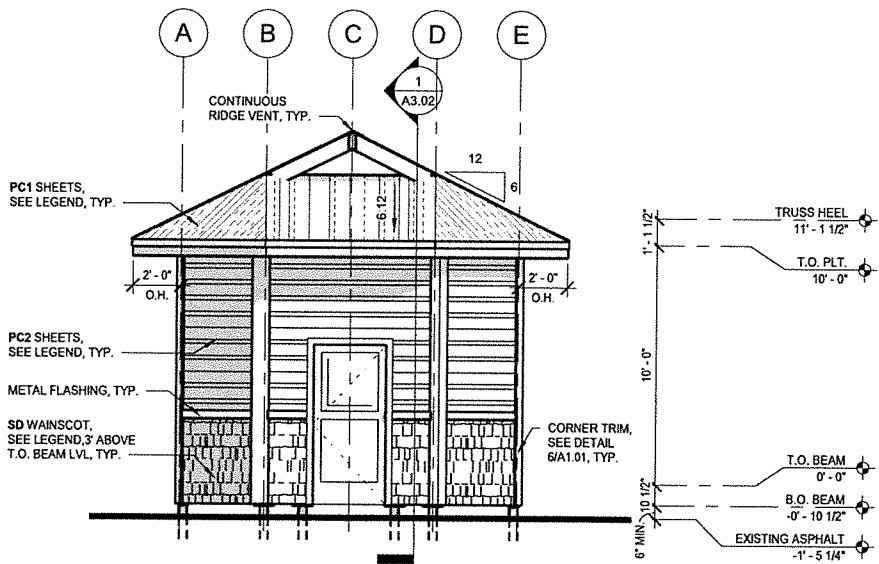
- NOTE:
1. ALL EXPOSED WOOD ON DOORS TO BE CEDAR OR CEDAR VENEER.
 2. ALL EXPOSED WOOD (EXCEPT TREATED WOOD) ON ALL SURFACES TO BE CLEAR COATED TO PROTECT FROM MOISTURE.



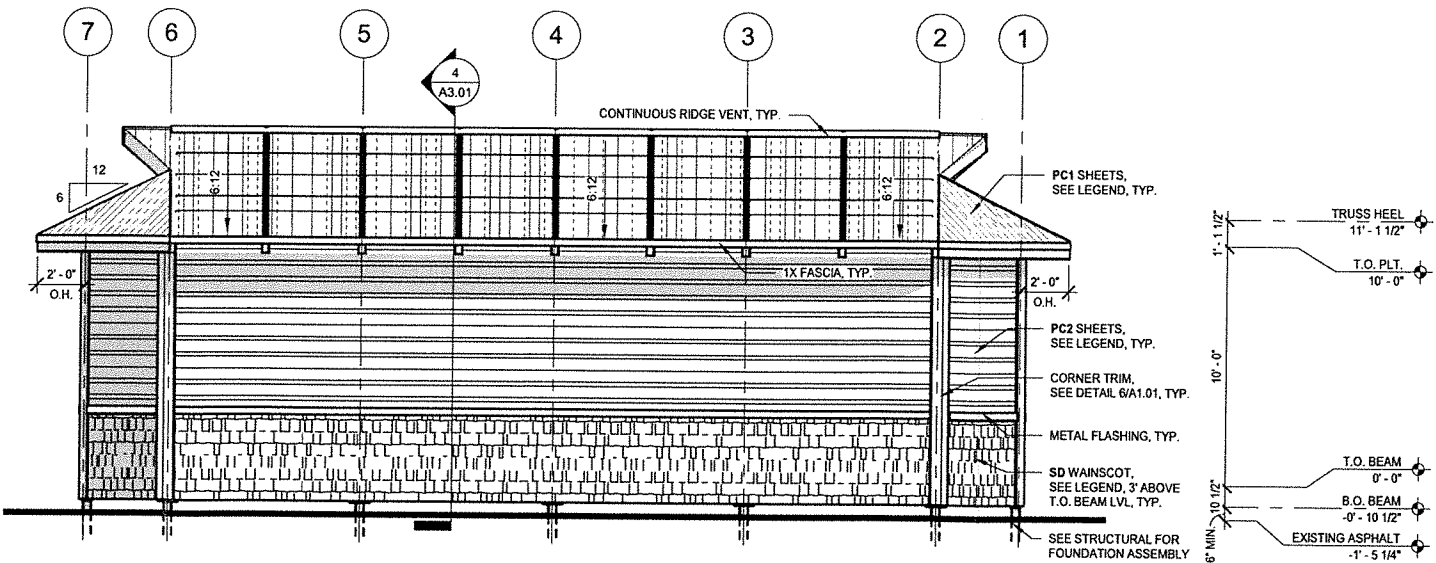
1 NORTH ELEVATION
A2.01 1/4" = 1'-0"



