

Application for Major Site Plan Review

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Phillips, Krista - Southcentral Foundation		Name (last name first) Branch, Melissa - Big City Engineers, LLC	
Mailing Address 4501 Diplomacy Drive		Mailing Address P.O. Box 92946	
Anchorage, AK 99508		Anchorage, AK 99509	
Contact Phone: Day 907/729-6656	Evening	Contact Phone: Day 907/360-0985	Evening
E-mail kphillips@southcentralfoundation.com		E-mail mbranch@bigcityak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 007-201-97-000			
Site Street Address: 6901 E. Tudor Road			
Current legal description: (use additional sheet if necessary) Lot 1G, Century Village Subdivision, Addition No. 3			
Zoning: B3-SL	Acreage: 4.77	Grid #: SW1739	Underlying plat #: 2003-120

SITE PLAN APPROVAL REQUESTED	
Use: neighborhood shopping center (per MOA records), SCF programs (Elder Care and Early Education)	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.


 Signature Owner Representative (Agents must provide written proof of authorization)

5/20/2024
 Date

Melissa A. Branch, P.E.
 Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2024-0079	Meeting Date: P2C: 08/05/2024
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COMPREHENSIVE PLAN INFORMATION

Improvement Area (per AMC 21.08.050B.): Class A Class B

Anchorage 2040 Land Use Designation(s):
 Large Lot Residential Single and Two-family Residential Compact Mixed Residential – low
 Compact Mixed Residential–Medium Urban Residential – High Neighborhood Center
 Town Center Regional Commercial Center City Center
 Commercial Corridor Main Street Corridor Open Space
 Facilities and Institutions Industrial

Anchorage 2040 Growth Supporting Features:
 Transit-supportive Development Residential Mixed-use Development
 Greenway-supported Development Traditional Neighborhood Development

Chugiak-Eagle River Land Use Classification:
 Commercial Industrial Parks Community Facility
 Town Center Transportation facility Special study area Development reserve
 Residential at _____ dwelling units per acre

Girdwood- Turnagain Arm Land Use Classification:
 Commercial Industrial Parks/open space Public lands/institutions
 Resort Transportation facility Special study area Reserve
 Commercial/Residential Commercial Recreation
 Residential at _____ dwelling units per acre

Neighborhood, District or Other Area-Specific Plan: _____

ENVIRONMENTAL INFORMATION (All or portion of site affected)

Wetland Classification: None "C" "B" "A"
 Avalanche Zone: None Blue Zone Red Zone
 Floodplain: None 100 year 500 year
 Seismic Zone (Harding/Lawson): "1" "2" "3" "4" "5"

Steep Slope > _____% Riparian Stream Setback Area

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

Rezoning - Case Number:
 Preliminary Plat Final Plat - Case Number(s):
 Conditional Use - Case Number(s):
 Zoning variance - Case Number(s):
 Land Use Enforcement Action for
 Building or Land Use Permit for C23-1879, C20-1372
 Wetland permit: Army Corps of Engineers Municipality of Anchorage

APPLICATION REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required:** Signed application (original)
 Watershed sign off form, completed
 8 1/2" by 11" copy of site plan/building plans submittal

- 16 copies required:**
- Signed application (copies)
 - Project narrative explaining:
 - the project
 - addressing the site plan review criteria on page 3 of this application
 - planning objectives
 - Site plan to scale depicting, with dimensions:

<input type="checkbox"/> building footprints	<input type="checkbox"/> parking areas	<input type="checkbox"/> vehicle circulation and driveways
<input type="checkbox"/> pedestrian facilities	<input type="checkbox"/> lighting	<input type="checkbox"/> grading
<input type="checkbox"/> landscaping	<input type="checkbox"/> loading facilities	<input type="checkbox"/> freestanding sign location(s)
<input type="checkbox"/> required open space	<input type="checkbox"/> drainage	<input type="checkbox"/> snow storage area or alternative strategy
<input type="checkbox"/> trash receptacle location and screening detail	<input type="checkbox"/> fences	
<input type="checkbox"/> significant natural features	<input type="checkbox"/> easements	<input type="checkbox"/> project location
 - Building plans to scale depicting, with dimensions:
 - building elevations
 - floor plans
 - exterior colors and textures
 - Assembly Ordinance enacting zoning special limitations, if applicable
 - Summary of community meeting(s)

(Additional information may be required.)

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

SPECIAL LIMITATION STANDARDS (if applicable)

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

Southcentral Foundation

May 6, 2024

Mrs. Sonnet Calhoun
Senior Land Use Planner
Municipality of Anchorage
4700 Elmore Road
Anchorage, Alaska 99519-6650

Subject: Letter of Authorization
6901 E. Tudor Road

Dear Mrs. Calhoun:

I am the owner's representative of the properties described as Lot 1G, Century Village Subdivision, Addition No. 3 (Plat No. 2003-120) located at 6901 E. Tudor Road. As such, I authorize Big City Engineers, LLC to act on our behalf regarding the site plan review associated with the property referenced above.

If you have any questions, please call me at 907/729-6656.

Thank you,



Krista Phillips, FAIA, NCARB
Director of Facility Planning
Southcentral Foundation

4501 Diplomacy Drive • Anchorage, Alaska 99508
(907) 729-4955 • Fax (907) 729-5000



SCF Chugach Square Mall Greenhouse

Site Plan Review Narrative

May 2024

Project Location

The proposed project is located on the northwest corner of Tudor Road and Patterson Street at 6901 E. Tudor Road on Lot 1G, Century Village Subdivision, Addition No. 3 (Plat No. 2003-120) in Municipality of Anchorage (MOA) grid SW1739.

Project Description

The proposed project is a 522 SF greenhouse located east of the existing mall structure. The greenhouse will be located on a new asphalt pad directly east of the playground on the property. The greenhouse will serve the Elder program already housed on the property, allowing the elders to grow native plants in an accessible environment.

Property Ownership and Adjacent Developments

The property is zoned B-3 SL, a general business district with special limitations. The special limitations are outlined in Anchorage Ordinance (AO) 1985-104. The current property owner has provided a letter authorizing Big City Engineers, LLC to pursue the site plan review required by the special limitations on their behalf.

The properties to the north and west are zoned B1A; properties to the east are zoned R3-SL, and the properties to the south (across Tudor Road) are zoned PLI. The properties to the north, east, and west are developed.

Request for Approval

We are requesting approval for Site Plan Review for the proposed greenhouse. Please see the narrative below and the attached plans for more information.

Applicable Requirements

A greenhouse is a permitted accessory use in a B-3 district. The special limitations require the property to have a public hearing site plan review for any expansion of the existing structures or external new construction (AO 85-104).

The following documents and sections of the Anchorage Municipal Code (AMC) and AMCR (Anchorage Municipal Code of Regulations) apply to this project. Each is discussed in the narrative that follows.

- AMC 21.01.080 Comprehensive Plan
 - AO 1985-104 Special Limitations (requires Site Plan Review)
 - AMC 21.03.180 Site Plan Review
 - AMC 21.04.030.D B-3:General Business District
-

- AMC 21.05.070D.10 Accessory Structures: Home and Garden Related Use
- AMC 21.06 Dimensional Standards and Measurements
- AMC 21.07 Development and Design Standards

Conformance with the Approval Criteria for Site Plan Review (AMC 21.03.180.F)

- A. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.**

The site is already developed with a mixed-use mall. The greenhouse use provides a benefit to the existing Elder program at the site.

- B. The site plan complies with all applicable development and design standards set forth in the Anchorage Municipal Code, including but not limited to the provisions in Chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*.**

See Development and Design Standards section below for a detailed description of how the site plan complies with the applicable development and design standards.

- C. The site plan addressed any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.**

No adverse impacts are anticipated by the addition of the greenhouse.

1. **Pedestrian and vehicular traffic circulation and safety.** The greenhouse will use existing pedestrian routes and will not impact vehicular traffic circulation patterns.
 2. **The demand for and availability of public services and facilities.** The property is already served by public utilities. No utilities will be extended to the greenhouse.
 3. **Noise, air, water, or other forms of environmental pollution.** The development is not expected to generate noise or air emissions that would adversely affect surrounding land uses. All drives and parking areas are already paved. Drainage is already treated and/or detained on site and is not expected to leave the site.
 4. **Maintenance of compatible and efficient development patterns and land use intensities.** The proposed use is compatible with the existing surrounding commercial, residential, and institutional uses. The development also meets the goals of the Comprehensive Plan (see narrative below).
-

D. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

The development shall be in accordance with the comprehensive plan (AMC 21.01.080).

The facility is consistent with the following Anchorage 2040 goals:

Goal 1 – Plan for Growth and Livability The proposed greenhouse allows SCF’s Elder program to expand and better serve its community. The greenhouse will allow elders to plant native plants in an accessible environment connecting them to their ancestors and their community and improving their lives.

Goal 3 – Mixed-use, walkable commercial centers and corridors thrive within their neighborhood context, offer housing to an affordable range of incomes, and enable business growth. The existing Chugach Square Mall is a mixed-use, walkable commercial center. The proposed accessory greenhouse use enhances existing SCF programs, enabling growth and allowing the program to thrive.

Goal 7- Infill development is compatible with the valued characteristics of surrounding properties and neighborhoods. The greenhouse use is compatible with the property use and the surrounding properties and neighborhoods.

Conformance with Development and Design Standards

The following requirements are based on AMC 21.04 Zoning Districts, 21.05 Use Regulations, 21.06 Dimensional Standards and Measurements, and 21.07 Development and Design Standards.

1. Lot Requirements

The minimum lot requirements in a B-3 district are a width of 50 feet and an area of 6,000 square feet (SF) (AMC 21.06.030.D, Table 21.06-2).

Lot 1G meets the minimum lot requirements. The width is 375 feet and the area is 4.77 acres.

2. Maximum Lot Coverage

The maximum lot coverage allowed in a B-3 district for a non-residential use is unrestricted (Table 21.06-2).

The 522 SF greenhouse does not violate lot coverage requirements.

3. Yard Setbacks

The minimum yard requirements in a B-3 district are a front yard of ten feet, a side yard of five feet, and a rear yard of ten feet (Table 21.06-2).

The greenhouse has a front yard setback of 100.94 feet along Patterson, 106.00 feet to the north, 129.85 feet to the south, and 110.12 feet to the west. Minimum yard requirements are met.

4. Landscaping

Parking lot perimeter landscaping is required for all parking lots with 10 or more parking spaces (AMC 21.07.080.E.2.b.i). Parking lot perimeter landscape shall be placed along the perimeters of a parking lot, which includes appurtenant driveways, where the parking lot abuts a property line. (AMC 21.07.0808.E.2.b.ii). Parking lots with more than 40 parking spaces require interior landscaping.

The proposed greenhouse is located interior to the lot. Perimeter landscape requirements are met and will not be altered. The property has an existing non-conforming determination. Lack of interior landscaping was acknowledged in the NCD. The 2020 parking lot project brought the site towards further conformance with current code.

5. Parking

There is no parking requirement based on use. Adequate parking was provided in connection with the use under the previous code. Accessible parking is based on the total required parking spaces as outlined in 21.070.090 (Table 21.07-8).

The parking lot is not being altered by the proposed work. The parking is paved. All turning and maneuvering occurs on property.

6. Traffic Impact Analysis

MOA Traffic reviews site location, access and trip generation to determine if a Traffic Impact Analysis will be required for the site.

The greenhouse is an accessory use to the Elder program already operating in the mall. It does not increase traffic to the property. A TIA is not required.

7. Loading Facilities

Off-street loading shall be provided in accordance with 21.07.090, Table 21.07-6.

Loading is already provided on the property per code requirements. The proposed accessory use does not increase the area to require additional loading.

8. Development Setbacks

According to AMC 21.45.140 Setbacks from Projected Rights-of-Way, no new structural or land

development activity requiring a building or land use permit shall be permitted within the maximum setback from the existing or projected centerline of a street designated on the Official Streets and Highways Plan (OSHP).

Tudor Road is designated as a Major Arterial III per the OSHP. Per the OSHP, the setback from the centerline of the road is 50 feet. Patterson Street is designated as a Neighborhood Collector IC per the OSHP; the setback from the centerline is 30 feet. Tudor Road has 125 feet from the centerline. Patterson Street has 50 feet from the centerline. There are no development setbacks on the property.

9. Snow Storage

For commercial uses, an area equal to at least 5 percent of the surface area on the site to be plowed for motorized vehicle parking and access shall be designated for snow storage (AMC 21.07.040.F.b). If snow will be removed off-site to a snow disposal facility, then snow storage areas may be reduced or eliminated from the site plan.

The proposed greenhouse location is not in any existing snow storage areas. Snow from the greenhouse area, if removed, will be pushed east to the edge of the new asphalt pad.

10. Pedestrian Walkways

A walkway shall connect the primary entrance to the abutting primary street frontage (AMC 21.07.060.E.4.b.i). All primary entrances on a site shall be connected to the street by a convenient system of walkways (AMC 21.07.060.E.4.b.ii). The minimum clear width of the sidewalk shall be five feet, excluding vehicle overhang (AMC 21.07.060.E.4.c). Where an on-site pedestrian walkway abuts a parking lot, the pedestrian facility shall be clearly marked and physically separated from the parking lot. (AMC 21.07.060.E.4.d.i).

The 2020 parking lot project work added a pedestrian connection to Patterson Street as part of the conformance work. No additional pedestrian connections are proposed. The minimum clear width of the sidewalks is at least 5 feet. The sidewalks is grade separated from the parking and drive. The pedestrian walkway requirements are met.

11. Refuse

AMC does not have a specific refuse requirement. However, MOA requires that refuse be addressed by some means for the development. AMC 21.07.080.G.2.a.v states that refuse collection receptacles that are stored indoors and brought outdoors on garbage pickup days are exempt from the screening requirements.

There are existing refuse dumpsters on the property. Any waste generated by the greenhouse use will use the existing dumpsters.

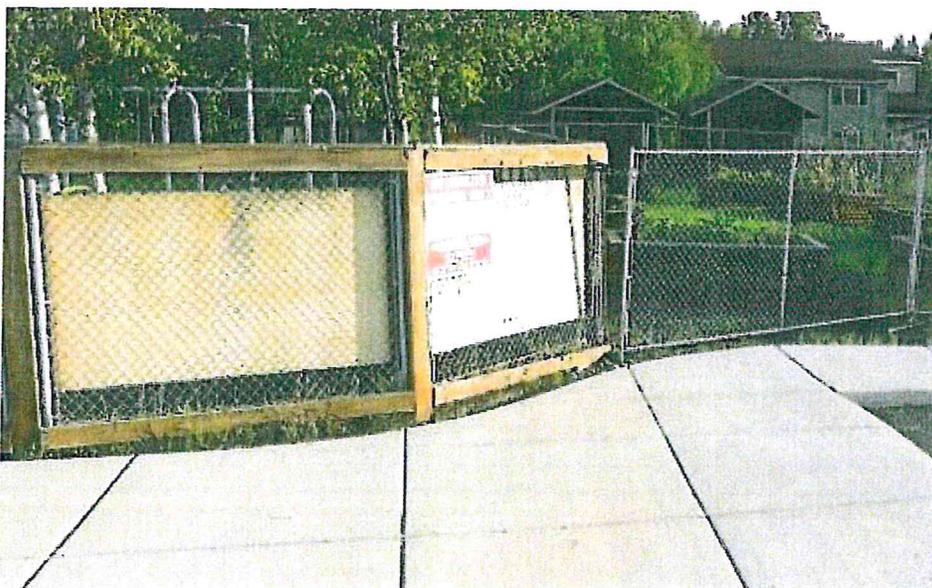
12. Stormwater Management

MOA typically requires connection to a piped system, if one is located near the property. MOA guidelines require that detention be provided, to slow the rate of discharge to the MOA or DOT&PF system. MOA stormwater guidelines also require that the site runoff be treated to reduce pollutants prior to leaving the site. Stormwater management includes snow storage (discussed in a separate section).

