

**PLANNING DEPARTMENT
CURRENT PLANNING DIVISION**

MAJOR SITE PLAN REVIEW

DATE: May 11, 2016

TO: Urban Design Commission

THRU: Hal H. Hart, AICP, Director

SUBJECT: 2016-0043: Approval of a Major Site Plan Review for the South Anchorage Sports Park Improvements Project

LOCATION: Tract B, South Anchorage Sports Park Subdivision, (Plat 98-53), generally located south of O'Malley Road, north of West Klatt Road, and east of the Klatt Bog

SITE ADDRESS: 769 West Klatt Road

COMMUNITY COUNCILS: Bayshore-Klatt, Old Seward-Oceanview

GRIDS: SW2629 & SW2630

PARCEL ID NO: 019-011-10

ATTACHMENTS:

1. Zoning & Location Maps
2. Application
3. Departmental Comments
4. Posting Affidavit
5. Historical Information

RECOMMENDATION SUMMARY:

APPROVAL with conditions.

SITE:

Acres: 61.04 acres
Vegetation: Mostly cleared-fields with some trees/shrubs along the boundaries
Zoning: PLI-p
Topography: Relatively level
Existing Use: South Anchorage Sports Park
Soils: Peat, organics overlaying silt/clay to sandy silt soils

COMPREHENSIVE PLAN:

Classification:	Park per <i>Anchorage 2020</i>
Density:	N/A

SURROUNDING AREA:

	<u>NORTH</u>	<u>EAST</u>	<u>SOUTH</u>	<u>WEST</u>
Zoning:	PLI-p	B-3 SL	R-1A	AF/R-1A
Land Use:	Minnesota Drive/O'Malley Road	Commercial	Klatt Road/Residential	Antenna Farm/South Klatt Bog

PROPERTY HISTORY:

3/24/72	GAAB Ordinance 150-71	Petition site zoned U (Unrestricted) during the Areawide Zoning for Area F.
07/18/78	Plat 78-109	Final plat recorded for Tower subdivision, Tracts A, B, and C, an 80-acre subdivision, generally located north of Klatt Road between Timberland Drive and Hilltop Drive, within the E 1/2, NE 1/4 Section 24, T12N, R4W, S.M., Alaska. Thirty feet (30' dedicated for the east one-half of Tower Road, (northern extension of Hilltop Drive).
08/06/85	AO 85-23	AMC 21.40.015B. enacted; Unrestricted District renamed Transition District.
1997		Municipality acquired the 65-acre site for the future South Anchorage Sports Park.
05/11/98	PZC 98-77	Planning & Zoning Commission approved a site plan for the South Anchorage Sports Park (formerly the South Anchorage Ballfields subject to four (4) conditions. (PZC Resolution 98-063)
5/20/98	Plat 98-53	Final plat recorded for Soccer & Baseball Subdivision, Tracts A & B with vacation of the 33 foot north-south section line easement common to Section 19, T12N, R3W, S.M., Alaska and Section 24, T12N, R4W, S.M., Alaska, located within Lots 1 and 2, Section 19, T12N, R3W, S.M., Alaska and Tract B, Tower Subdivision in Section 24, T12N, R4W, S.M., Alaska.

07/09/98	UDC 98-017	Urban Design Commission approved a Public Facility Landscaping Plan for the South Anchorage Sports Park (formerly the South Anchorage Ballfields).
12/15/98	PCZ 06-162	Indefinite postponement of an Administrative Review of a minor amendment to the site plan for the South Anchorage Sports Park to upgrade one existing baseball field and to develop one future baseball field to be located north of the existing field for the American Legion Ballfields Improvement Project.
08/01/11	2011-082	Planning & Zoning Commission approved a conditional use for a natural resource extraction to import 70,000 cubic yards of fill for placement within the South anchorage Sports Park. (PZC Resolution 2011-030)
12/01/14	2014-0155	Planning & Zoning Commission approved the 2014 Update of the Master Plan for the South Anchorage Sports Park. (PZC Resolution 2014-062)
04/28/15	AO 2015-25(S)	Assembly approved dedication of South Anchorage Sports Park as Municipal park land.

Authority: In accordance with AMC 21.03.180D.2, the Urban Design Commission is the decision-making authority for major site plan reviews with the exception of “non-residential development with a gross floor area of 100,000 square feet or greater, and for residential development of 140 units or more” which fall under the approval authority of the Planning and Zoning Commission.

Site Description and Proposal

Request

This is a request for approval of the Major Site Plan for the 2016 South Anchorage Sports Park (SASP) Improvements Project. The ±61-acre park is bordered by Minnesota Drive/O’Malley Road on the north, privately owned property on the east, West Klatt Road on the south and South Klatt Bog on the west. The SASP wraps around the north, east and south boundaries of Tower Subdivision.

Undeveloped I-2 zoned property and Seventy Acre Park zoned PLI-p is located directly north of the SASP across Minnesota Drive. Undeveloped R-1 zoned property is located northwest of the petition site. To the west, Tower Subdivision is developed with an antenna farm is zoned AF. South Klatt Bog, located further west, is zoned R-1A. Property to the east is zoned B-3 SL is developed with commercial and office uses. The R-1A property to the south of West Klatt Road is developed with single-family residential subdivisions.