2 EAST ELEVATION
A2.01 1/4" = 1'-0"



3 SOUTH ELEVATION
A2.01 1/4" = 1'-0"

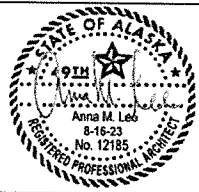


4 WEST ELEVATION
A2.01 1/4" = 1'-0"

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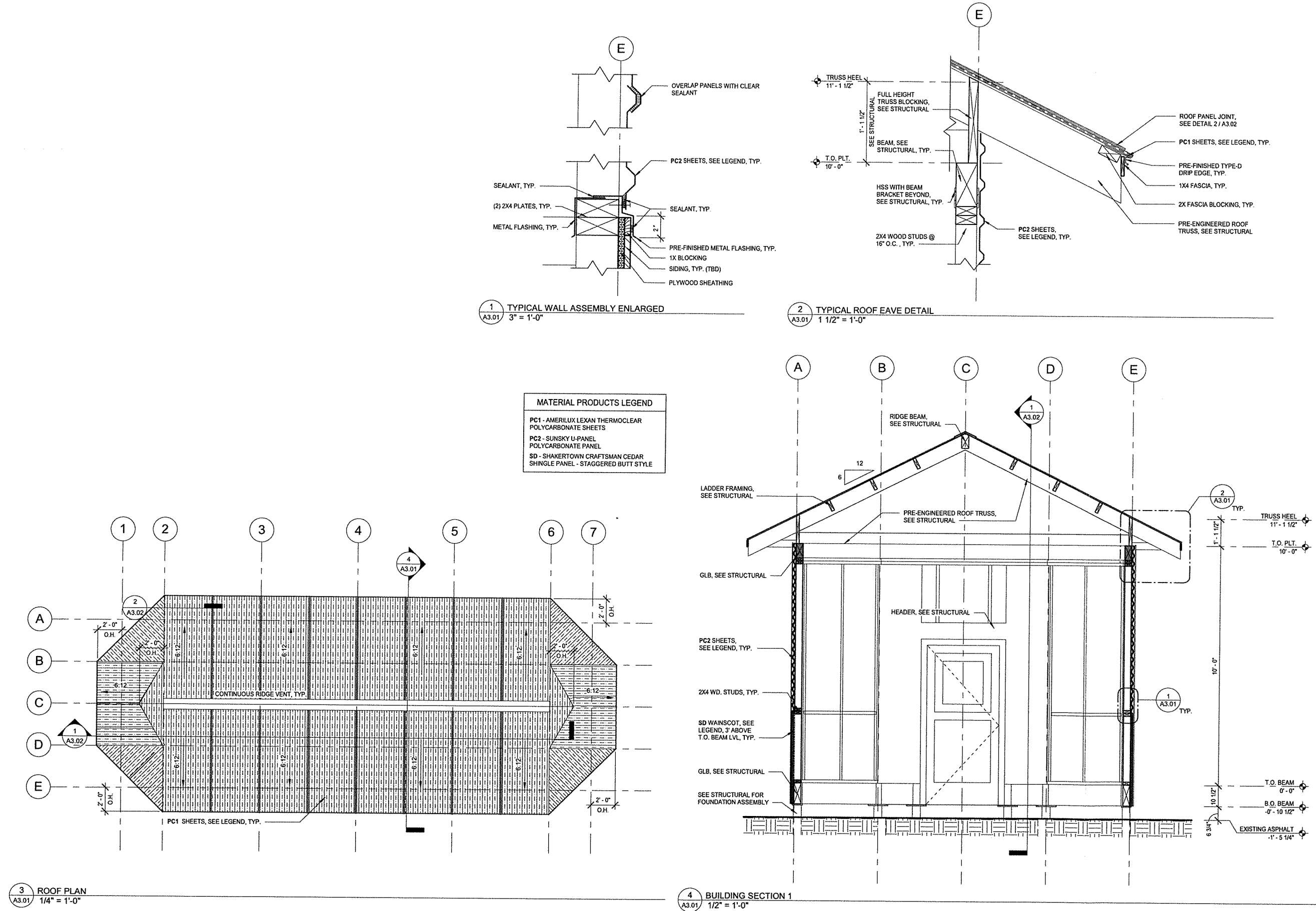
DRAWN BY		DATE
CGM		8-16-23
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AML		23022