Runoff and drainage requirements were brought into conformance with the 2020 parking lot improvements. The proposed greenhouse and pad do not increase the impervious area by more than 5 percent and disturb less than 10,000 SF so only conveyance must be addressed. The existing pad will shed east and use existing drainage patterns to safely convey runoff to the ditch along Patterson, which overflow to a piped storm drain system. The drainage requirements are met.

13. Fencing

The fencing around the new greenhouse pad will match the existing daycare fencing on the property – 6-foot high chain link with wood framing. See below:



WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: Century Village #3
- Project Location, Tax ID, or Legal Description: Tract 1G
007-201-97-000
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

DOES NOT contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

DOES contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping **IS NOT REQUIRED**.**

Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

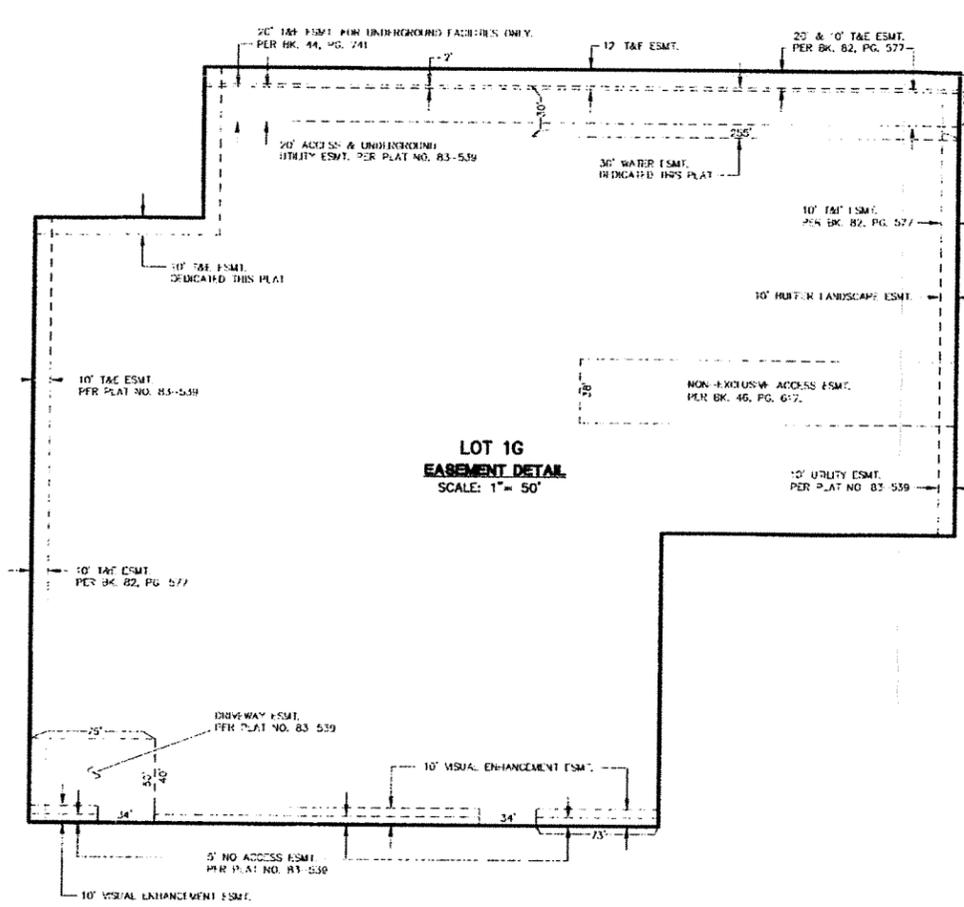
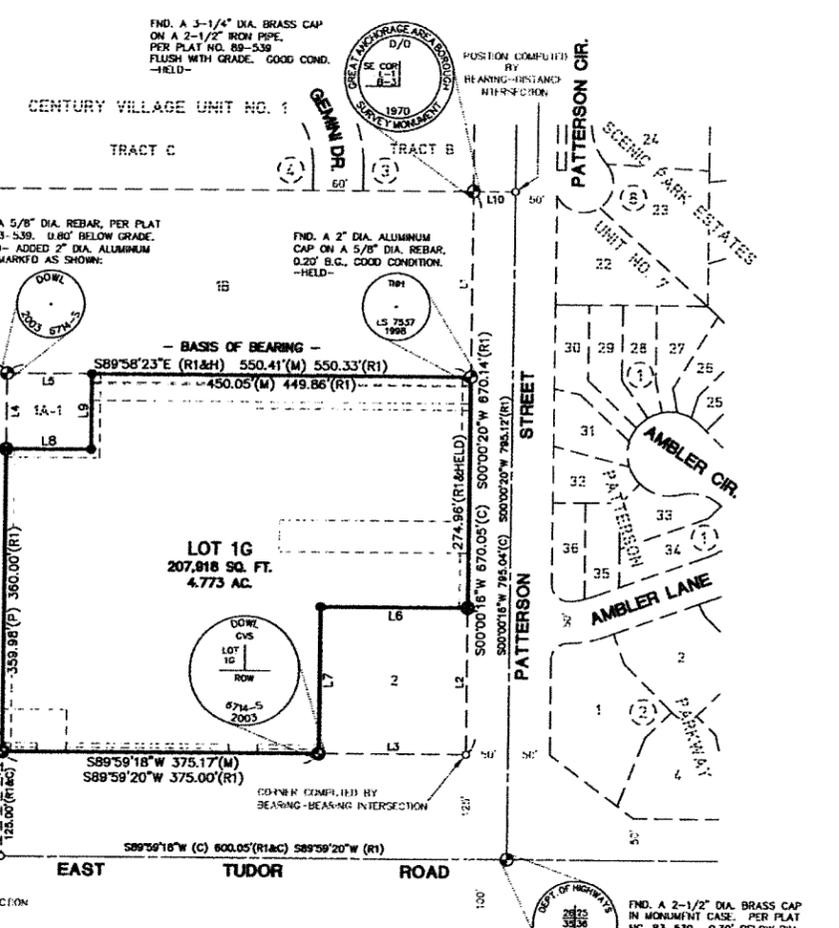
- Y N WMS written drainage recommendations are available. Preliminary Final
- Y N WMS written field inspection report or map is available. Preliminary Final
- Y N Field flagging and/or map-grade GPS data is available.

Inspection Certified By:

Date:



6/9/20



LINE	BEARING	LENGTH
L1	(M) S00°00'16"W	220.45'
	(R1) S00°00'20"W	220.51'
L2	(C) S00°00'16"W	174.84'
	(R1) S00°00'20"W	174.66'
L3	(C) S89°59'18"W	174.95'
	(R1) S89°59'20"W	175.11'
L4	(P) N00°01'53"W	89.99'
	(R1) N00°01'23"W	90.00'
L5	(M) S89°58'23"E	100.35'
	(R1) S89°58'23"E	100.47'
L6	(M) S89°59'07"W	174.93'
	(R1) S89°59'20"W	175.08'
L7	(M) S00°00'42"W	174.63'
	(R1) S00°00'20"W	174.66'
L8	(M) N89°55'15"E	100.56'
	(R1) S89°58'23"E	100.47'
L9	(M) N00°09'52"W	89.81'
	(R1) N00°01'23"W	90.00'
L10	(C) S89°59'44"E	50.00'(HELD)
	(R1) S89°59'40"E	50.00'

RECORDED-FILED
Anchorage, Alaska
DATE: Sep 5 2003
Requested by: HGR

- LEGEND**
- ① FOUND MONUMENT AS DESCRIBED.
 - ② FOUND 5/8" REBAR, PER PLAT NO. 83-539. -HELD POSITION- REPLACED WITH 3-1/4" DIA. ALUMINUM CAP ON A 2-1/2" DIA. ALUMINUM PIPE. FLUSH WITH GRADE.
 - ③ SET 2" DIA. ALUMINUM CAP ON 5/8" x 30" REBAR, FLUSH WITH PAVEMENT OR GRADE. TYPICALLY STAMPED AS SHOWN.
 - ④ FOUND 5/8" REBAR, PER PLAT NO. 83-539. AVERAGING 0.50' BELOW GRADE. -HELD-
 - COMPUTED POINT - NOTHING SET THIS SURVEY.
 - (R1) RECORD PER PLAT NO. 83-539
 - (R1&C) RECORD PER PLAT NO. 83-539 AND COMPUTED
 - (R1&H) RECORD PER PLAT NO. 83-539 AND HELD
 - (M) MEASURED
 - (C) COMPUTED
 - (P) PROPORTIONED
 - T&E MEANS TELECOMMUNICATIONS AND ELECTRIC.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (WE) HOLD THE HEREIN SPECIFIED PROPERTY INTEREST IN THE PROPERTY SHOWN AND DESCRIBED HEREON. I (WE) HEREBY DEDICATE TO THE MUNICIPALITY ALL AREAS DEPICTED FOR USE AS PUBLIC UTILITY EASEMENTS, STREETS, ALLEYS, THOROUGHFARES, PARKS, AND OTHER PUBLIC AREAS SHOWN HEREON. THERE SHALL BE RESERVED ADJACENT TO THE STREETS SHOWN HEREON A SLOPE RESERVATION EASEMENT SUFFICIENT TO CONTAIN CUT AND FILL SLOPES OF 1.5 FEET HORIZONTAL FOR EACH 1 FOOT VERTICAL (1.5 TO 1) OF CUT OR FILL FOR THE PURPOSE OF PROVIDING AND MAINTAINING THE LATERAL SUPPORT OF THE CONSTRUCTED STREETS. THERE IS RESERVED TO THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE SUCH AREAS AT ANY TIME UPON PROVIDING AND MAINTAINING OTHER ADEQUATE LATERAL SUPPORT, AS APPROVED BY THE MUNICIPALITY.

I (WE) HEREBY AGREE TO THIS PLAT, AND TO ANY RESTRICTION OR COVENANT APPEARING HEREON AND ANY SUCH RESTRICTION OR COVENANT SHALL BE BINDING AND ENFORCEABLE AGAINST PRESENT AND SUCCESSIVE OWNERS OF THIS SUBDIVIDED PROPERTY.

OWNER:

SOUTHCENTRAL FOUNDATION
4501 DIPLOMACY DR. SUITE 200
ANCHORAGE, ALASKA 99508

BY:

[Signature] V.P.
SIGNATURE TITLE
[Signature]
PRINTED NAME

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29th DAY of August, 2003, PURSUANT TO ITS BY-LAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS.

[Signature]
PERSONALLY APPEARED
[Signature]
NOTARY PUBLIC
9-11-03
MY COMMISSION EXPIRES



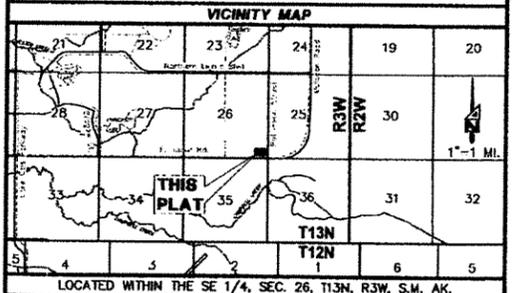
APPROVALS

[Signature] 9-2-03
PLATTING OFFICER DATE
[Signature] 9/2/03
MUNICIPAL SURVEYOR DATE

PLAT APPROVAL

PLAT APPROVED BY THE MUNICIPAL PLATTING AUTHORITY THIS 29th DAY of September, 2003.

[Signature]
AUTHORIZED OFFICIAL



LOCATED WITHIN THE SE 1/4, SEC. 26, T13N, R3W, S.M. AK.
PLAT OF
CENTURY VILLAGE SUBDIVISION, UNIT NO. 3
LOT 1G
A 4.773 ACRE RESUBDIVISION OF LOT 10, CENTURY VILLAGE, UNIT NO. 3, PER PLAT NO. 83-539; AND LOTS 1E AND 1F, CENTURY VILLAGE, UNIT NO. 3, PER PLAT NO. 83-544.
LOCATED WITHIN THE SE 1/4, SEC. 26, T13N, R3W, S.M. AK.
ANCHORAGE RECORDING DISTRICT

DWN: KET	CHK: SEP	DATE: 08-12-03	DOWL FILE NO:
F.R: 1528, 1572	SCALE: 1"=100'	W.O: D58258	147-42
C-P: FAT ORDER NO. 03-00664	GRID: 1739	SHEET	

SURVEYOR'S CERTIFICATE

I, STANLEY E. PONSNESS, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF LANDS ACTUALLY SURVEYED AND THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY AND THAT ALL PERMANENT EXTERIOR CONTROL MONUMENTS, ALL OTHER MONUMENTS, AND LOT CORNERS HAVE BEEN SET AND STAKED, OR IF FINAL COMPLETION IS ASSURED BY SUBDIVISION AGREEMENT, THEY WILL BE SET AS SPECIFIED IN SAID SUBDIVISION AGREEMENT. THERE IS NO SUBDIVISION AGREEMENT.