The *Anchorage Bowl Park, Natural Resource, and Recreation Facility Plan* classifies the SASP as a Special Use Area. Appendix A: Park and Recreation Inventory of the Plan

indicates that the 65 acres are used for two Little League fields, one major league field and five soccer fields. The purpose of Special Use Areas is for athletic tournaments/events; highly organized activities; activities with special requirements, and economic engine for tourism. A Special Use Area can be designated for single-use sports fields and/or complexes. The soccer fields are unusable due to uneven surfaces because of the high organic content of the subgrade. The development of soccer fields in Kincaid Park has eased the demand for soccer fields in SASP.

Existing improvements to the SASP currently include: an America Legion baseball field; two Little League fields; a paint ball facility; areas for dog walking, and the operation of radio-controlled (R/C) models in the southeast corner of the park. In 2008, as part of the development of the CIRI property to the east, public water and sewer mains were constructed through the park, although no services were provided for the park. In 2009, an irrigation system was constructed to serve sports fields in the park.

Phase 1 improvements include the following:

- An inclusive playground and pavilion with the following features:
 - A 40,000 square foot playground and pavilion located near the main entrance in the southern section of the park;
 - A gateway feature;
 - A 900-square foot picnic shelter;
 - Picnic tables and benches;
 - Trash receptacles; and
 - Bike racks.
 - ADA parking will be developed in close proximity to the playground/pavilion.
- South area parking lot and signage:
 - The parking lot will receive minor drainage improvements and interior landscaping. The parking lot will be connected to the playground and pavilion with pedestrian cross walks.
 - Signage, striping, and a drop-off/pick-up pullout will be provided.
 - Lighting and landscaping added to meet T21 requirements.
- Site Lighting will be provided on roadways, in parking areas, within the playground/pavilion, and the fenced dog park.
- Radio-controlled model area (R/C Park) will be relocated from the southeast to the southwest corner of the park. Landscaping and a low-rise berm will be provided along SASP's boundary with Klatt Road, parallel to the R/C Park, to buffer the residential development on the south side of Klatt Road.
- Visual Enhancement Landscaping:
 - Visual enhancement landscaping along Klatt Road, immediately south of the relocated R/C Park area;
 - Thinning of existing vegetation between the southern parking lot and West Klatt Road to provide lines-of-sight for safety of park visitors.
 - New, additional landscaping within the south parking lot.

- Ornamental plantings within the playground and dog park area.
- Off-leash Dog Park:
 - The ±38,000 SF area will be enclosed with a 5-foot chain link fence. This area will be graded for positive drainage out of the area and resurfaced with topsoil and seed to establish turf.
 - Site lighting will be added for safe winter use.
 - The Dog Park will be separated from other uses with a 5-foot chain link fence to be constructed along the southern paintball border; and
 - Mounds and ornamental plantings to block visual distraction between the paintball venue and the dog park.

AMC 21.03.180F. Approval Criteria

An application for administrative or major site plan review shall be approved upon a finding that the site plan meets all of the following criteria:

1. *The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.*

Complies. Plat 98-53 was recorded on May 20, 1998 for Tracts A and B, Soccer and Baseball Subdivision. The SASP is located on Tract B. There has been no change to the configuration of Tract B.

A site plan for the SASP was approved by the Planning and Zoning Commission (PZC) on May 11, 1998. The PZC approved a master plan for the SASP on December 1, 2014. There has been an on-going public involvement throughout the design of the park. Initially, baseball and soccer fields were of primary interest and were among the first amenities developed in the park. There has been consistency throughout the design and development process locating the recreational amenities within the park

The RC Park (radio-controlled vehicle) is located in the southwest corner of the park as shown on the approved SASP Master Plan. Two existing Little League Fields are located between the RC Park and the existing south parking lot. The Community Park Facilities, including playground, pavilion, gateway feature and toilet facilities, are located north of the parking lot in conformance with the SASP Master Plan.

2. *The site plan complies with all applicable development and design standards set for in this title, including, but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.*

Please see discussion below starting on page 7.

3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

The radio controlled model activity is more visible and could generate noise that can be disturbing to the adjacent residential neighborhood. To mitigate the impact of the R/C Model Park, a two- to three-foot berm landscaped berm will be constructed to minimize the impact of the R/C portion of the park activities. Visual enhancement landscaping will also be installed along a portion of the south boundary of the West Klatt right-of-way adjoining the residential neighborhood.

4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

The South Anchorage Sports Park is not within the boundary of either the *West Anchorage District Plan* or the *Hillside District Plan*.

Policy 42: Northern city design concepts shall guide the design of all public facility projects including parks and roads.

The landscape elements were selected with consideration for climate and to enhance the park's setting. Road and site lighting will allow use of the park's recreational features during the winter.

Policy 44: Design and build public improvements for long-term use.

The park is underlain with organics requiring special attention to the design of structural foundations.

Policy 46: The unique appeal of individual neighborhoods shall be protected and enhanced in accordance with applicable goals, policies, and strategies.

The south boundary of the park is heavily vegetated. Selective thinning of the existing vegetation will result in visual enhancement that exceeds code requirements thereby providing a screening for the adjacent neighborhood while still providing adequate visibility for a safe environment for park visitors.

Policy #47: Provide distinctive public landmarks.

The design elements of the playground, pavilion, and plaza will provide an attractive gathering place for the community.

Policy #50: Healthy, mature trees and forested areas shall be retained as much as possible.