SHEET CONTENTS	
EXTERIOR ELEVATIONS	

SHEET NO	
A2.01	

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE


Plot Date: 8/16/2023 12:29:11 PM Drawing File: \\alder\alder arch main\ALDER ARCHITECTURE MAIN\2023 Projects\2022 SCF Greenhouse - Anchorage\Drawing\Revit File\2022 - SCF Greenhouse 8-8-23.rvt



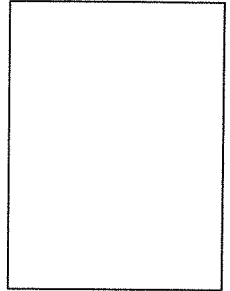
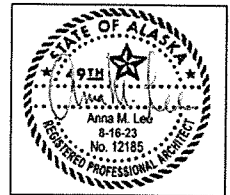
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ANCHORAGE, ALASKA

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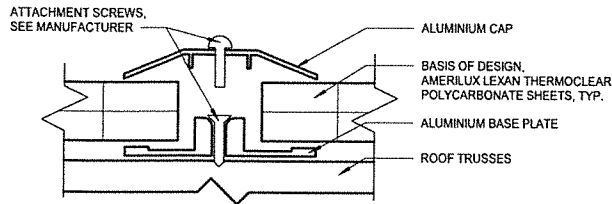
DRAWN BY	DATE
CGM	8-16-23
CHECKED	JOB NO.
AML	23022

SHEET CONTENTS	
BUILDING SECTION 2	

SHEET NO

A3.02

- MATERIAL PRODUCTS LEGEND
- PC1 - AMERILUX LEXAN THERMOCLEAR POLYCARBONATE SHEETS
- PC2 - SUNSKY U-PANEL POLYCARBONATE PANEL
- SD - SHAKERTOWN CRAFTSMAN CEDAR SHINGLE PANEL - STAGGERED BUTT STYLE