NOTES

- ALL EASEMENTS REFERENCED BY A BOOK AND PAGE NUMBER OR SERIAL NUMBER ARE DOCUMENT EASEMENTS, AND ARE NOT DEDICATED BY THIS PLAT.
- STREET RIGHT-OF-WAY WIDTHS SHOWN TO THE NEAREST FOOT REPRESENT ACTUAL DIMENSIONS TO THE NEAREST HUNDREDTH OF A FOOT (I.E. 30'-30.00').
- THE DEVELOPMENT OF THIS SUBDIVISION MAY REQUIRE THE COLLECTION AND TREATMENT OF SURFACE WATER RUNOFF. ANY SURFACE WATER RUNOFF COLLECTION AND TREATMENT SYSTEM WILL REQUIRE THE SUBMITTAL AND APPROVAL OF ENGINEERING PLANS TO THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION OR ITS AUTHORIZED AGENCY.
- THE FOLLOWING PLATTED EASEMENTS HAVE BEEN MODIFIED BY THIS PLAT: 1) THE 5' SCREENING EASEMENTS ON THE SOUTHERLY BOUNDARIES OF LOT 1D (PER PLAT 83-539) AND LOTS 1E & 1F (PER PLAT 83-544) HAVE BEEN COMBINED AND CHANGED INTO 10' VISUAL ENHANCEMENT EASEMENTS. 2) THE 10' SCREENING EASEMENT ON THE EASTERLY BOUNDARY OF SAID LOT 1F HAS BEEN CHANGED TO A 10' BUFFER LANDSCAPE EASEMENT. 3) THE 10' T&E EASEMENT ON THE NORTHERLY BOUNDARIES OF SAID LOTS 1D, 1E, & 1F HAS BEEN INCREASED INTO A 12' T&E EASEMENT
- DIRECT VEHICULAR ACCESS TO PATTERSON STREET SHALL BE LIMITED TO TWO DRIVEWAYS. ONE LOCATED AT THE ACCESS EASEMENT CENTERED 22' FEET SOUTH OF THE NORTHEAST CORNER OF LOT 1G. THE OTHER CENTERED 192' FEET SOUTH OF SAID CORNER.
- VISUAL ENHANCEMENT LANDSCAPING MEETING THE REQUIREMENTS OF AMC 21.45.125.C.1 SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER OR HIS/HER DESIGNEE WITHIN THE VISUAL ENHANCEMENT LANDSCAPE EASEMENT.
- THERE IS AN ACCESS AGREEMENT PERTAINING TO REAL PROPERTY FOR LOT 2, CENTURY VILLAGE UNIT NO. 3, PER BOOK 1631, PAGE 69.
- BUFFER LANDSCAPING MEETING THE REQUIREMENTS OF AMC 21.45.125.C.2 SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER OR HIS/HER DESIGNEE WITHIN THE BUFFER LANDSCAPE EASEMENT.
- THIS SUBDIVISION SHALL BE DEVELOPED IN ACCORDANCE WITH A.O. 2001-24(S) OR ANY OTHER SUBSEQUENT ORDINANCE GOVERNING THE LAND USE OF THE PROPERTY.

TAX CERTIFICATION

ALL REAL PROPERTY TAXES LEVIED BY THE MUNICIPALITY OF ANCHORAGE ON THE AREA SHOWN ON THIS PLAT HAVE BEEN PAID IN FULL. IF APPROVAL IS SOUGHT BETWEEN JANUARY 1 AND THE TAX DUE DATE, THERE IS ON DEPOSIT WITH THE CHIEF FISCAL OFFICER, AN AMOUNT SUFFICIENT TO PAY ESTIMATED REAL PROPERTY TAX FOR THE CURRENT YEAR.

8-27-03 DATE
[Signature] AUTHORIZED OFFICIAL

ACCEPTANCE OF DEDICATION

THE MUNICIPALITY OF ANCHORAGE HEREBY ACCEPTS FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY DEDICATED ON THIS PLAT, INCLUDING BUT NOT LIMITED TO THE EASEMENTS, RIGHTS OF WAY, ALLEYS, ROADWAYS, THOROUGHFARES AND PARKS SHOWN HEREON.

DATED AT ANCHORAGE, ALASKA, THIS 29th DAY OF August, 2003.
[Signature] MUNICIPAL CLERK
[Signature] MAYOR OF ANCHORAGE

PROJECT: SURVEY DRAWING NAME: PLAT7255.DWG SCRIPT FILE FOR THIS SHEET: PLAT1500.SCP PLOTTED: AUG 12 2003 11:03:17 (054116)

AMENDED AND APPROVED
DATE 9-3-85

Submitted by: Chairman of the Assembly
At the Request of the Mayor
Prepared by: *PT* Department of Community
Planning
For reading: July 23, 1985

ANCHORAGE, ALASKA
AO NO. 85-104

AN ORDINANCE AMENDING THE ZONING MAP AND PROVIDING FOR THE REZONING FROM B-1 (LOCAL AND NEIGHBORHOOD BUSINESS DISTRICT) TO B-3 (GENERAL AND STRIP COMMERCIAL BUSINESS DISTRICT) WITH SPECIAL LIMITATIONS FOR LOTS 1D, 1E, 1F AND 2 OF CENTURY VILLAGE SUBDIVISION, UNIT 3 (NORTHEAST AND SCENIC PARK COMMUNITY COUNCILS).

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1. That the zoning map be amended by designating the following described property as a B-3 (General and Strip Commercial Business District) with Special Limitations zone:

Lots 1D, 1E, 1F and 2 of Century Village Subdivision as shown in Exhibit A, attached.

Section 2. This zoning map amendment is subject to the following special limitations regarding the uses of the property:

- A. Permitted principal uses and structures shall be limited to:
 - 1. furriers, fur repair and storage;
 - 2. jewelry stores;
 - 3. hardware and variety stores;
 - 4. drugstores;
 - 5. retail food stores and liquor stores;*
 - 6. restaurants, tea rooms, cafes and other places serving food and beverages;*
 - 7. tobacco stores;
 - 8. camera and photographic supply stores;
 - 9. gift, novelty and souvenir shops;

10. photographic studios;
11. art studios art supplies and framing shops;
12. on-premises dry cleaning establishments using a perchlorethylene process or similar nonflammable, nonaqueous solvent, provided, however, that large commercial and industrial laundry and dry cleaning plants are prohibited; **
13. laundry and dry cleaning pickup stations;
14. beauty shops and barbershops;
15. shoe repair shops and tailors;
16. travel agencies, ticket brokers;
17. insurance and real estate offices;
18. business and professional offices;
19. medical, health and legal services;
20. off-street parking lots;
21. garden supply stores;
22. nurseries;
23. veterinary clinics provided that such activities shall be conducted within a completely enclosed building;
24. family residential care, day care and 24 hour child care facilities;

* Uses involving the retail sale, dispensing or service of alcoholic beverages may be permitted by Conditional Use only.

B. Permitted principal uses and structures subject to a maximum gross floor area limit shall be limited to:

1. department stores, general merchandise and dry goods stores: 12,000sq. ft.;

** Establishment of this use may occur only after a non-public site plan review by the Planning and Zoning Commission which would be heard after a presentation to the community council at least 30 days prior to the Planning & Zoning review.

2. men's, women's, and children's clothing and apparel and shoe stores: 12, 000 sq. ft.;
3. miscellaneous apparel and accessory shops: 12,000 sq. ft.;
4. furniture and home furnishings stores: 3,000 sq. ft.;
5. radio, television and music stores: 12,000 sq. ft.;
6. household appliance stores: 12,000 sq. ft.;
7. sporting goods stores and bicycle shops: 12,000 sq. ft.;
8. bookstores and stationery stores: ^{1,200}~~1,000~~ sq. ft.;
9. catalog sales stores: 3,600 sq. ft.;
10. florists: 1,200 sq. ft.;
11. small appliance repair shops: 2,400 sq. ft.;
12. banking and financial institutions: 3,600 sq. ft.;
13. business service establishments including commercial and job printing: 4,800 sq. ft.;
14. employment agencies: 4,800 sq. ft.;
15. retail sales and showrooms: 12,000 sq. ft.;
16. laboratories and establishments for production, fitting and repair of eyeglasses, hearing aids, prosthetic appliances and the like: 12,000 sq. ft.;
17. plumbing and heating service and equipment dealers: 2,400 sq. ft.*
18. paint, glass and wallpaper stores: 2,400 sq. ft.*
19. electrical or electronic appliances, parts and equipment: 2,400 sq. ft.*

- * No overnight parking of service vehicles. Outside storage of equipment is not allowed.
- C. Permitted Conditional Uses shall be limited to:
 - 1. auditoriums, libraries, museums, historical and cultural exhibits and the like;
 - 2. gasoline services stations;
 - 3. automobile car washes self-service and automatic with sufficient off-street area for maneuvering, waiting and drying automobiles;
 - 4. drive-in banks with sufficient off-street area for maneuvering and waiting automobiles;
 - 5. public parks and buildings;
 - 6. utility substations;
 - 7. marquees, overpasses and similar substantial projections into public airspace, together with any signs to be mounted thereon;
 - 8. planned unit developments;
 - 9. churches and synagogues, along with the customary accessory uses, including parsonages, day care and meeting rooms.

Section 3. This zoning map amendment is subject to the following special limitations establishing design standards for the property:

- A. Public Hearing site review before the Planning and Zoning Commission shall be held prior to any expansion of existing structures or external new construction.
- B. Minimum yard requirements:
 - 1. front yard: 20 ft., provided however, that no structure shall be built closer than 30 feet from the centerline of any Class I street, nor closer than 40 feet from the centerline of any Class II street as designated on the Official Streets and Highways Plan;

2. side yard: 10 ft. where the lot adjoins a residential district boundary; otherwise, none, provided, however, that if any side yard is provided, it shall be not less than five feet, the purpose being that adjoining commercial buildings shall either directly abut or shall maintain a minimum of five feet between such buildings;
 3. rear yard: 25 ft., in addition, where the rear of the lot adjoins a residential district boundary, a sight-obscuring fence not less than six feet in height shall be erected and maintained along the rear line that abuts an alley or such residential boundary. In cases where the rear line of the lot adjoins other land in a business district, the required rear yard shall be five feet.
- C. Maximum lot coverage of all buildings shall not exceed 50% of the property.
- D. Maximum height of all structures shall not exceed 25 feet.

Section 4. The special limitations set forth in this ordinance prevail over any inconsistent provisions of Title 21 of the Anchorage Municipal Code, unless specifically provided otherwise. All provisions of Title 21 of the Anchorage Municipal Code not specifically affected by a Special Limitation set forth in this ordinance shall apply in the same manner as if the district classifications applied by this ordinance were not subject to special limitations.

Section 5. The Director of Community Planning shall change the zoning map accordingly.

Section 6. This ordinance becomes effective ten days after passage and approval.

Assembly Ordinance No. 85-
Page 6

PASSED AND APPROVED by the Anchorage Assembly this
3rd day of September, 1985.

Chairman *Jane Argo*

ATTEST.

Ruby E. Smith
Municipal Clerk

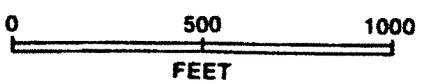
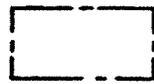
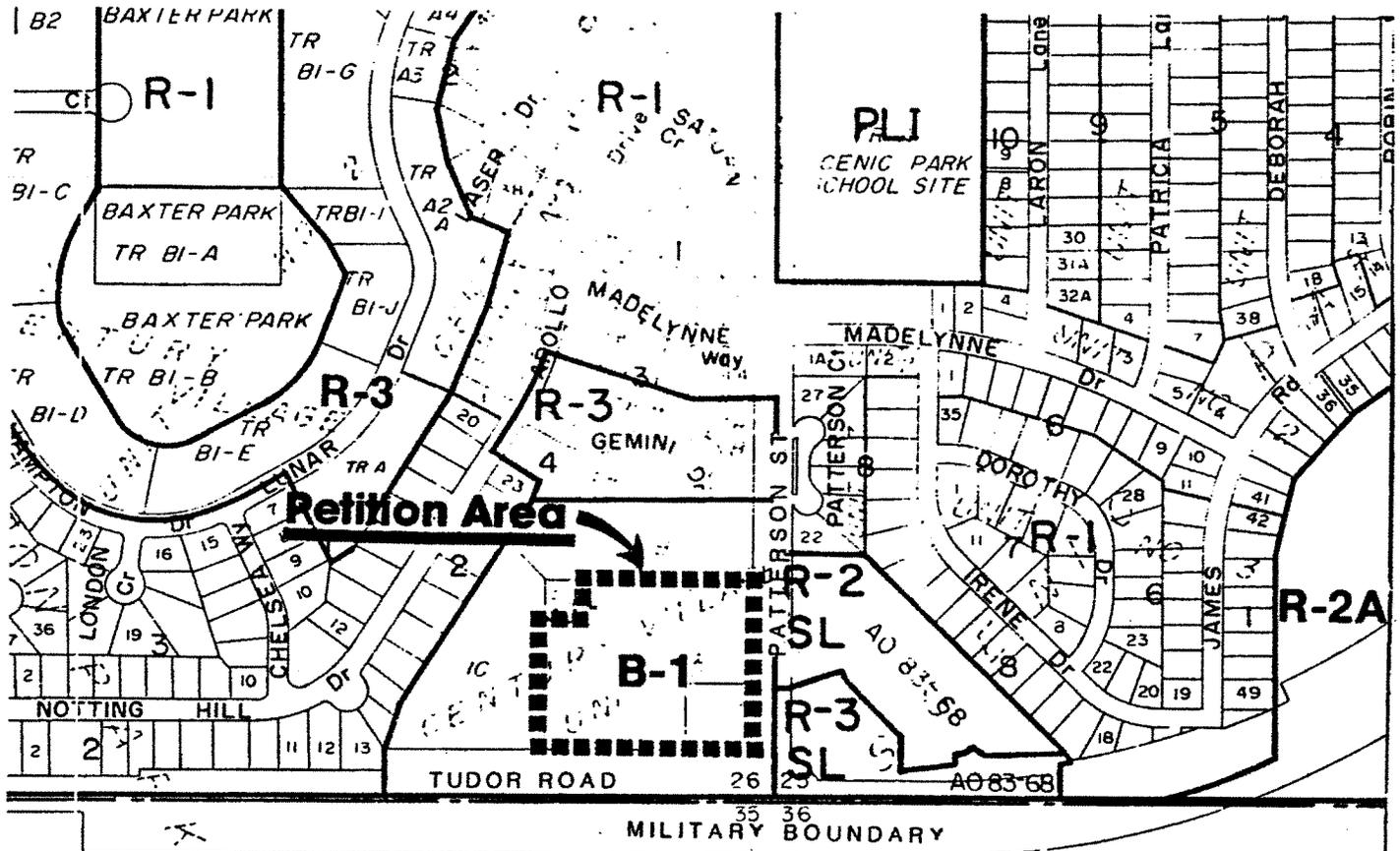
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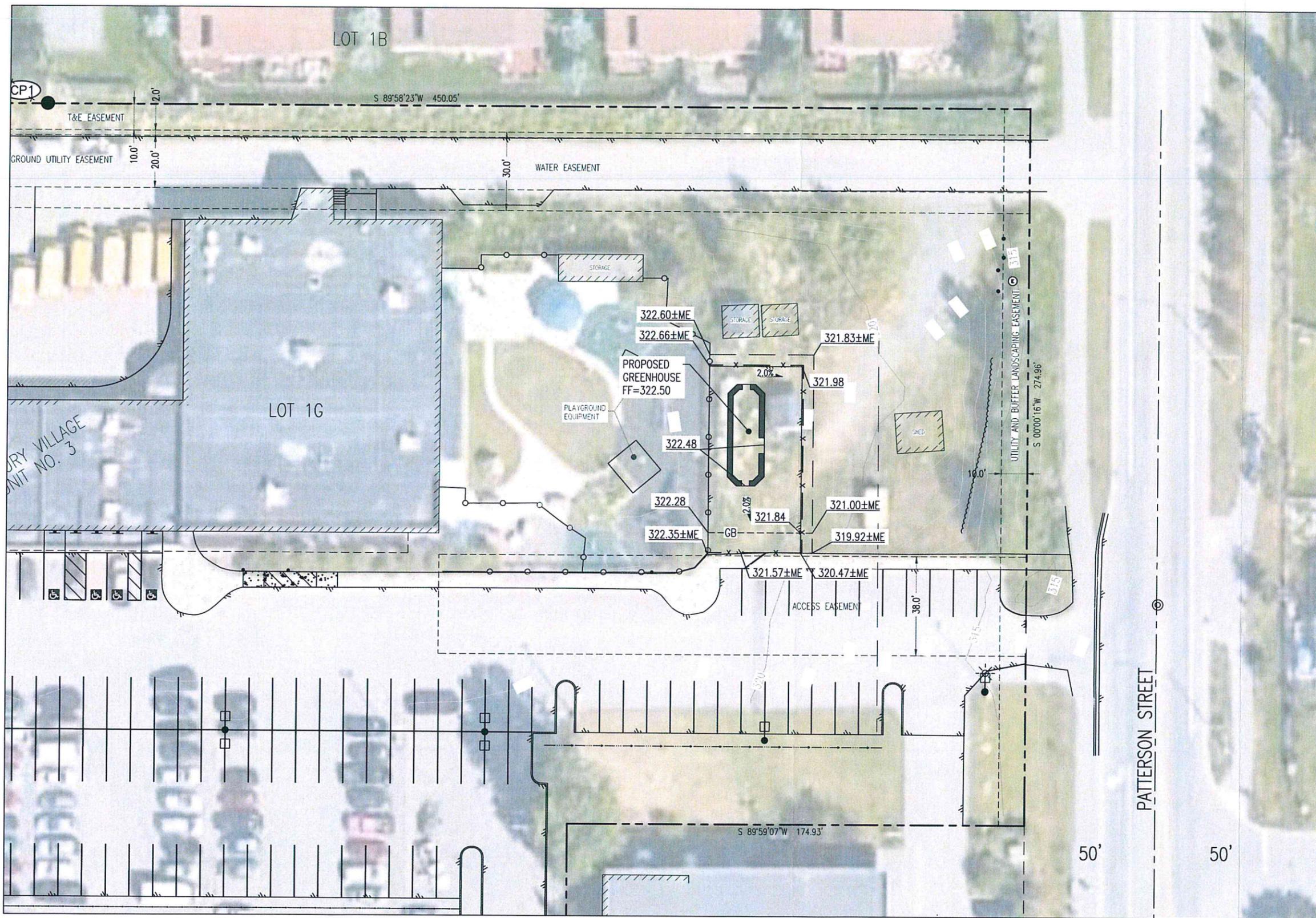
(85-030)