The existing trees along West Klatt Road will be preserved, with selective thinning of small growth.

Policy #71: Utilize wetlands to manage drainage.

Previous SASP drainage improvements have routed run-off and maintain groundwater flow into Klatt Bog. This drainage pattern will be preserved with the improvements to SASP.

Policy #78: Design Municipal facilities to be frequented by the public.

The improvements proposed for the 2016 South Anchorage Sport Park Improvements Project will improve the existing facilities and provide new amenities such as the playground, pavilion, picnic tables, seating, ADA accessibility, and new trails that should attract more visitors to the park.

Policy #86: Encourage public/private collaboration for development, and maintenance of recreational spaces, parks sports fields, public use facilities, and trails.

There has been public involvement in the concept and design of the South Anchorage Sports Park and the funding of the project improvements through strong advocacy by the local community with the State Legislature. This project fulfills the community's highest priorities for the SASP.

AMC 21.04.060F. PR: Parks and Recreation District

1. Purpose

The PR district is intended to include municipal lands dedicated by the assembly as parks in accordance with AMC 25.10.080.

Complies. The SASP is zoned PLI-p. Under the current Title 21, AMC 21.04.060F.1, the zoning designation for a park is PR (Park and Recreation) District. The PLI-p zoning district no longer exists under the current Title 21. The PR district is the most appropriate district for the South Anchorage Sports Park. The PR district is intended to include municipal lands dedicated by the assembly as parks. SASP was dedicated as park land with the adoption of AO 2015-25(S) on April 28, 2015.

2. District-Specific Standards

Recreational areas developed spectator sports, such as soccer and softball fields, shall have L2 buffer landscaping between such areas and abutting residential uses.

Does not apply. West Klatt Road separates the South Anchorage Sports Park from the residential subdivisions located south of the park. The park does not share a common boundary with the residential development.

Complies. Table 21.21.07-2: Minimum Site Perimeter Landscaping – By Abutting District or Street requires L1 visual enhancement landscaping adjoining Klatt Road that is designated an arterial street on the *Official Streets and Highways Plan* (OS&HP). Landscaping and a low-rise berm will be provided along SASP' boundary with Klatt Road, parallel to the R/C Park. Visual enhancement landscaping will be provided along the south boundary of the Klatt Road right-of-way facing the residential development.

AMC 21.07.080E.2.c.: Parking lot interior landscaping requirements for parking lots with 40 to 100 parking spaces shall provide an area of at least five percent of the parking lot devoted to landscaping.

Complies. There are 96 parking spaces in the south parking lot. The modified south parking lot now has over 21% interior parking lot landscaping, adding over 8,400 SF of visual enhancement landscaping to the project from the original submittal. The existing parking lot has no interior parking lot landscaping.

AMC 21.05.040G.2. Parks and Open Areas

a. Definition

An area that is predominately open space, reserved for and designed to be used principally for active and/or passive recreation, and/or to serve ecological and aesthetic functions; any area designated as park by the assembly.

b. Use-Specific Standards in the Anchorage Bowl

i. All development projects in municipal parks require a site plan review, as follows:

- (A) For all development project in municipal parks, the parks and recreation commission shall hold a public meeting, which shall include the opportunity for oral public comments.

Complies. Parks and Recreation Commission held a public meeting on April 18, 2016.

- (B) Any minor discrepancies with an approved park master plan shall be described and justified. Significant discrepancies, as determined by the parks and recreation commission, require a change in the master plan.

Complies. One of the three driveways to the parking lot has been eliminated resulting in a safer pedestrian access to the Playground Area from the parking lot.

- (C) All development projects costing more than \$500,000, or disturbing more than one acre of land and classified as a special use area shall be approved by a major site plan review in accordance with AMC 21.03.180D.

Complies. The SASP is a 65 acre park. Full implementation of the master Plan is estimated to cost \$10 million. Currently, there is \$2.3 million available for the Phase I improvements, which were identified in public consultation with the Bayshore-Klatt Community Council and the SASP Advisory Group. The park is classified as a special use area by the *Anchorage Bowl Park, Natural Resource, and Recreation Facility Plan*. Submission of this application for review by the Urban Design Commission conforms to this requirement.

- (E) *The decision-making body shall determine whether standards of this title relating to paving and lighting of parking lots shall be applied to a development project and considering the location and surrounding area of the project, and the anticipated level of use. If determined by the decision-making body, the paving and lighting standards for parking lots may be reduced or waived.*

Complies. The parking lots are paved with an asphalt surface. Implementation of the SASP Master Plan is expected to increase park visitation. There are three parking lots that contain 335 parking spaces to serve park visitors. No site lighting is currently provided. Lighting is proposed to be installed in 2016 in all the parking lots. Pavement rehabilitation will be accomplished with future phases of the park improvements.

AMC 21.06.020 Dimensional Standards

TABLE 21.06-3: TABLE OF DIMENSIONAL STANDARDS – OTHER DISTRICTS

PR and PLI: Parks and Recreation and Public Lands and Institutions District					
Uses	Area (sq. ft.)	Width (ft.)	Max lot coverage (%)	Minimum setback requirement	Maximum height
All	6,000	50	45	Front, side, and rear setbacks shall be 25 feet when the abutting district is DR, PR, PLI, or residential; otherwise, the setbacks shall be equal to the analogous minimum setback in the abutting district.	75 feet in the U-MED District, Anchorage Downtown Plan area, and the Midtown area bounded by the Seward Highway, Tudor Road, Arctic Boulevard, and Fireweed Lane. 45 feet in other areas. Greater height may be approved by major site plan review or through an institutional master plan.