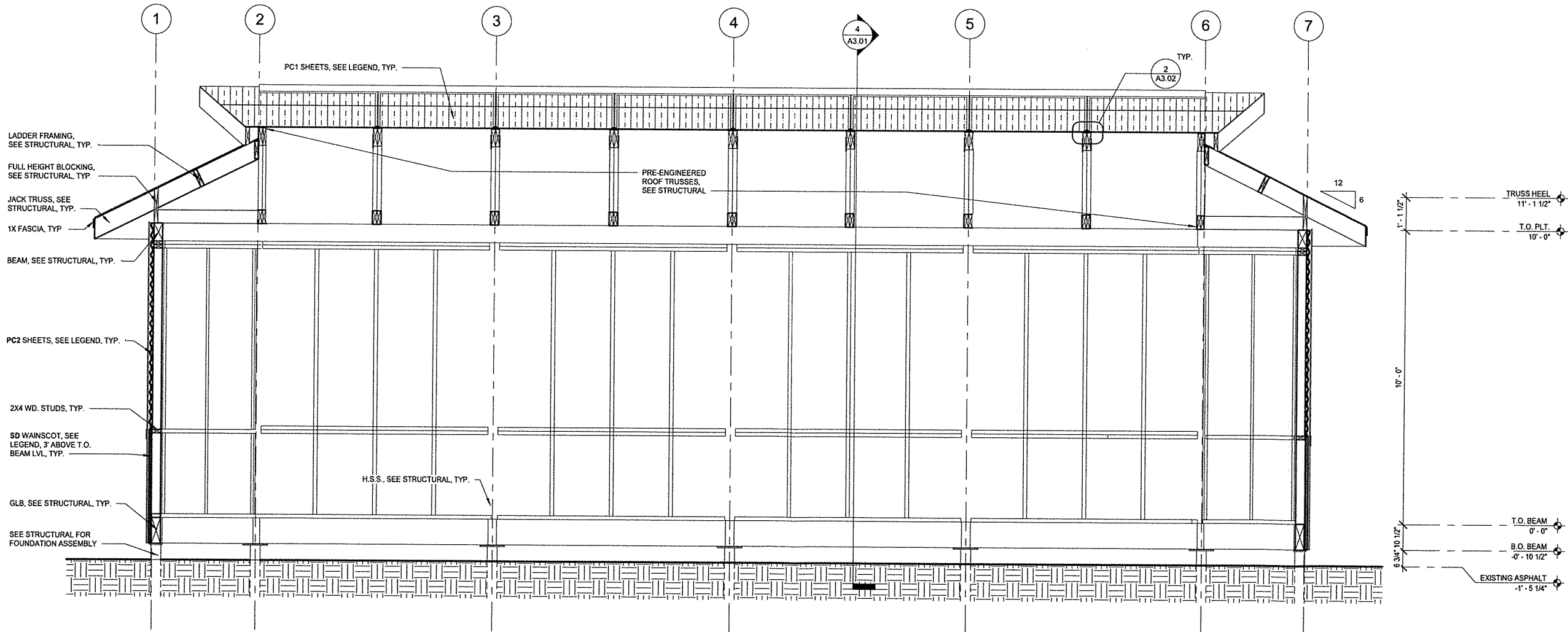


2

A3.02

ROOF PANEL SHEET JOINT

12" = 1'-0"