EXHIBIT A

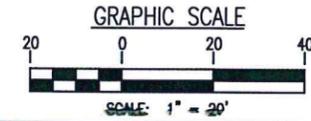
85-030

REZONING





SITE GRADING AND DRAINAGE PLAN
 SCALE: 1" = 20'



BIG CITY ENGINEERS
 P.O. BOX 92946
 ANCHORAGE, ALASKA 99509
 907/360-0985
 LICENSE # 102525

**SOUTHCENTRAL FOUNDATION
 CHUGACH SQUARE MALL GREENHOUSE**
 6901 E. TUDOR ROAD
 LOT 1G, CENTURY VILLAGE SUBDIVISION, ADDITION NO. 3

DATE	REVISION	DESCRIPTION	BY
4.25.2024			
TBD			
SW1739			
AS SHOWN			
MAB			
MAB			
SHEET TITLE			
SITE GRADING AND DRAINAGE PLAN			
SHEET NUMBER			
C3.1			

ARCHITECTURAL ABBREVIATIONS

&	AND	FRT	FIRE-RETARDANT TREATED	R	RISER OR RADIUS
@	AT	FT	FOOT OR FEET	R.D.	ROOF DRAIN
CL	CENTERLINE	FTG	FOOTING	REF	REFERENCE
o	DEGREE	FURR	FURRING	REFR	REFRIGERATOR
#	NUMBER	FUT	FUTURE	REINF	REINFORCING
ABV	ABOVE	GA	GAUGE	REQ	REQUIRED
AC	ASPHALTIC CONCRETE	GAL	GALLON	R.H.	RIGHT HAND
ACP	ACOUSTICAL CEILING PANEL	GALV	GALVANIZED	R.L.	RAIN LEADER
ACT	ACOUSTICAL CEILING TILE	G.B.	GRAB BAR	RM	ROOM
ACOUS	ACOUSTICAL	G.I.	GALVANIZED IRON	R.O.	ROUGH OPENING
ADD	ADDITION	GL	GLASS	R.O.W.	RIGHT OF WAY
AFF	ABOVE FINISH FLOOR	GT	GLASS TYPE	RTU	ROOF TOP UNIT
AHU	AIR HANDLING UNIT	GWB	GYPSUM WALL BOARD		
ALT	ALTERNATE	GYM	GYMNASIUM	S	SOUTH
ALUM	ALUMINUM	GYP.	GYPSUM	SAN	SANITARY
APPROX	APPROXIMATE			S.C.	SOLID CORE
ARCH	ARCHITECTURAL	H.B.	HOSE BIB	SCHEM	SCHEDULE
ASPH	ASPHALT	H.C.	HOLLOW CORE	S.D.	SMOKE DETECTOR
AVG	AVERAGE	HDWD	HARDWOOD	SE	SOUTHEAST
		HDWR	HARDWARE	SECT	SECTION
BD	BOARD	H.M.	HOLLOW METAL	SHEATH	SHEATHING
BLDG	BUILDING	H.M.F.	HOLLOW METAL FRAME	SHT	SHEET
BLKG	BLOCKING	HORIZ	HORIZONTAL	SIM	SIMILAR
BLW	BELOW	HP	HIGH POINT	SND	SANITARY NAPKIN DISPENSER
BM	BENCH MARK	HR	HOUR	SPEC	SPECIFICATIONS
B.O.	BOTTOM OF	HSS	HOLLOW STRUCTURAL SECTION	SQ	SQUARE
B.S.	BOTH SIDES	HT	HEIGHT	S.S.	SANITARY SEWER
BTU	BRITISH THERMAL UNIT	HW	HOT WATER	S.ST.	STAINLESS STEEL
BUR	BUILT-UP ROOF	HWY	HIGHWAY	STD	STANDARD
				STL	STEEL
CAB	CABINET	ID.	INSIDE DIAMETER	STOR	STORAGE
C.B.	CATCH BASIN	() OR IN	INCHES	STRUCT	STRUCTURAL
CEM	CEMENT	IHM	INSULATED HOLLOW METAL	STS	STORM SEWER
C.I.	CAST IRON	INSUL	INSULATION	SUSP	SUSPENDED
CIRC	CIRCULAR	INT	INTERIOR	SV	SHEET VINYL
CLG	CEILING	JAN	JANITOR	SW	SOUTHWEST
CLR.	CLEAR	JT	JOINT	SYM	SYMMETRICAL
C.M.P.	CORRUGATED METAL PIPE				
CMU	CONCRETE MASONRY UNIT	KIT	KITCHEN	TB	TACKBOARD
C.O.	CARBON MONOXIDE			TBD	TO BE DETERMINED
COL	COLUMN	LAB	LABORATORY	TBHM	THERMALLY-BROKEN HOLLOW METAL
COMP	COMPOSITION	LAM	LAMINATE OR LAMINATED	TEL	TELEPHONE
CONC	CONCRETE	LAV	LAVATORY	TEMP	TEMPORARY
CONSTR	CONSTRUCTION	LB	POUND	TERR	TERRAZZO
CONT	CONTINUOUS	LH	LEFT HAND	T&G	TONGUE AND GROOVE
COORD	COORDINATE	LL	LIVE LOAD	THRU	THROUGH
CORR	CORRIDOR	L.O.W.	LIMITS OF WORK	T.O.	TOP OF (eg CONCRETE)
C.R.	COLD ROLLED	L.P.	LOW POINT	T.O.S.	TOP OF STEEL
C.R.C.	COLD ROLLED CHANNEL			TP	TOILET PAPER
C.T.	CERAMIC TILE	MAT'L	MATERIAL	TV	TELEVISION
CTR	CENTER	MAX	MAXIMUM	TYP	TYPICAL
		MECH	MECHANICAL		
DBL	DOUBLE	OR MTL	METAL	UAA	UNIVERSITY OF ALASKA ANCHORAGE
DEPT	DEPARTMENT	MFR	MANUFACTURER	UL	UNDERWRITERS LABORATORY
D.F.	DRINKING FOUNTAIN	MH	MANHOLE	UNFIN	UNFINISHED
DET	DETAIL	MIN	MINIMUM OR MINUTE	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	MISC	MISCELLANEOUS	VCT	VINYL COMPOSITION TILE
DIAG	DIAGONAL	M.O.	MASONRY OPENING	VERT	VERTICAL
DIM.	DIMENSION	MULL	MULLION	VEST	VESTIBULE
DISP	DISPENSER			V.I.F.	VERIFY IN FIELD
DL	DEAD LOAD	N	NORTH	VR	VAPOR RETARDER
DN.	DOWN	NE	NORTHEAST	VTR	VENT THROUGH ROOF
DS	DOWNSPOUT	NIC	NOT IN CONTRACT		
DWG	DRAWINGS	NO	NUMBER	W	WEST
		NOM	NOMINAL	WI	WITH
E	EAST	NTS	NOT TO SCALE	WC	WATER CLOSET
(E)	EXISTING	NW	NORTHWEST	WD	WOOD
EA	EACH			W/O	WITHOUT
E.I.F.S.	EXTERIOR INSULATION & FINISHING SYSTEM	O	OVER	WP	WATERPROOF
		O.C.	ON CENTER	WT	WEIGHT
ELEV	ELEVATION	O.D.	OUTSIDE DIAMETER		
ELEV	ELEVATOR	OFD	OVERFLOW DRAIN		
ELEC	ELECTRICAL	OFF	OFFICE		
EMB	EMBOSSING	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED		
EQ	EQUAL	OFI	OWNER FURNISHED, OWNER INSTALLED		
EQUIP	EQUIPMENT	OH	OVERHEAD		
E.G.	EACH SIDE	OPNG	OPENING		
EXIST	EXISTING	OPP	OPPOSITE		
EXP	EXPOSED	PARA	PARALLEL		
EXP.AGG.	EXPANSION EXPOSED AGGREGATE	PART	PARTITION		
EXP.JT.	EXPANSION JOINT EXTERIOR	PERF	PERFORATED		
		PERM	PERMANENT		
F.B.	FLAT BAR	PERP	PERPENDICULAR		
F.D.	FLOOR DRAIN	P.I.C.	PRECAST INSULATED CONCRETE		
FDN	FOUNDATION	PL	PLATE		
F.E.	FIRE EXTINGUISHER	P.LAM	PLASTIC LAMINATE		
F.E.C.	FIRE EXTINGUISHER CABINET	PLAST	PLASTER		
FIN	FINISH	PLYWD	PLYWOOD		
FF	FACTORY FINISH(ED)	PR	PAIR		
FF	FINISH FLOOR	PREFAB	PREFABRICATED		
FLUOR	FLUORESCENT	PRMA	PROTECTED MEMBRANE ROOF ASSEMBLY		
F.O.B.	FACE OF BLOCK	PROJ	PROJECT		
F.O.F.	FACE OF FINISH	PT	POINT AND PAINT		
F.O.S.	FACE OF STUD	P.T.	PRESERVATIVE TREATED		
F.O.	FACE OF (Conc. etc.)	PTD	PAPER TOWEL DISPENSER		
F.R.P.	FIBER REINFORCED PANEL	PVC	POLYVINYL CHLORIDE		
FRFP	FIREPROOFING				

MAP OF ALASKA



DRAWING INDEX

GENERAL

G1.01	COVER SHEET - ABBREVIATIONS, MAP, INDEX, & SYMBOLS LEGEND
G1.02	ADA SHEET
C1.01	SCHEMATIC SITE PLAN

ARCHITECTURAL

A1.01	LIFE SAFETY, FOUNDATION PLAN, & MAIN FLOOR PLAN
A2.01	EXTERIOR ELEVATIONS
A3.01	BUILDING SECTION 1 & ROOF PLAN
A3.02	BUILDING SECTION 2
A3.03	3D VIEWS

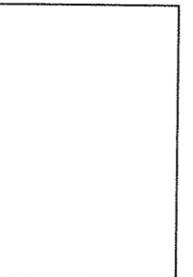
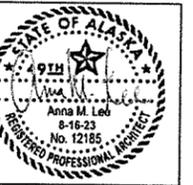
STRUCTURAL

S1	DESIGN CRITERIA AND STRUCTURAL NOTES
S2	FRAMING PLANS
S3	SECTIONS AND DETAILS

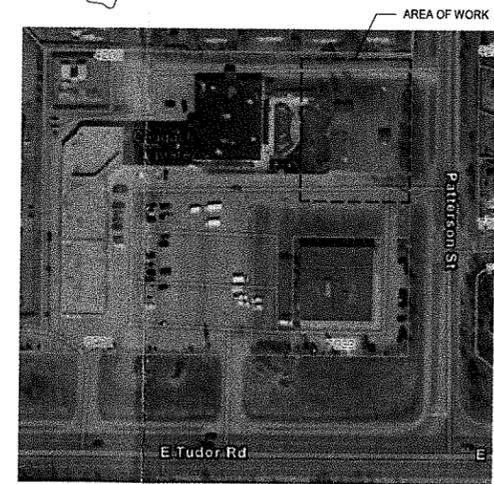
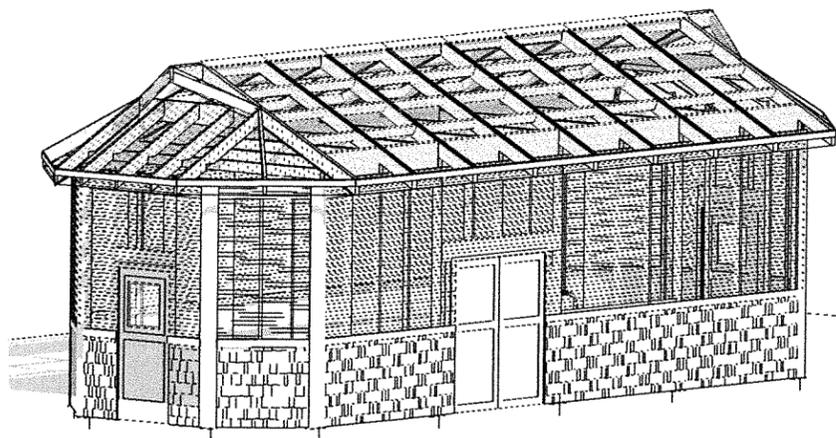
Alder
Architecture & Design, LLC



5050 E Dunbar Dr. Ste. C
Wasilla, Alaska 99654
907-357-ALDR(2537)
AlderArchitecture@gmail.com



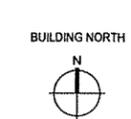
SCF GREENHOUSE
6901 E TUDOR ROAD
ANCHORAGE, ALASKA



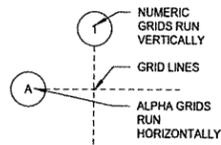
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6901 E TUDOR RD., ANCHORAGE

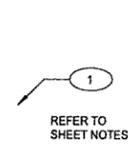
ARCHITECTURAL SYMBOLS LEGEND



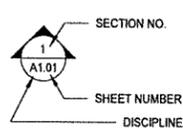
BUILDING NORTH



GRID LINES



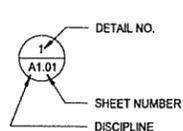
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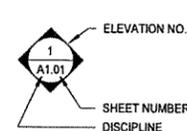
BLDG./WALL SECTION



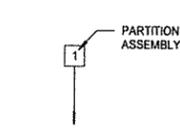
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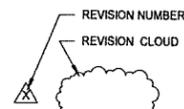
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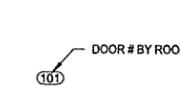
EXTERIOR ELEVATION



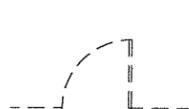
PARTITION TYPE



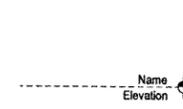
REVISIONS



DOOR NUMBER



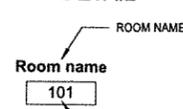
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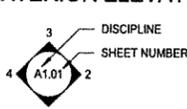
VERT. CONTROL POINT



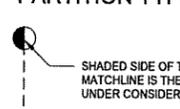
WINDOW TYPE



ROOM TAG



INTERIOR ELEVATION



MATCHLINE

SCOPE OF WORK

CONSTRUCTION OF A 524 SQ. FT. GREENHOUSE TO BE USED AS AN ACCESSORY BUILDING FOR THE SOUTH-CENTRAL FOUNDATION ELDER PROGRAM. THE BUILDING IS INTENDED FOR AN ACTIVITY FOR THE ELDERS.