The South Anchorage Sports Park complies with the required dimensional standards as shown in the following table:

Use:	Park	Permitted use
Area:	61.04 acres	Complies
Width:	±851 feet	Complies
Maximum lot Coverage:	<45%	Complies
Yard Setbacks:		
Front/W. Klatt Rd.:	25 feet	Complies
Secondary Front/C St.	12.5 feet	Complies
Secondary Front/Minnesota Pkwy.	12.5 feet	Complies
Side	12.5 feet	Complies

Klatt Bog adjoins approximately 250 feet of the northwest boundary of the SASP and the southwest boundary is approximately 500 feet in length. A 25 foot side yard setback is not required along the western boundary of the park as Klatt Bog is not zoned PLI. Klatt Bog is zoned R-1A.

For corner lots with two or more frontages and double-frontage lots, Section 21.06.030C.4.a.i. requires that, “At least one front setback shall be provided having the full depth required generally in the district.”

Section 21.06.030C.4.a.ii states that “No other front setback on such lot shall have less than half the depth required generally for front setbacks in the district.” It should be noted that Klatt bog adjoins a ±200-foot portion of the northwest petition site boundary and is across Tower Road from approximately a ±500-foot portion of the southwest boundary of the petition site. However, the West Klatt Bog is zoned R-1A, not PLI; therefore a 25-foot side yard setback is not required along the west boundary of the South Anchorage Sports Park that adjoins or is adjacent to the Klatt Bog.

Urban Design Commission Review Questionnaire

Cost:

Plant Material Budget:	\$ 142,000
Total Landscape Budget:	\$ 300,000
Construction Budget:	\$2,100,000

Feasibility:

There is a \$2.3 million budget to accomplish the proposed improvements. Natural vegetation exists along a portion of the south property boundary saving money for other improvement in the park. The existing vegetation will be selectively thinned to remove the smaller growth which will provide lines of sight to provide a safer environment for park visitors. There has been on-going public involvement that provides support for the South Anchorage Sports Park and the proposed improvements for the park. The existing activities within the park include Little League baseball, American Legion baseball, radio-controlled model cars, paint ball and dog walking areas. With the addition of an all-inclusive playground, pavilion, picnic tables,

expanded ADA seating facilities, trails and restroom facilities, more people will visit the park thereby expanding the base of support for the park.

Planning and design criteria, including:

- a. The external impacts generated by the projects on the adjacent areas:

The Phase 1 implementation plan provides visual enhancement landscaping along the south boundary of the park to soften the impact of park activities on the residential development on the south side of West Klatt Road.

Existing vegetation consists of a dense grove of primarily Paper Birch (*Betula neoalaskana*) varying in size between 1 and 8-inch caliper. Other species include willow and alder. Cottonwood trees exist, but are not located on the SASP property. Some of the existing vegetation exceeds the minimum requirements of the visual enhancement landscaping in terms of caliper and height that will provide a more effective visual and sound barrier for the dwellings that front onto West Klatt Road.

There will be selective thinning of the vegetation. All trees greater than 3" caliper will be retained. All the cottonwood trees are to be removed. None of the alder or willow trees are to be retained. The reason for thinning the existing vegetation is to provide lines of sight to enable police patrols to see into the park thereby providing a safer environment for park visitors during long winter nights.

Any vegetation located in the West Klatt Road right-of-way that is to be removed will require a permit to be obtained from the Municipal Right-of-Way Division prior to its removal.

- b. The extent to which the landscaping elements complement, maintain, or improve the landscape quality of adjacent neighborhoods and areas:

Installation of visual enhancement landscaping along West Klatt Road will improve the streetscape of the right-of-way. Currently, there is grass and low shrubs along some of the right-of-way. There is a sidewalk along the south boundary of the park; the landscaping will provide a more pleasant walking environment for pedestrians.

- c. The degree to which the landscape elements contribute to on-site use of the project, including safe, efficient, and comfortable public use:

Additional landscaping is to be installed around the north, east, and west perimeter of the south parking lot, as well as, interior parking lot landscaping. Snow will be stored at the south end of the parking lot.

Landscaping can provide a wind barrier, as well as, define the boundary between different activities within the park.

d. The visual attractiveness of the landscaping:

The vegetation was chosen for its survivability in a northern climate. All species were chosen for their hardiness, attractiveness, and similar character to the existing species in the park and surrounding area. Additional trees at larger than the minimum required by Title 21 will increase visual interest soon after the landscaping is installed. A combination of evergreen and deciduous trees will provide visual appeal both summer and winter.

e. The landscaping elements enhancement of the architecture of the project, including the integration of internal and exterior architectural themes:

The only structure proposed for the park improvements is a picnic shelter consisting of a steel roof that is 30' in diameter supported by 7'-6" columns. The landscaping provides a buffer for the playground area, partially encloses the earthen mound area and provides a buffer for the picnic shelter which is not an enclosed structure.

DISCUSSION:

Subsequent to the submittal of the original application, a revised UDC Site Plan Exhibit was submitted. A row of interior parking lot landscaping was added to the south parking lot and the area of the playground was reduced in size. These amendments were the result of accelerating the relocation of the Remote Control (RC) from the southeast corner of the property to the southwest corner of the property. This resulted in the decrease of funding for other proposed improvements.