1

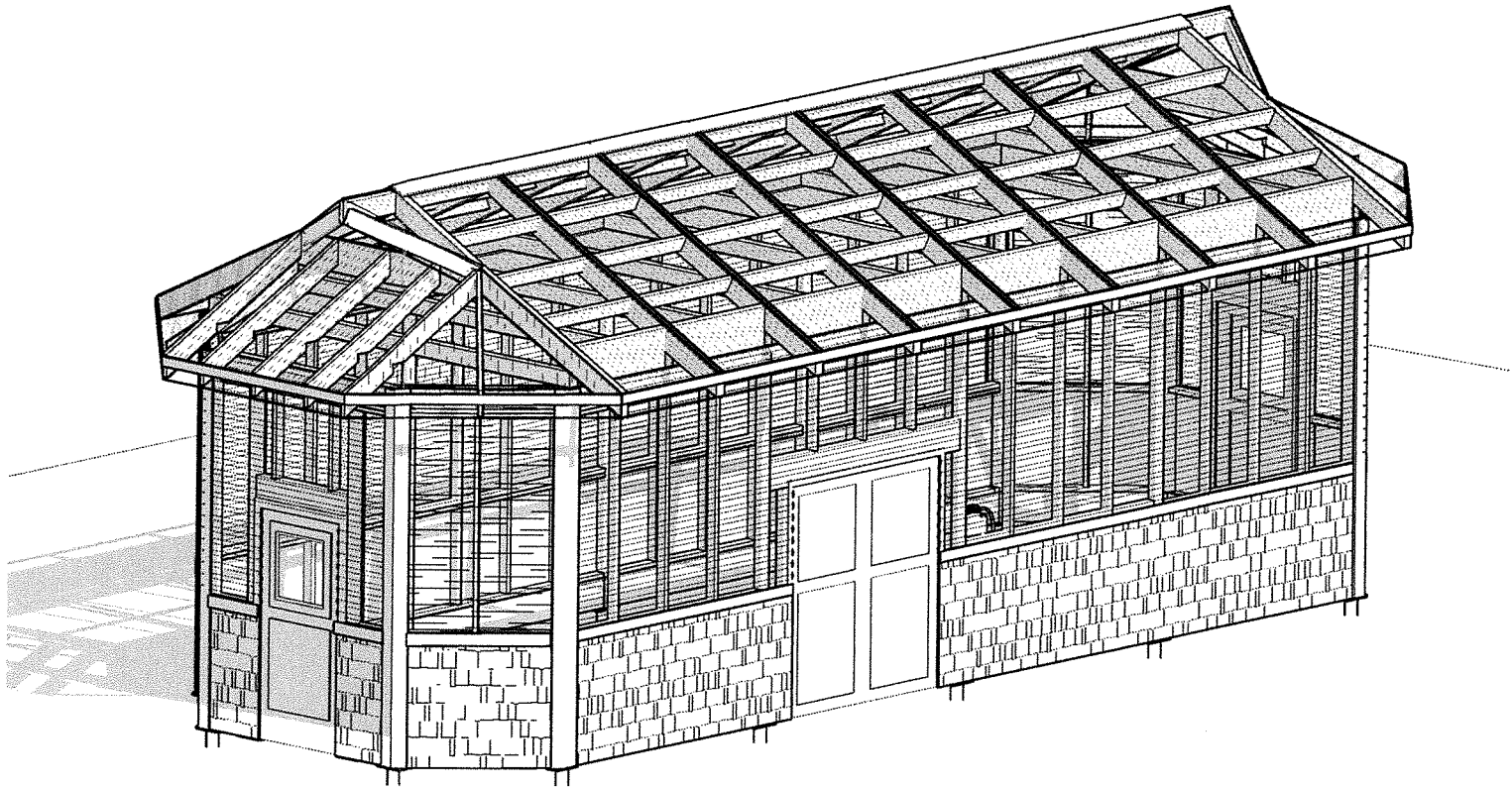
A3.02

BUILDING SECTION 2

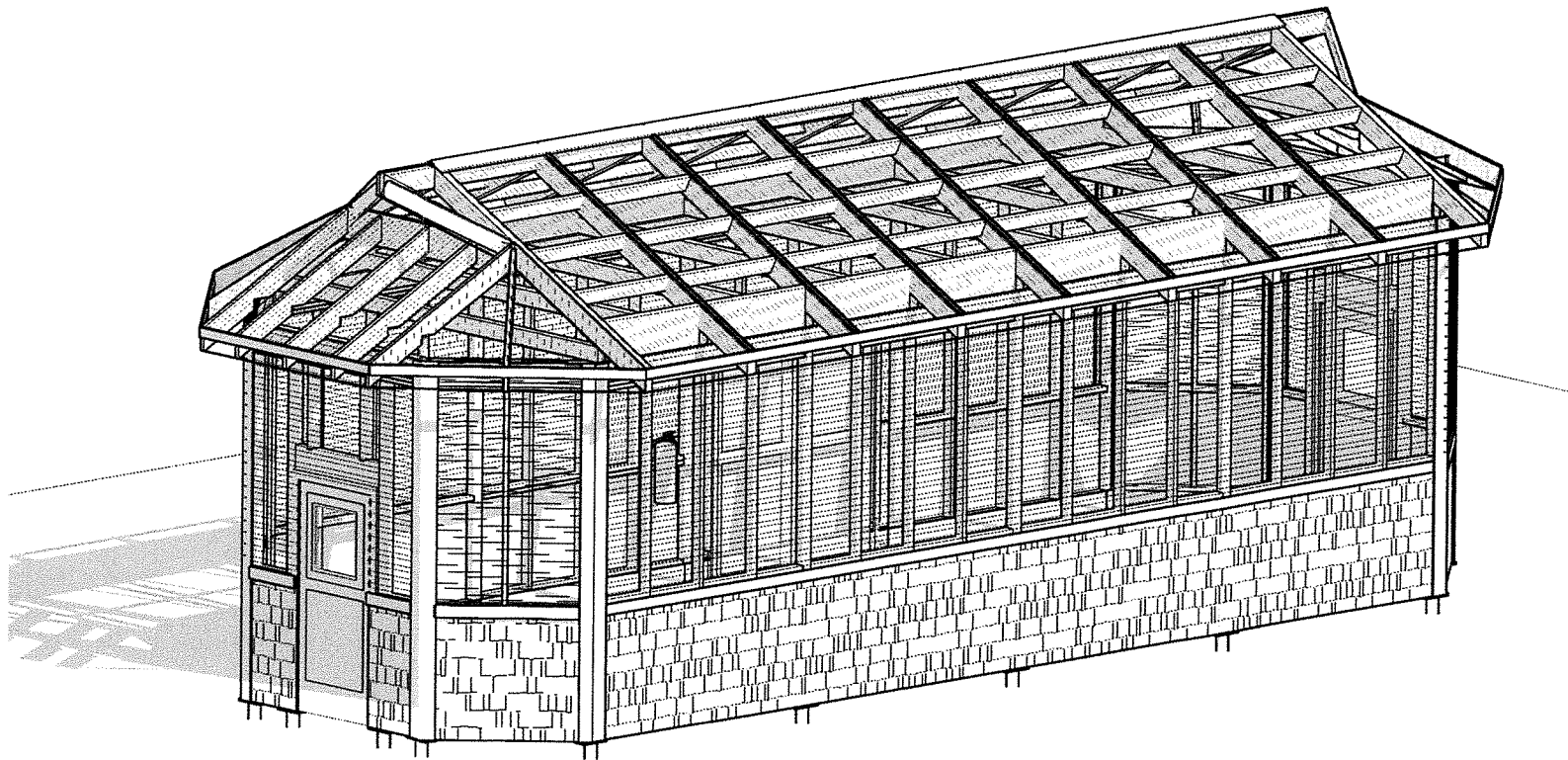
1/2" = 1'-0"