TYPE V-B CONSTRUCTION, A-3 OCCUPANCY.

THE BUILDING HAS A PILING SUPPORTED BEAM FOUNDATION WITH NO FLOOR STRUCTURE TO ALLOW WATER DRAINAGE UNDER THE WALLS.

GENERAL CONSTRUCTION NOTES

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- ALL FINAL EXTERIOR AND INTERIOR FINISHES, COLORS AND CASEWORK TO BE SELECTED BY OTHERS.
- CONTRACTOR SHALL COMPLY WITH STATE, LOCAL AND FEDERAL REGULATIONS REGARDING DEMOLITION, HANDLING AND DISPOSAL OF REGULATED MATERIALS. CONTRACTOR SHALL ALSO COMPLY WITH FEDERAL AND STATE OSHA REQUIREMENTS FOR WORKER PROTECTION.
- UPON COMPLETION OF THE WORK, ALL AFFECTED AREAS SHALL BE FINAL CLEANED TO INCLUDE FINISHES, SURFACES, AND FIXTURES.
- ALL WORK WILL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE, AND ALL OTHER MOA AND LOCAL CODES, INCLUDING ALL AMENDMENTS.
- DO NOT SCALE THE DRAWINGS TO OBTAIN CONSTRUCTION DIMENSIONS.
- ALL INFORMATION SHOULD BE FIELD VERIFIED BEFORE WORK PROCEEDS. ANY DISCREPANCIES FOUND BETWEEN DRAWINGS, DISCIPLINES OR FIELD CONDITIONS, CONTACT THE ARCHITECT IMMEDIATELY.
- ALL DOCUMENTS AND MATERIALS PRODUCED DURING THE PROJECT ARE INSTRUMENTS OF SERVICE. THE ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT SHALL HAVE THE RIGHT TO USE PHOTOGRAPHS OR DRAWING OF THE PROJECT FOR PROMOTIONAL OR OTHER PURPOSES.

REVISIONS		
NO.	DESCRIPTION	DATE

DRAWN BY	DATE
CGM	8-16-23
CHECKED	JOB NO.
AML	23022

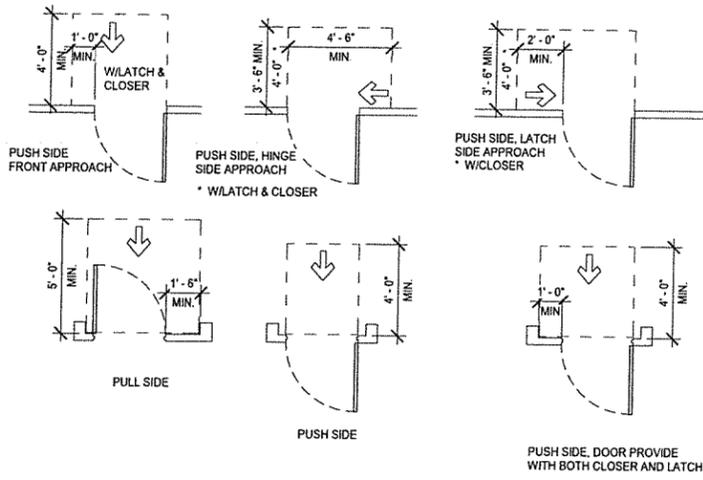
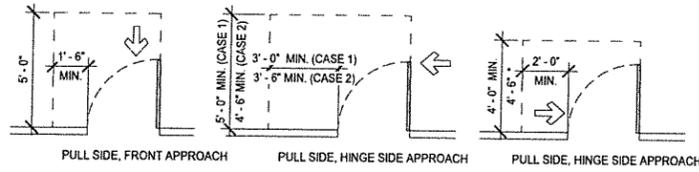
SHEET CONTENTS	
COVER SHEET - ABBREVIATIONS, MAP, INDEX, & SYMBOLS LEGEND	

SHEET NO	G1.01
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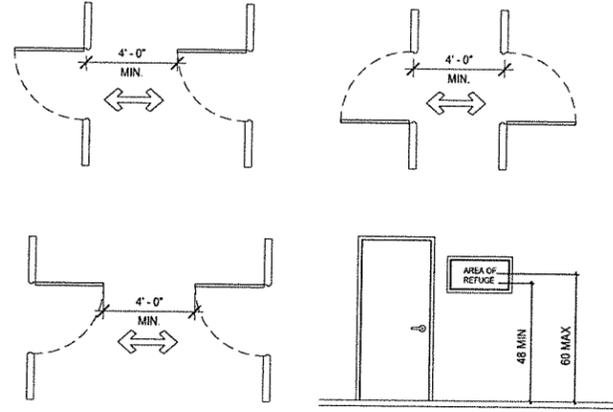
22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

Drawing File: \\alder\alder_arch_main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse 8-6-23.rvt

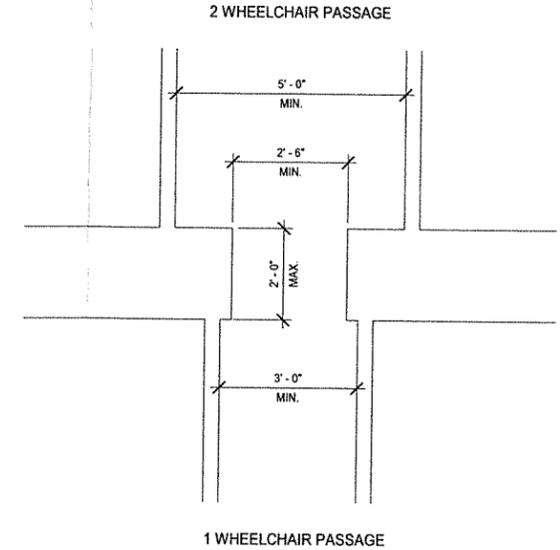
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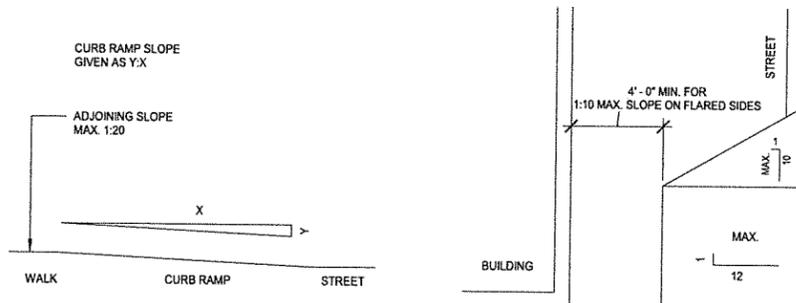
1 ADA DOORS
G1.02 1/4" = 1'-0"



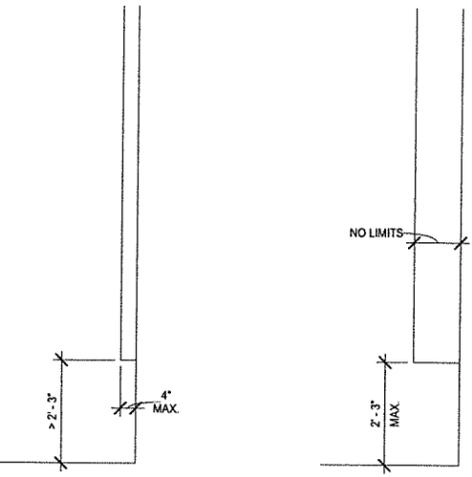
2 ADA DOORS CONT.
G1.02 1/4" = 1'-0"



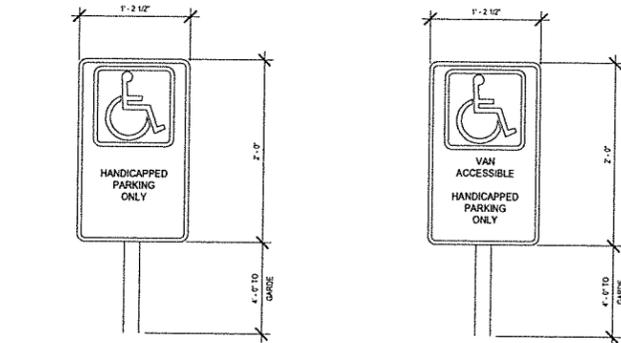
3 ADA CORRIDORS
G1.02 1/2" = 1'-0"



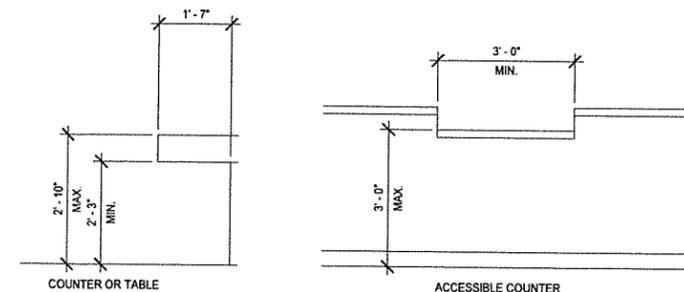
4 ADA CURB CUTS
G1.02 1/4" = 1'-0"



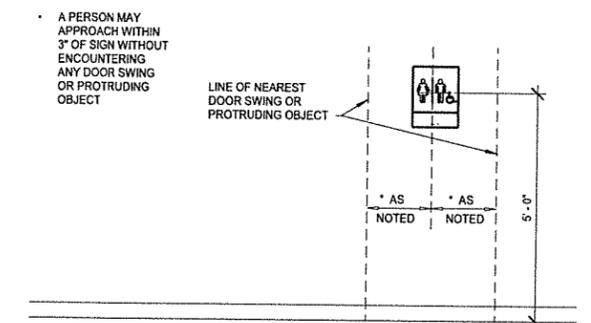
5 ADA PROJECTIONS
G1.02 1/2" = 1'-0"



6 ADA SIGNAGE
G1.02 1" = 1'-0"



7 ADA COUNTERS
G1.02 1/2" = 1'-0"



8 ADA SIGNAGE CONT.
G1.02 1/2" = 1'-0"

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SCF GREENHOUSE
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DRAWN BY	DATE
CGM	8-16-23
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AML	23022

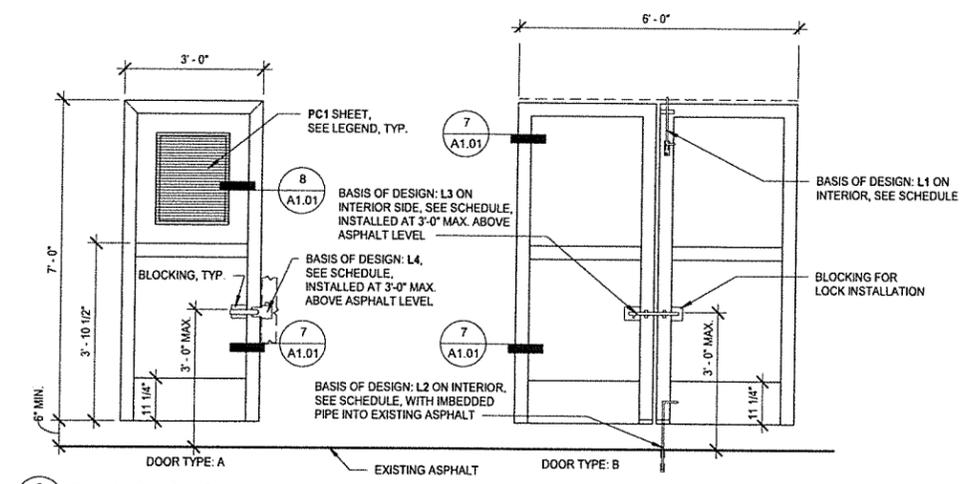
SHEET CONTENTS
ADA SHEET

SHEET NO
G1.02

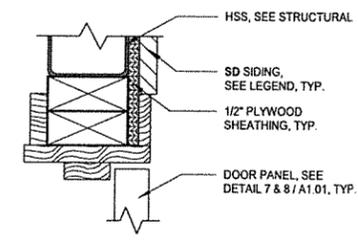
22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

Drawing File: \\Alder\alder arch main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse 8-8-23.rvt

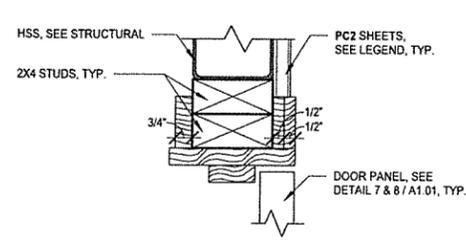
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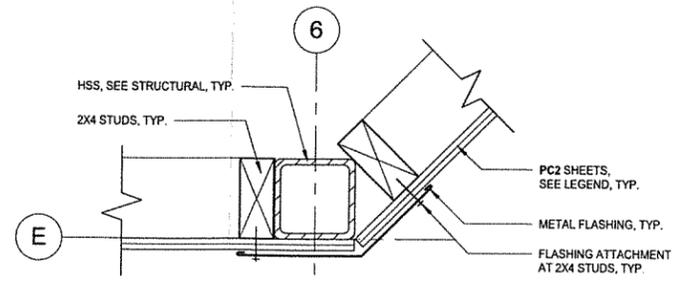
3 DOOR SCHEDULE
A1.01 1/2" = 1'-0"