Additional landscaping was added to West Klatt Road at the request of an adjacent property owner and the Bayshore/Klatt Community Council.

Due to the decrease in available funding resulting from the modifications to the site and the increased cost of material, the playground size was reduced from 19,997 SF to 10,061 SF to ensure that adequate funding is available for the proposed 2016 park improvements. It should be noted that the decrease in the playground area does not reduce the amenities associated with the playground.

REVIEW AGENCY AND RETURNED COMMENTS:

1. On April 18, 2016, 141 public hearing notices were mailed. Two notices were returned unclaimed.
2. Bayshore-Klatt, Old Seward-Oceanview Community Councils: No comments received as of this writing.
3. Long Range Planning: The proposed phase plan includes implementation of lighting, landscaping, signage, pavilion, playground, drop-off/loading area, ADA-accessibility and construction of connectivity of trails in the area and visual enhance landscaping.

4. Municipal Traffic Department:

- a. Traffic Engineering will need to be part of the review process for the final plans for the restriping of the parking lot. Note: Plans need to include stall and aisleway dimensions to verify that code requirements are met.
- b. Traffic makes notes the following regarding any final plan. Reference is made to Sheet C6, Notes 6 and 7. Yellow, although highly visible, is not the appropriate color to use for shoulder-side pavement markings. Since this facility is open to public traffic, traffic marking (and signs) must conform to the use specifications in the *Manual on Uniform Traffic Control Devices*.

5. AWWU states that water and sewer are available to the property. AWWU has no objection to the site plan.

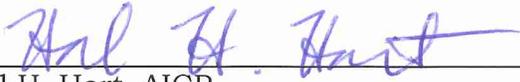
6. Other reviewing agencies that responded had no comment on the site plan.

DEPARTMENT RECOMMENDATION:

The Department recommends approval of the Major Site Plan for the South Anchorage Sports Park subject to the following conditions:

1. All construction and improvements related to this approval shall be substantially in compliance with the application, narrative, and the following plans on file with the Planning Department, except as modified by conditions of this approval:
2. 2016 South Anchorage Sports Park Improvement Project, prepared by The Boutet Company, Inc. Sheets: UDC Site Plan Exhibit, as amended, no date G1, G2, G3, dated: 3/2/2016; C1, C2 C3, C4, C5, C6; C7, C8, C9, C10, C 11, C12, C13, C14, dated: 3/2/2016; L1, L2, L3, L4, L5, L6, L7, 3/2/2016; E1, E2, E3, E4, E5, E6, E7, E8, 2/25/2016.
3. Revise Sheets C2, C3, C6, C8, C9, C10, L2, L5, L6 to conform to the UDC Site Plan Exhibit, as amended.
4. A notice of zoning action and the resolution shall be filed with the State of Alaska District Recorder's Office. Poof of such shall be submitted to the Planning Department.
5. Obtain a permit from the Municipal Right-of-Way Division prior to removal of any vegetation within any right-of-way.
6. Traffic control signage and shoulder street markings shall conform to the use specifications in the *Manual on Uniform Traffic Control Devices*.

Reviewed by:



Hal H. Hart, AICP
Director

Prepared by:



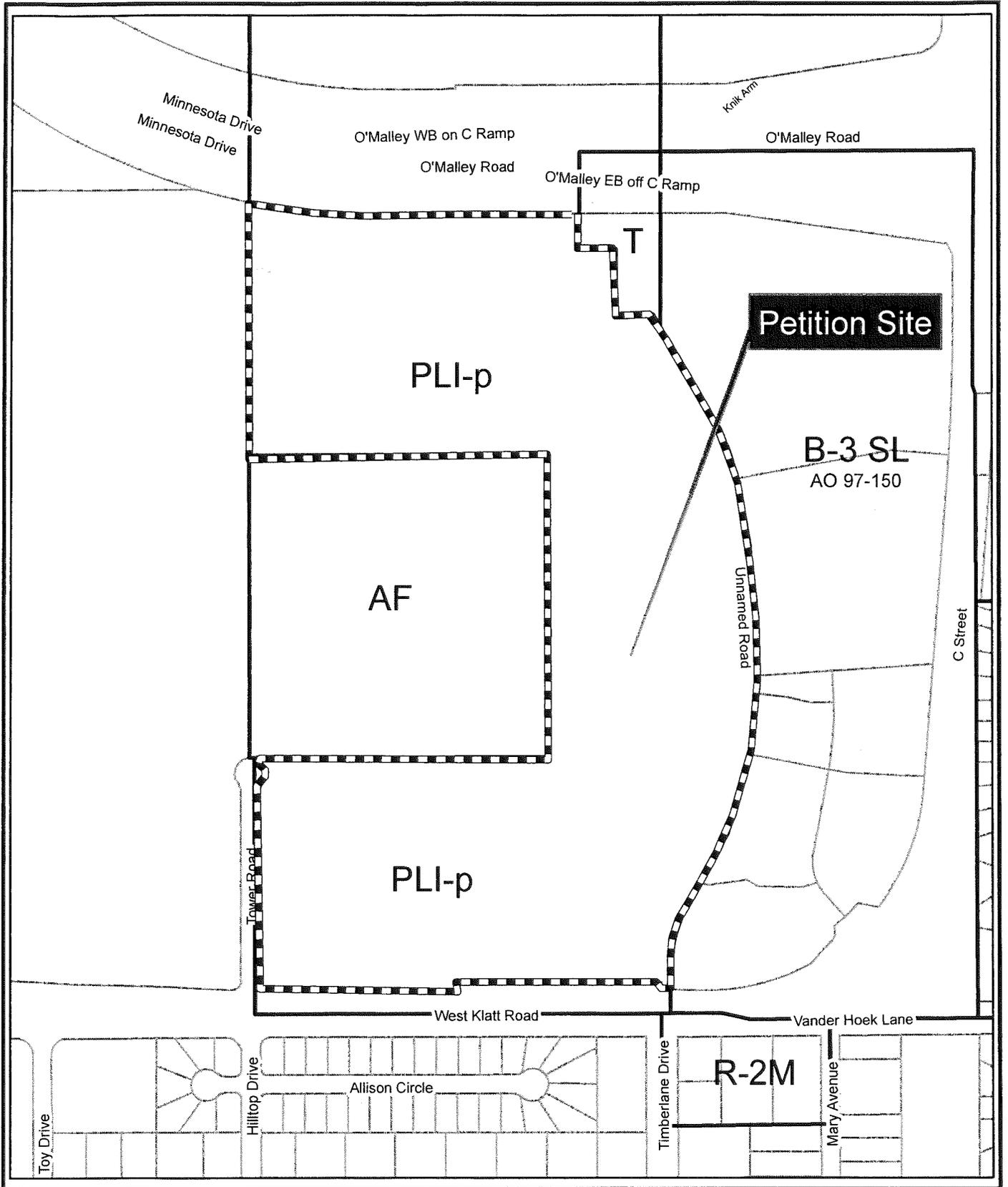
Margaret O'Brien
Senior Planner

(Case 2016-0043; Parcel ID No. 019-011-10)

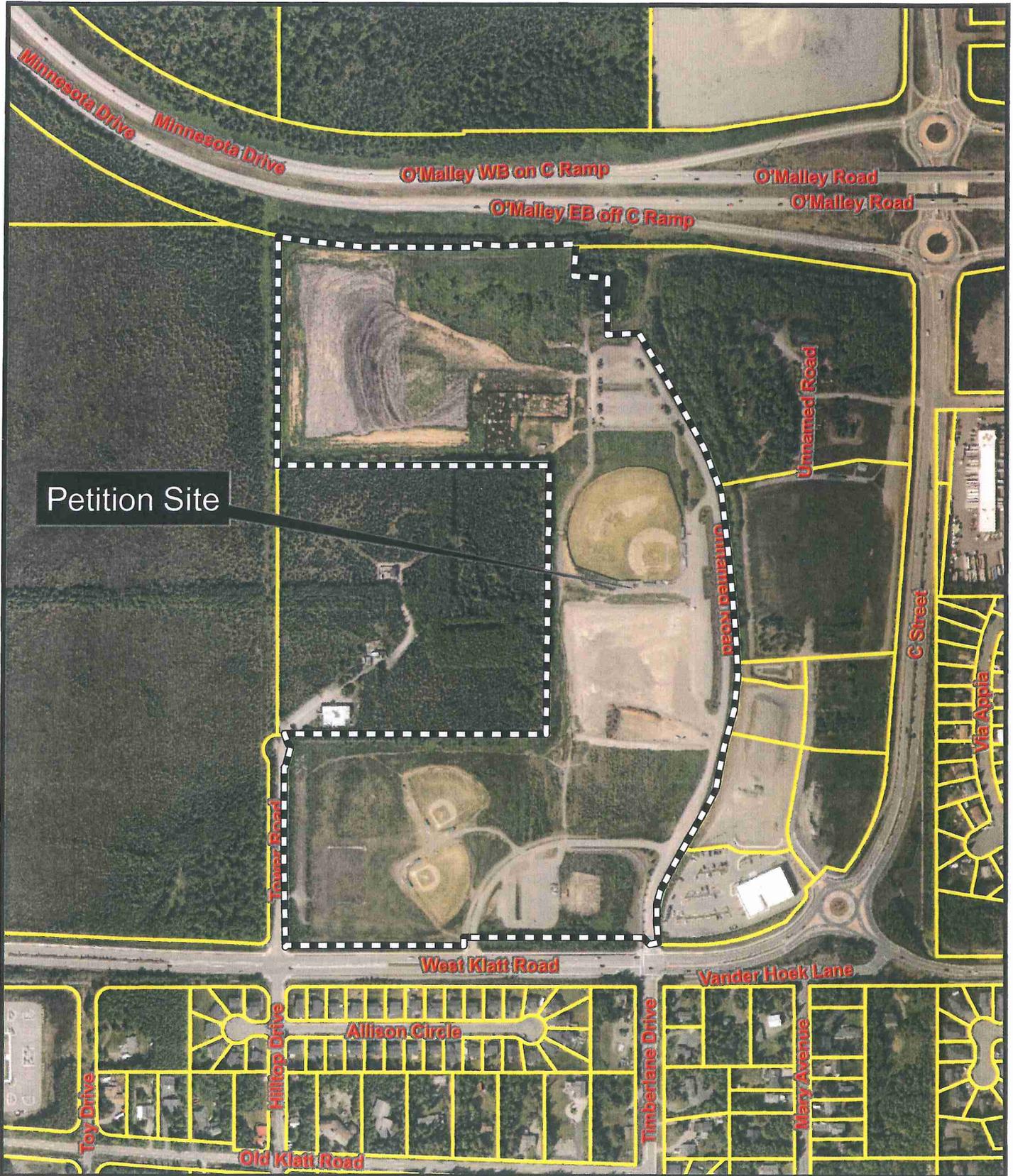
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**Zoning & Location
Maps**

2016-0043



2016-0043



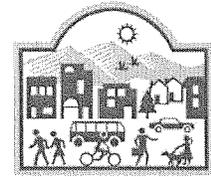
2.