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

Plot Date: 8/16/2023 12:28:12 PM Drawing File: \\Alder\Alder arch main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse 8-8-23.rvt



2 3D VIEW 1
A3.03

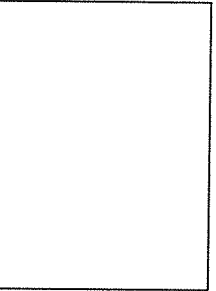
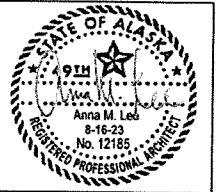


1 3D VIEW 3
A3.03

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SHEET CONTENTS
3D VIEWS

SHEET NO
A3.03

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE



Southcentral Foundation wants to add a greenhouse at their Chugach Mall location (6901 E. Tudor Road). Due to the special limitations on the property, a public hearing Site Plan Review is required.



You are invited to learn more about the work by attending the Scenic Foothills Community Council meeting on **Thursday, May 2** at 6:30pm at Congregation Beth Shalom (7525 E. Northern Lights Boulevard).

We look forward talking to you! If you cannot attend the community council meeting, but want to learn more about the project, you may contact Melissa Branch with Big City Engineers at 907-360-0985 or mbranch@bigcityak.com.





Scenic Foothills Community Council

Agenda for Thursday, MAY 2ND, In-Person Meeting, 7525 E Northern Lights Blvd

Online option available for presenters,

<https://us06web.zoom.us/j/85444090015> - Meeting ID: 85444090015 - Passcode: 440704

Scenic Foothills Community MAY Meeting....

Pursuant to last month's resolution, the Madelynne Dr. project was terminated

6:30 – Introduction

- Welcome
- Approval of Agenda; does anything need to be added?

6:35 – Guest Presentations

- ASSEMBLY
- REPRESENTATIVE
- SENATOR
- SCHOOL BOARD

7:20 – Community Issues and Discussion

- MELISSA A. BRANCH, PRESENTATION ON GREENHOUSE FOR ELDER CARE
- TUDOR PATTERSON CHANNELIZATION
- CIP LIST, COMMITTEE NEEDED
- SCENIC PARK ELEMENTARY, FOLLOW UP TO LAST MONTH'S RESOLUTION
- HOME INITIATIVE, COMMENTS DUE BY THE 3RD
- CHALLENGE GRANT RESULTS-WE WERE AWARDED FULL FUNDING! Needed are volunteers for the May 17 at noon at Fairview Lions Park for the kickoff celebration.

8:00 – Motion to Adjourn

- I HOPE SOMEONE BROUGHT SNACKS



Scenic Hill Community Council

Agenda for Thursday, MAY 2ND, In-Person Meeting, 7525 E Northern Lights Blvd

Online option available for presenters,

<https://us06web.zoom.us/j/85444090015> - Meeting ID: 85444090015 - Passcode: 440704



Scenic Fork Hills Community Council

Agenda for Thursday, MAY 2ND, In-Person Meeting, 7525 E Northern Lights Blvd

Online option available for presenters,

<https://us06web.zoom.us/j/85444090015> - Meeting ID: 85444090015 - Passcode: 440704