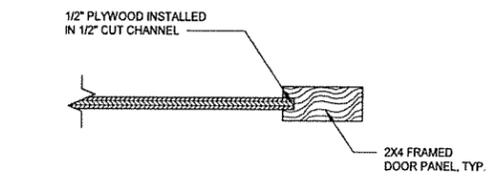
4 TYPICAL DOOR LOWER JAMB SECTION
A1.01 3" = 1'-0"



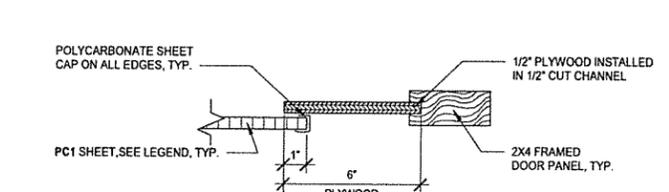
5 TYPICAL DOOR UPPER JAMB SECTION
A1.01 3" = 1'-0"



6 TYPICAL BUILDING CORNER DETAIL
A1.01 3" = 1'-0"



7 TYPICAL DOOR PANEL LOWER SECTION
A1.01 3" = 1'-0"



8 TYPICAL DOOR PANEL UPPER SECTION
A1.01 3" = 1'-0"

DOOR SCHEDULE								
MARK	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FIRE RATING	COMMENTS
101A	A	3'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY
101B	A	3'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY
101C	B	6'-0"	7'-0"	1 1/2"	WD	CLR	-	SEE DETAILS FOR FRAME ASSEMBLY

DOOR SCHEDULE LEGEND

WD - WOOD	FF - FACTORY FINISH
CLR - CLEAR FINISH	AL - ALUMINUM
PT - PAINT	

MATERIAL PRODUCTS LEGEND

PC1 - AMERILUX LEXAN THERMOCLEAR POLYCARBONATE SHEETS
 PC2 - SUNSKY U-PANEL POLYCARBONATE PANEL
 SD - SHAKERTOWN CRAFTSMAN CEDAR SHINGLE PANEL - STAGGERED BUTT STYLE

HARDWARE LEGEND

L1 - ABBEY HARDWARE, 12-1/2" GARAGE DOOR BOLT WITH FASTENERS, BLACK MODEL: ABB-520-300-3
 L2 - NATIONAL HARDWARE, 18" CANE BOLT, MODEL: N109-039, BLACK
 L3 - GRAINGER HEAVY DUTY BARREL SLIDE BOLT, MODEL: 1WAA7, BLACK
 L4 - NATIONWIDE INDUSTRIES - MAGNETIC ARMORLATCH, MODEL: NH6244

- NOTE:**
- ALL EXPOSED WOOD ON DOORS TO BE CEDAR OR CEDAR VENEER.
 - ALL EXPOSED WOOD (EXCEPT TREATED WOOD) ON ALL SURFACES TO BE CLEAR COATED TO PROTECT FROM MOISTURE.

BUILDING CODES

CODES:

2018 INTERNATIONAL BUILDING CODE w/ STATE OF ALASKA AMENDMENTS
 2018 INTERNATIONAL MECHANICAL CODE w/ STATE OF ALASKA AMENDMENTS
 2018 INTERNATIONAL FUEL GAS CODE w/ STATE OF ALASKA AMENDMENTS
 2018 INTERNATIONAL FIRE CODE w/ STATE OF ALASKA AMENDMENTS
 2020 NFPA 70, NATIONAL ELECTRIC CODE
 2017 NATIONAL ELECTRIC SAFETY CODE, ANSI C2-2017
 ALL CURRENT STATE OF ALASKA AMENDMENTS TO APPLY

OCCUPANCY: A-3 (ACCESSORY TO ADJACENT BUILDING WHICH IS AN A-3 OCCUPANCY) SECTION 303 / 312.1

CONSTRUCTION TYPE: V-B TABLE 504.3

AREA: ALLOWABLE: 6,000 SF TABLE 506.2
 ACTUAL: 524 SF

HEIGHT: ALLOWABLE: 1 STORY TABLE 504.4
 ACTUAL: 1 STORY

OCCUPANT LOAD: 524 SF / 30 = 18 (ASSEMBLY - EXHIBIT GALLERY WITH PLANTS) TABLE 1004.5

EXITING: 1 EXITS REQUIRED, 3 EXITS PROVIDED SECTION 1022

MEANS OF EGRESS: REQUIRED: 1 X 2 = 2" SECTION 1005
 PROVIDED: 4 X 36" = 144"

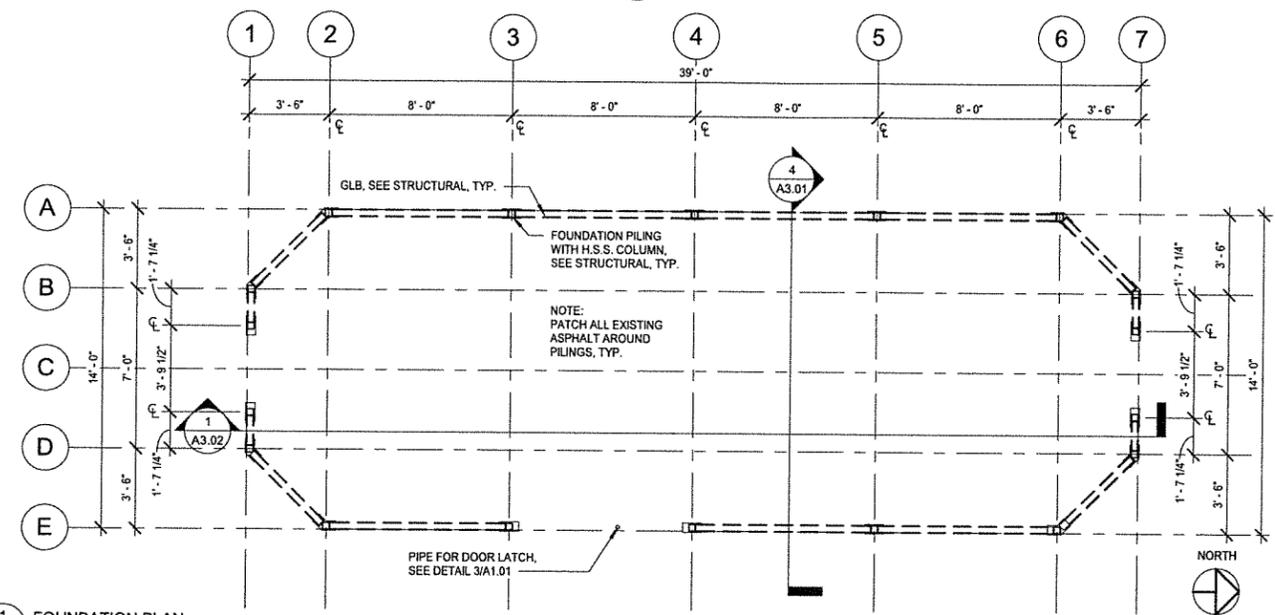
DOOR OPERATIONS: <50 OCCUPANTS PANIC HARDWARE IS NOT REQUIRED FOR EXIT DOORS SECTION 1010
 -EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
 -HARDWARE, DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE

SPRINKLED: NOT REQUIRED, NOT PROVIDED SECTION 903

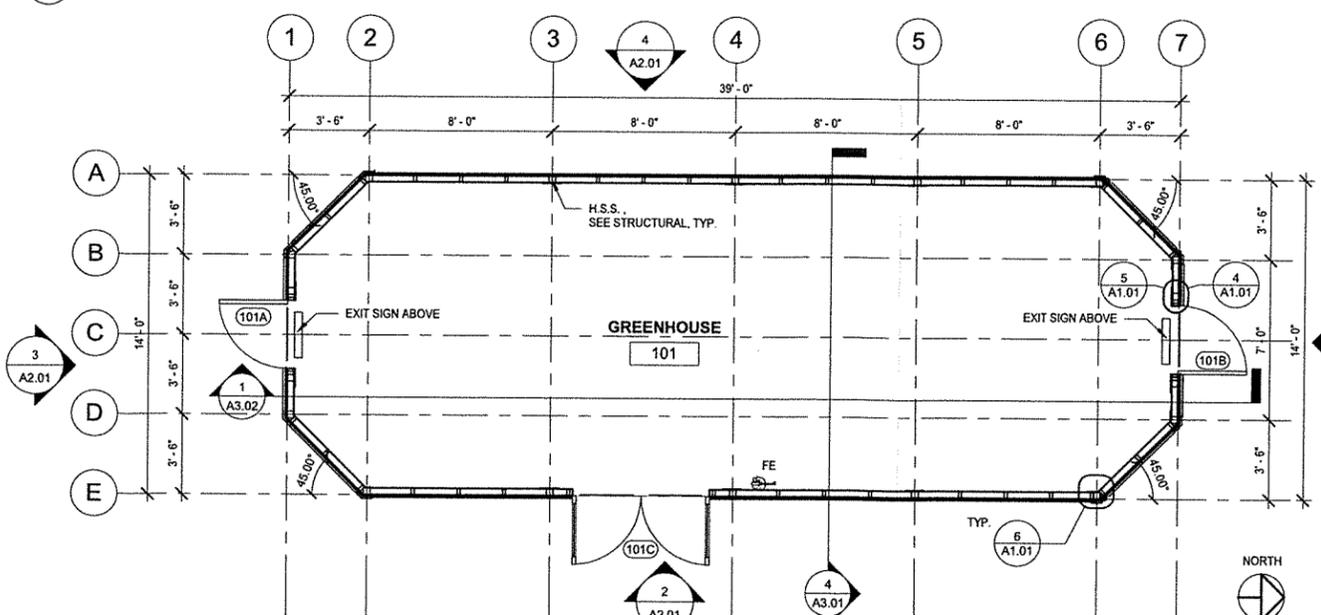
FIRE EXTINGUISHER: 1 REQUIRED, 1 PROVIDED - JL COSMIC 10E, 4A-60BC SECTION 906

FIRE ALARM: NOT REQUIRED, NOT PROVIDED SECTION 907

KNOX BOX: PROVIDED PER MOA FIRE REQUIREMENTS IFC SECTION 506.1



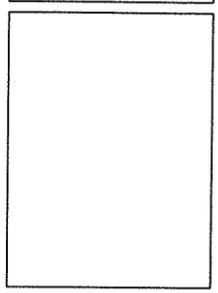
1 FOUNDATION PLAN
A1.01 1/4" = 1'-0"



2 MAIN FLOOR PLAN
A1.01 1/4" = 1'-0"

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SCF GREENHOUSE
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ANCHORAGE, ALASKA

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1	A2.01	

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DATE 8-16-23

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JOB NO. 23022

SHEET CONTENTS

LIFE SAFETY, FOUNDATION PLAN, & MAIN FLOOR PLAN

SHEET NO

A1.01

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE

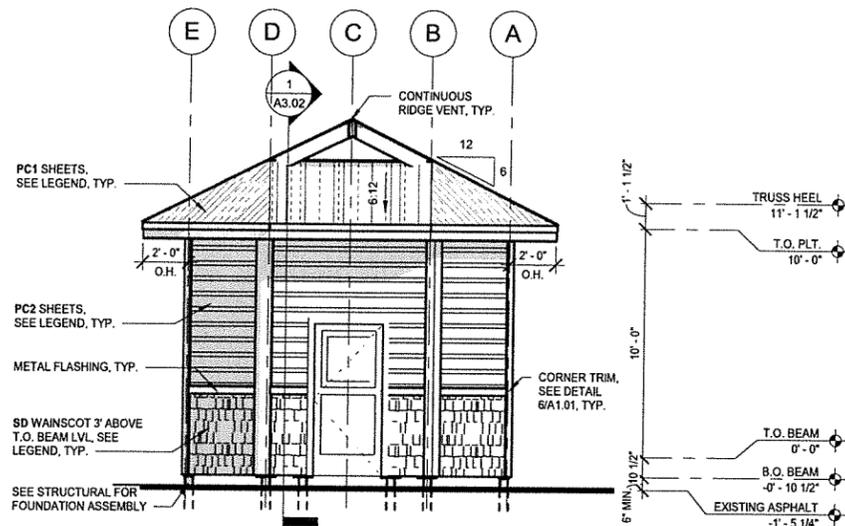
GENERAL CONSTRUCTION NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. ALL FINAL EXTERIOR AND INTERIOR FINISHES, COLORS AND CASEWORK TO BE SELECTED BY OTHERS.
3. CONTRACTOR SHALL COMPLY WITH STATE, LOCAL AND FEDERAL REGULATIONS REGARDING DEMOLITION, HANDLING AND DISPOSAL OF REGULATED MATERIALS. CONTRACTOR SHALL ALSO COMPLY WITH FEDERAL AND STATE OSHA REQUIREMENTS FOR WORKER PROTECTION.
4. UPON COMPLETION OF THE WORK, ALL AFFECTED AREAS SHALL BE FINAL CLEANED TO INCLUDE FINISHES, SURFACES, AND FIXTURES.
5. ALL WORK WILL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE, AND ALL OTHER MOA AND LOCAL CODES, INCLUDING ALL AMENDMENTS.
6. DO NOT SCALE THE DRAWINGS TO OBTAIN CONSTRUCTION DIMENSIONS.
7. ALL INFORMATION SHOULD BE FIELD VERIFIED BEFORE WORK PROCEEDS. ANY DISCREPANCIES FOUND BETWEEN DRAWINGS, DISCIPLINES OR FIELD CONDITIONS, CONTACT THE ARCHITECT IMMEDIATELY.
8. ALL DOCUMENTS AND MATERIALS PRODUCED DURING THE PROJECT ARE INSTRUMENTS OF SERVICE. THE ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT SHALL HAVE THE RIGHT TO USE PHOTOGRAPHS OR DRAWING OF THE PROJECT FOR PROMOTIONAL OR OTHER PURPOSES.