**Review Agency &
Public Comments**



Municipality of Anchorage

Community Development Department
Planning Division



MEMORANDUM

Date: April 6, 2016

To: Margaret O'Brien, Senior Planner
Zoning and Platting Section

From: Jon Cecil, Senior Planner
Long-Range Planning Section

Subject: Case: 2016-0043 Major Site Plan Review for South Anchorage Sports Park Improvements
Project - CSS/UDC review

RECEIVED

APR 06 2016

PLANNING DEPARTMENT

The Long-Range Planning Section has reviewed the plans submitted for UDC review for a Major Site Plan Review of the South Anchorage Sports Park Improvements Project. Comments were previously submitted to PZC in October 24, 2014 in support of this project. Additionally, the proposed phase design includes implementation of lighting, landscaping, signage, pavilion, playground, drop-off/loading area, ADA-accessibility and construction of connectivity of trails in the area and certain visual enhancement landscaping. We do not have any further comments on this project at this time.

Municipality Of Anchorage
ANCHORAGE WATER & WASTEWATER UTILITY

MEMORANDUM

DATE: April 11, 2016

RECEIVED

TO: Supervisor, Planning Section, Planning Division

APR 11 2016

FROM: Paul Hatcher, Engineering Technician III, AWWU Planning

PLANNING DEPARTMENT

SUBJECT: **Zoning Case Comments**

Hearing Date: May 11, 2016

Agency Comments Due: April 11, 2016

AWWU has reviewed the materials and has the following comments.

**2016-0043 SOCCER & BASEBALL TR B, Major Site Plan Review per AMC
21.03.180 for 2016 South Anchorage Sports Park Improvements Project,
Grid SW2629**

1. AWWU water and sanitary sewer are available.
2. AWWU has no objection to this site plan review.

If you have any questions pertinent to public water and sanitary sewer, you may call me at 564-2721 or the AWWU planning section at 564-2739, or e-mail paul.hatcher@awwu.biz



MEMORANDUM

RECEIVED

DATE: April 11, 2016

APR 12 2016

TO: Current Planning Section Supervisor,
Zoning and Platting Division

PLANNING DEPARTMENT

FROM: Kristen A. Langley, Traffic Safety Section Supervisor,
Traffic Department

SUBJECT: 2016-0043 Major Site Plan Review per AMC 21.03.180 for 2016 South Anchorage Sports Park Improvement.

1. Traffic will need to be part of the review process for the final plans for the restriping of the parking lot. Note: plans need to include stall and aisleway dimensions to verify that Code requirements are met.
2. As a 'heads-up' to comments that Traffic would make on any final plans, and referencing Sheet C6, Notes 6 and 7. "Yellow", although highly visible, is not the appropriate color to use for shoulder-side pavement markings. Since this facility is open to public traffic, traffic markings (and signs) must conform to the use specifications in the Manual on Uniform Traffic Control Devices.

Kimmel, Corliss A.

From: Wilson, Karleen K.
Sent: Wednesday, March 30, 2016 3:34 PM
To: Blake, Lori A.; Johnson, Sandra L; Kimmel, Corliss A.; Whitfield, David R.
Subject: Case No. 2016-0043, South Anchorage Sports Park

No comments.

Karleen Wilson

Addressing Official
Municipality of Anchorage
Address Data Management, GIS
907.343.8168 (my desk)
907.343.8222 (option #3)

MUNICIPALITY OF ANCHORAGE



Planning & Development Services Dept.
Development Services Division

RECEIVED Building Safety

APR 08 2016

MEMORANDUM

PLANNING DEPARTMENT

Comments to Miscellaneous Planning and Zoning Applications

DATE: April 8, 2016

TO: Terry Schoenthal, Manager, Zoning and Platting

FROM: Ron Wilde, P.E.
Building Safety
343-8371

SUBJECT: Comments for Case 2016-0043
South Anchorage Sports Park Improvements

No Comment



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

Department of Transportation and
Public Facilities

CENTRAL REGION
Planning & Administrative Services

4111 Aviation Avenue
P.O. Box 196900
Anchorage, Alaska 99519-6900
Main Phone: (907)269-0520
Fax: (907)269-0521
Web site: dot.state.ak.us

April 11, 2016

Terry Schoenthal, Current Planning Section Manager
MOA, Community Development Department
Planning Division
P.O. Box 196650
Anchorage, Alaska 99519-6650

RECEIVED

APR 12 2016

PLANNING DEPARTMENT

RE: MOA Zoning Review

Dear Mr. Whitfield:

The Department of Transportation and Public Facilities (DOT&PF) Central Region Planning Division has no comments on the following zoning cases:

- **2016-0043: 769 W. Klatt Road**
- **2016-0046: 4600 Virgo Avenue**

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Starzec".