Chair: Daniel Clift

phone: 907.339.9100

email: dhclift@gmail.com

email: sfccakpresident@gmail.com

Vice Chair: Yarrow Silvers

phone: 907-744-1574

email: travelingsilvers@gmail.com

email: SFCCAkvcePresident@gmail.com

Treasurer: Carolyn Clift

phone: 907.748.4632

email: careclift@gmail.com

Secretary: Dawn Groth

phone: 907-720-3580

email: anchoragesaferoutes4u@gmail.com

FCC Delegate: Patrick LeMay

phone: 907-250-9038

email: patrick.lemay@lemayengineering.com

email: SFCCAkfccChair@gmail.com

FCC Alternate: Daniel Clift

phone: 907.339.9100

email: dhclift@gmail.com

email: sfccakpresident@gmail.com

Publicity Chair: Kara Norby

Phone: 907-782-6985

Email: norby_kara@yahoo.com

Public Observer: Roger Shaw

Phone: 907-337-3949

Email: rogerak@me.com

Member At-Large: Nelta Edwards

Phone: 907-727-3886

Email: nelta.edwards@gmail.com



Scenic Foothills Community Council

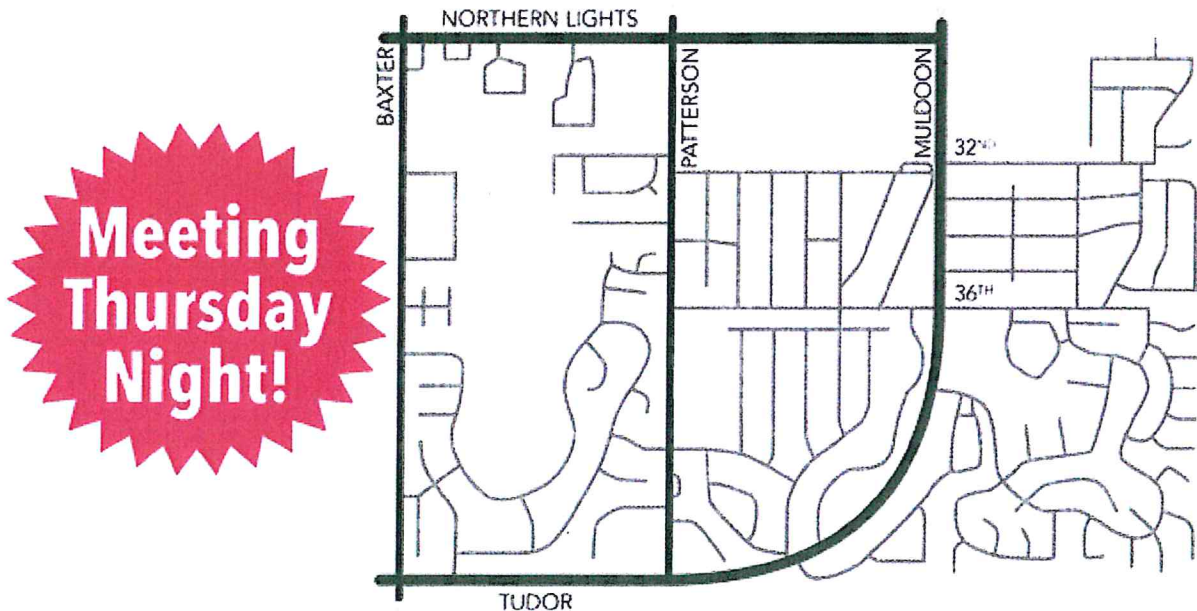
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GET INVOLVED

Scenic Foothills Community Council



[Facebook.com/scenicfoothills](https://www.facebook.com/scenicfoothills)

[Start meeting](#)

Sign up to receive emails about our community at <http://www.communitycouncils.org>

Scenic Foothills Community Council
May 2, 2024

Meeting Notes

Attendance

Approximately 20 people in attendance (12 in-person, 8 online)

Project Team:

Melissa Branch, Big City Engineers

Shawn Glenn, Southcentral Foundation

Notes

The meeting started at 6:30pm.

Daniel Clift, community council president, introduced me at 7:20pm.

I provided an overview of the property, the project, and why we were before the community council.

I then asked for questions and comments.

How big is the greenhouse?

It is roughly 530 square feet.

How tall is the greenhouse?

It is roughly 12.5 feet to top of ridge.

Is it custom-built or a prefabricated structure?

Custom build.

Submitted by Melissa Branch, P.E.