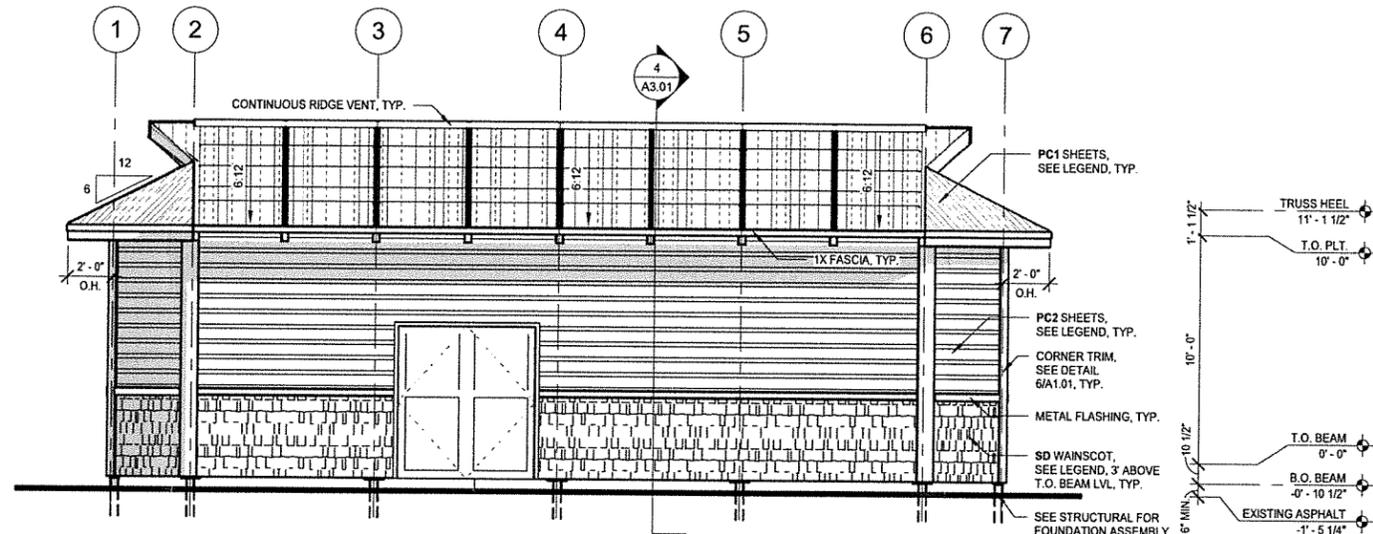
MATERIAL PRODUCTS LEGEND

- PC1 - AMERILUX LEXAN THERMOCLEAR POLYCARBONATE SHEETS
- PC2 - SUNSKY U-PANEL POLYCARBONATE PANEL
- SD - SHAKERTOWN CRAFTSMAN CEDAR SHINGLE PANEL - STAGGERED BUTT STYLE

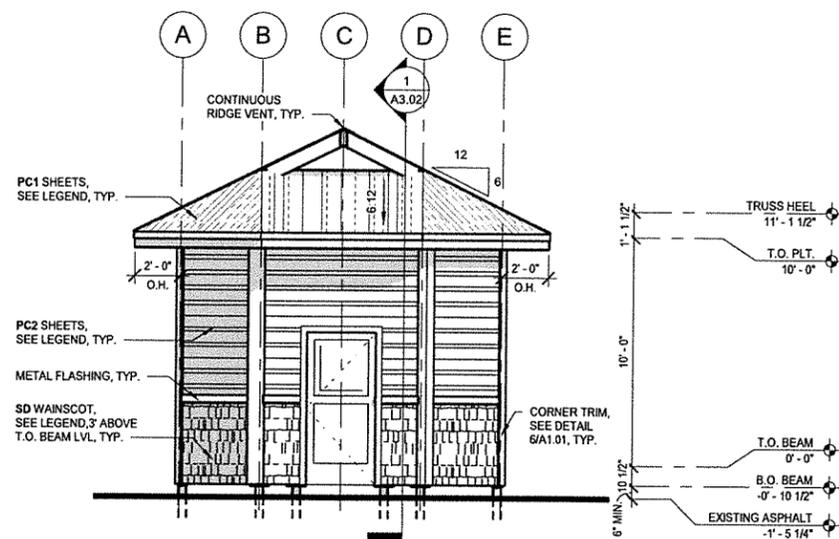
- NOTE:
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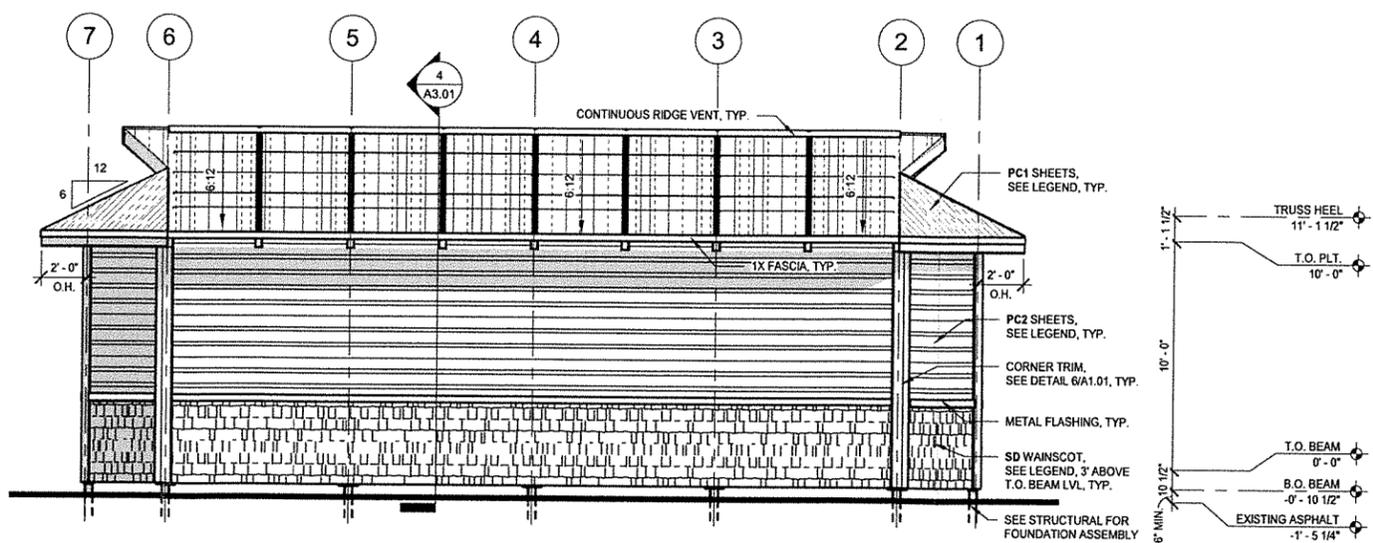
1 NORTH ELEVATION
A2.01 1/4" = 1'-0"



2 EAST ELEVATION
A2.01 1/4" = 1'-0"



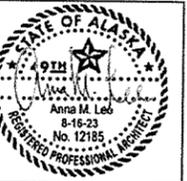
3 SOUTH ELEVATION
A2.01 1/4" = 1'-0"



4 WEST ELEVATION
A2.01 1/4" = 1'-0"

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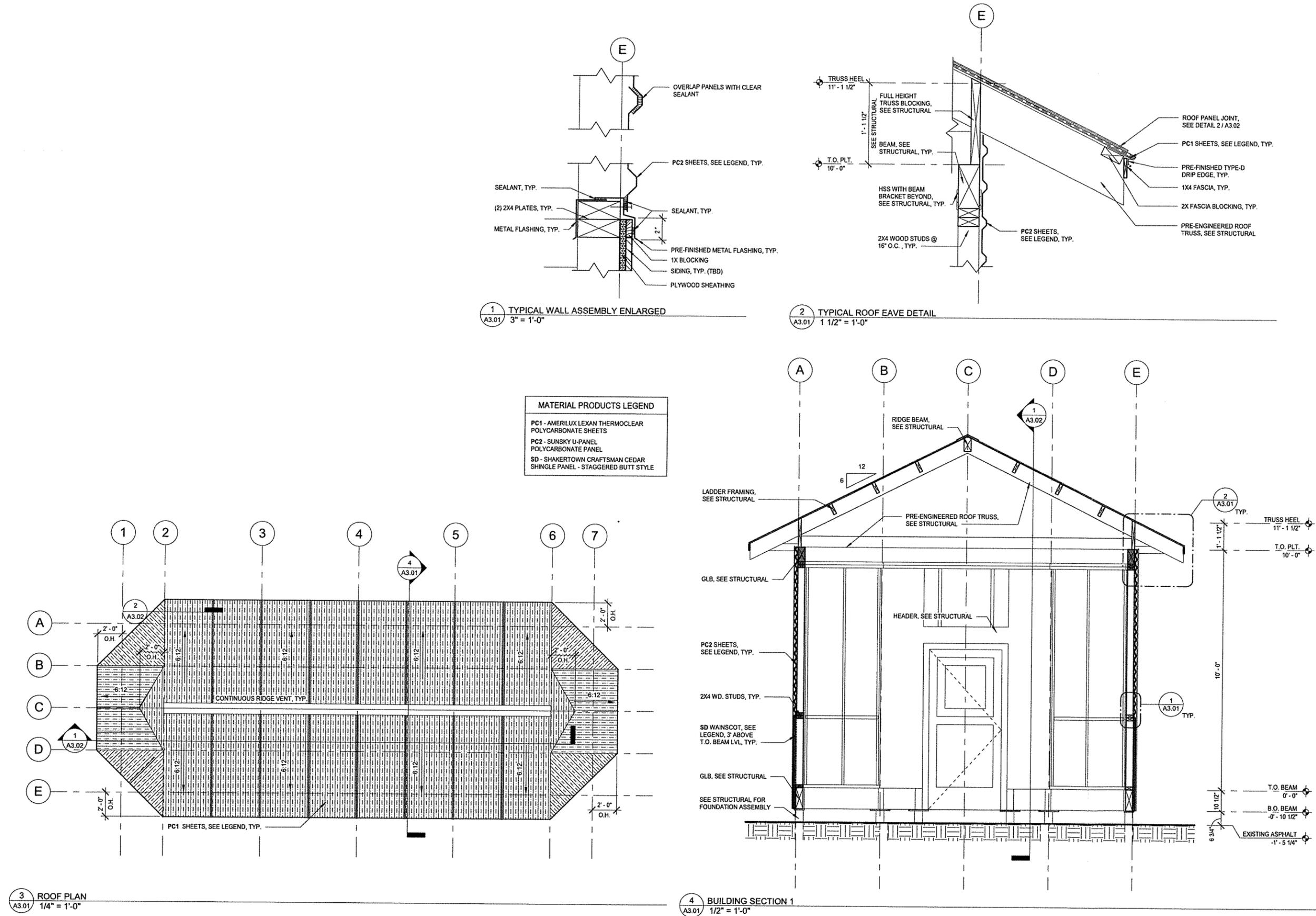
SCF GREENHOUSE
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ANCHORAGE, ALASKA

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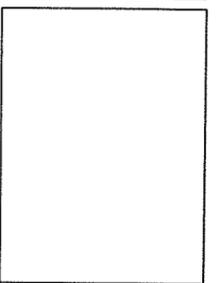
SHEET CONTENTS
EXTERIOR ELEVATIONS

SHEET NO
A2.01



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SHEET CONTENTS
 BUILDING SECTION 1 & ROOF PLAN

SHEET NO
A3.01

22x34 SHEET IS FULL SCALE
 11x17 SHEET IS HALF SCALE

Drawing File: \\alder\alder\arch\main\ALDER ARCHITECTURE MAIN\2023 Projects\23022 SCF Greenhouse - Anchorage\Drawings\Revit File\23022 - SCF Greenhouse 8-9-23.rvt

Plot Date: 8/16/2023 12:29:11 PM

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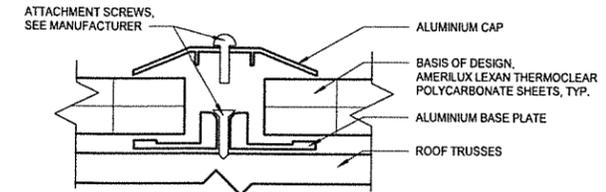


MATERIAL PRODUCTS LEGEND

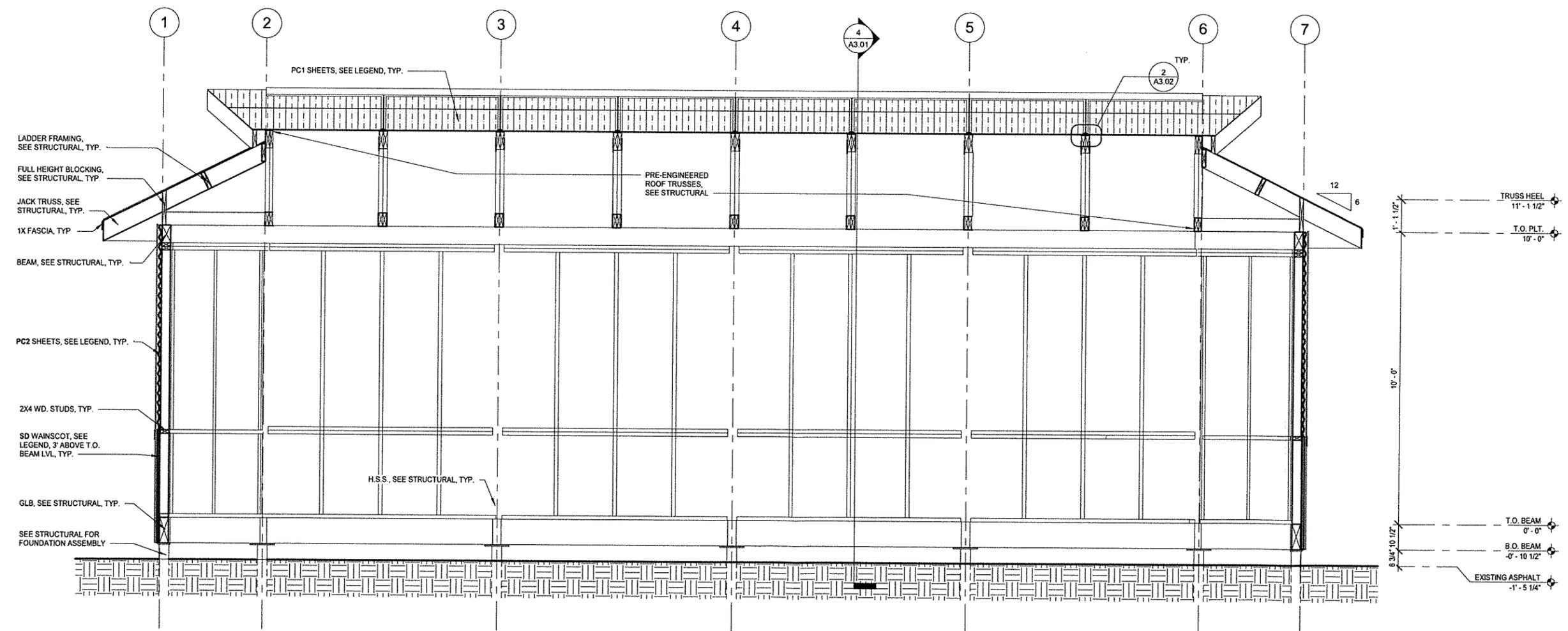
PC1 - AMERILUX LEXAN THERMOCLEAR POLYCARBONATE SHEETS

PC2 - SUNSKY U-PANEL POLYCARBONATE PANEL

SD - SHAKERTOWN CRAFTSMAN CEDAR SHINGLE PANEL - STAGGERED BUTT STYLE



2 ROOF PANEL SHEET JOINT
1/2" = 1'-0"



1 BUILDING SECTION 2
1/2" = 1'-0"

SCF GREENHOUSE
6901 E TUDOR ROAD
ANCHORAGE, ALASKA

REVISIONS

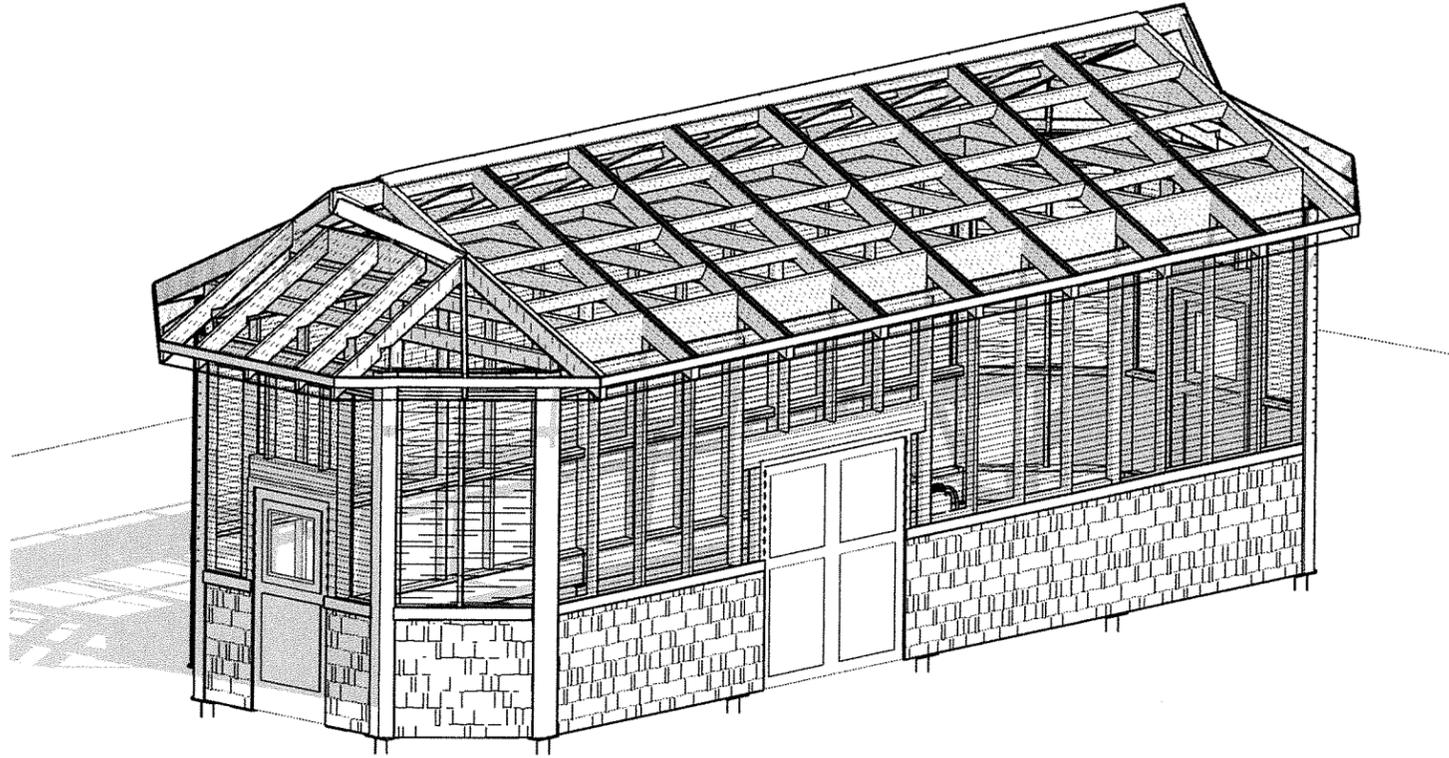
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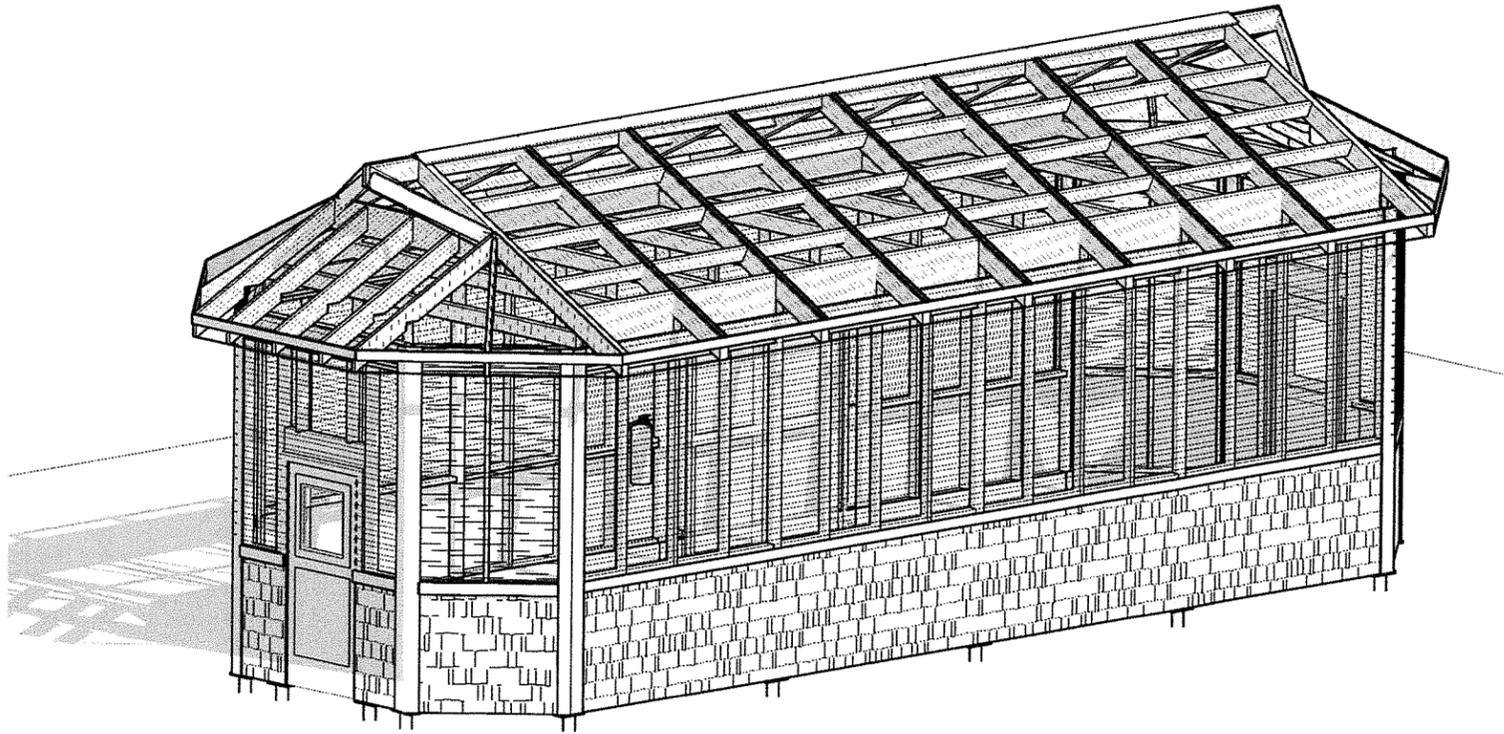
SHEET CONTENTS
BUILDING SECTION 2

SHEET NO
A3.02

22x34 SHEET IS FULL SCALE
11x17 SHEET IS HALF SCALE



2 3D VIEW 1
A3.03



1 3D VIEW 3
A3.03

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SHEET CONTENTS
3D VIEWS

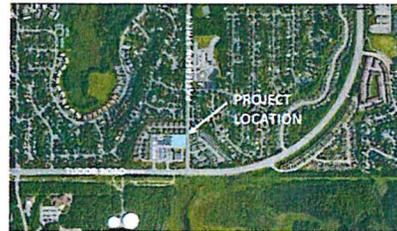
SHEET NO
A3.03



Southcentral Foundation wants to add a greenhouse at their Chugach Mall location (6901 E. Tudor Road). Due to the special limitations on the property, a public hearing Site Plan Review is required.

You are invited to learn more about the work by attending the Scenic Foothills Community Council meeting on **Thursday, May 2** at 6:30pm at Congregation Beth Shalom (7525 E. Northern Lights Boulevard).

We look forward talking to you! If you cannot attend the community council meeting, but want to learn more about the project, you may contact Melissa Branch with Big City Engineers at 907-360-0985 or mbranch@bigcityak.com.





Scenic Foothills Community Council

Agenda for Thursday, MAY 2ND, In-Person Meeting, 7525 E Northern Lights Blvd

Online option available for presenters,

<https://us06web.zoom.us/j/85444090015> - Meeting ID: 85444090015 - Passcode: 440704

Scenic Foothills Community MAY Meeting....

Pursuant to last month's resolution, the Madelynne Dr. project was terminated

6:30 – Introduction

- Welcome
- Approval of Agenda; does anything need to be added?

6:35 – Guest Presentations

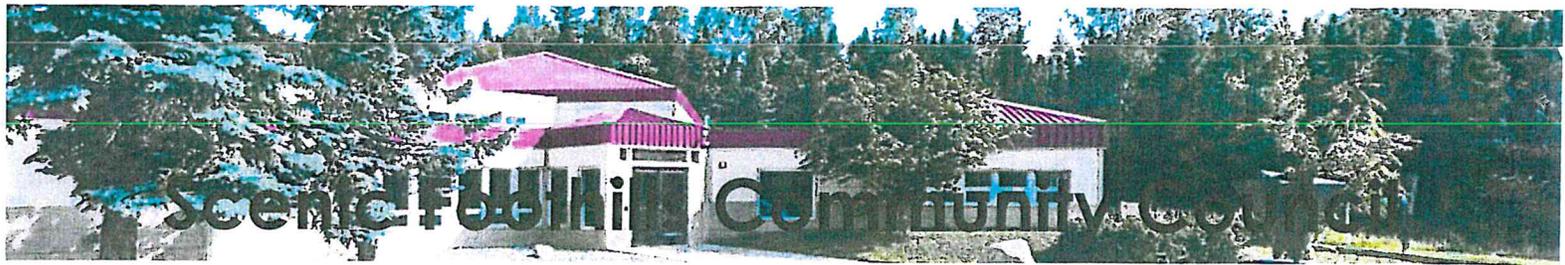
- ASSEMBLY
- REPRESENTATIVE
- SENATOR
- SCHOOL BOARD

7:20 – Community Issues and Discussion

- MELISSA A. BRANCH, PRESENTATION ON GREENHOUSE FOR ELDER CARE
- TUDOR PATTERSON CHANNELIZATION
- CIP LIST, COMMITTEE NEEDED
- SCENIC PARK ELEMENTARY, FOLLOW UP TO LAST MONTH'S RESOLUTION
- HOME INITIATIVE, COMMENTS DUE BY THE 3RD
- CHALLENGE GRANT RESULTS-WE WERE AWARDED FULL FUNDING! Needed are volunteers for the May 17 at noon at Fairview Lions Park for the kickoff celebration.

8:00 – Motion to Adjourn

- I HOPE SOMEONE BROUGHT SNACKS



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Chair: Daniel Clift

phone: 907.339.9100

email: dhclift@gmail.com

email: sfccakpresident@gmail.com

Vice Chair: Yarrow Silvers

phone: 907-744-1574

email: travelingsilvers@gmail.com

email: SFCCAkvcePresident@gmail.com

Treasurer: Carolyn Clift

phone: 907.748.4632

email: careclift@gmail.com

Secretary: Dawn Groth

phone: 907-720-3580

email: anchorage saferoutes4u@gmail.com

FCC Delegate: Patrick LeMay

phone: 907-250-9038

email: patrick.lemay@lemayengineering.com

email: SFCCAkfccChair@gmail.com

FCC Alternate: Daniel Clift

phone: 907.339.9100

email: dhclift@gmail.com

email: sfccakpresident@gmail.com

Publicity Chair: Kara Norby

Phone: 907-782-6985

Email: norby_kara@yahoo.com

Public Observer: Roger Shaw

Phone: 907-337-3949

Email: rogerak@me.com

Member At-Large: Nelta Edwards

Phone: 907-727-3886

Email: nelta.edwards@gmail.com



Scenic Foothills Community Council

Agenda for Thursday, MAY 2ND, In-Person Meeting, 7525 E Northern Lights Blvd

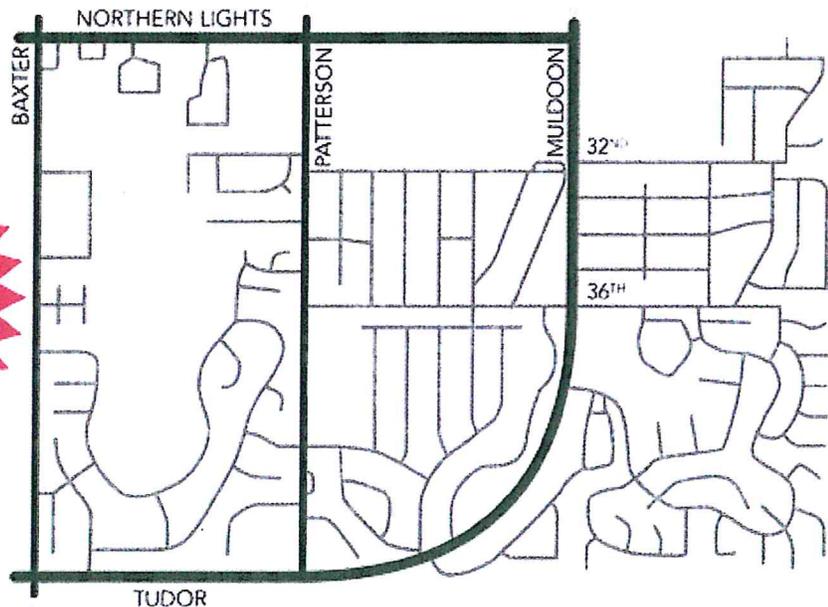
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GET INVOLVED

Scenic Foothills Community Council

**Meeting
Thursday
Night!**



Facebook.com/scenicfoothills

[Start meeting](#)

Sign up to receive emails about our community at <http://www.communitycouncils.org>

Scenic Foothills Community Council
May 2, 2024

Meeting Notes

Attendance

Approximately 20 people in attendance (12 in-person, 8 online)

Project Team:

Melissa Branch, Big City Engineers
Shawn Glenn, Southcentral Foundation

Notes

The meeting started at 6:30pm.

Daniel Clift, community council president, introduced me at 7:20pm.

I provided an overview of the property, the project, and why we were before the community council.

I then asked for questions and comments.

How big is the greenhouse?

It is roughly 530 square feet.

How tall is the greenhouse?

It is roughly 12.5 feet to top of ridge.

Is it custom-built or a prefabricated structure?

Custom build.

Submitted by Melissa Branch, P.E.