James Starzec
Anchorage Area Planner

Cc: Tucker Hurn, Right of Way Agent, Right of Way, DOT&PF
Morris Beckwith, Right of Way Agent II, Right of Way, DOT&PF
Scott Thomas, P.E., Regional Traffic Engineer, Traffic Safety and Utilities, DOT&PF
Jim Amundsen, P.E., Highway Design Group Chief, DOT&PF

3.

Posting Affidavit



AFFIDAVIT OF POSTING

Case Number: 2016-0043

I, JONATHAN PETRONIC, hereby certify that I have posted a **Notice of Public Hearing** as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for _____ . The notice was posted on April 10, 2016 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 11th day of April, 2016.

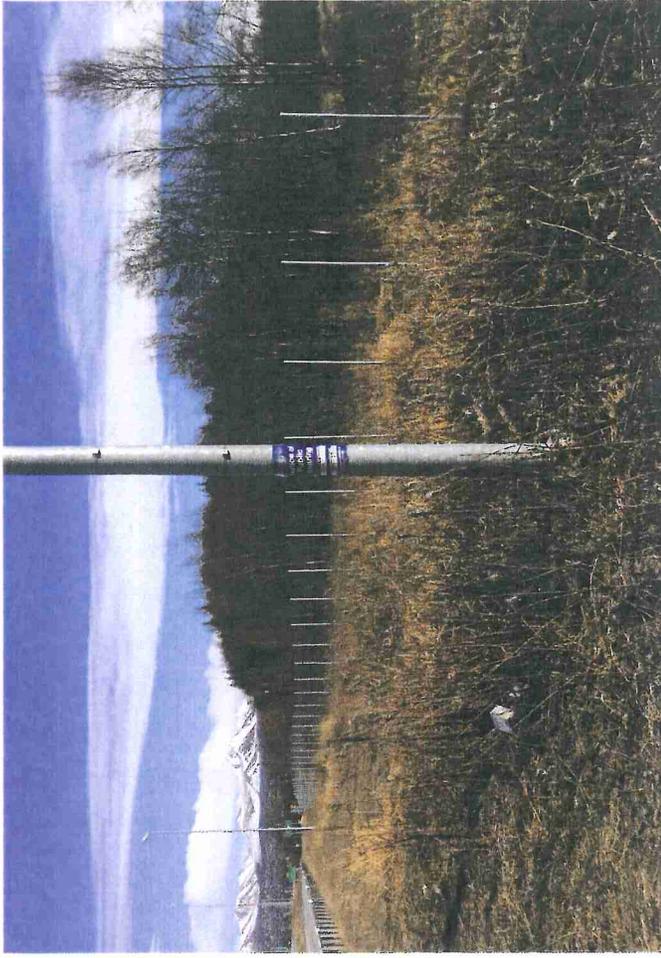

Signature JONATHAN PETRONIC

LEGAL DESCRIPTION

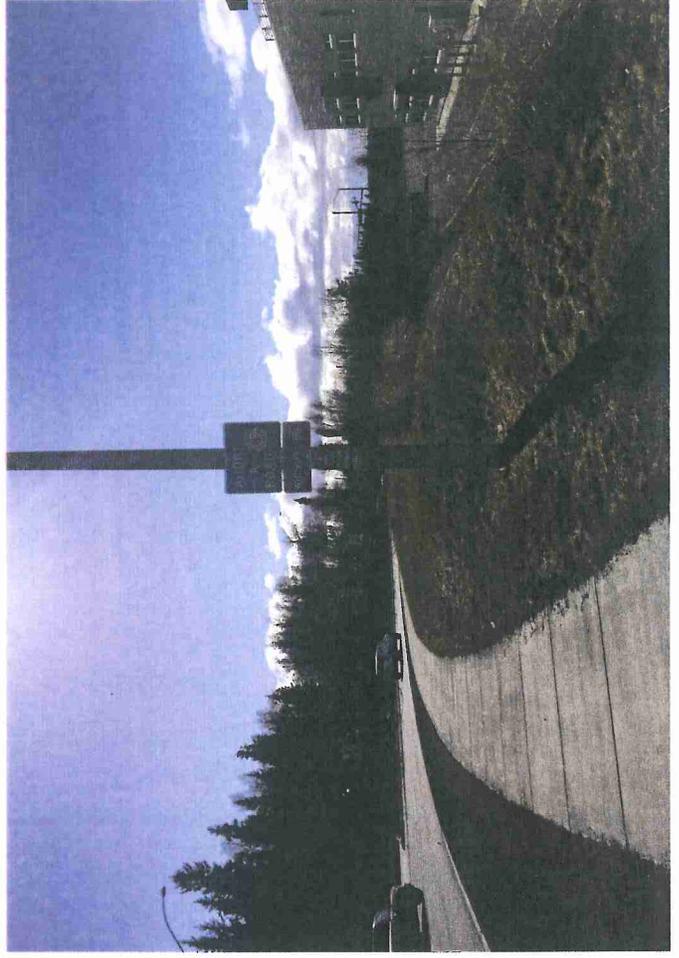
Tract or Lot Soccer and Baseball Subdivision, Tract B
Block _____
Subdivision _____



POSTED 4-10-2016

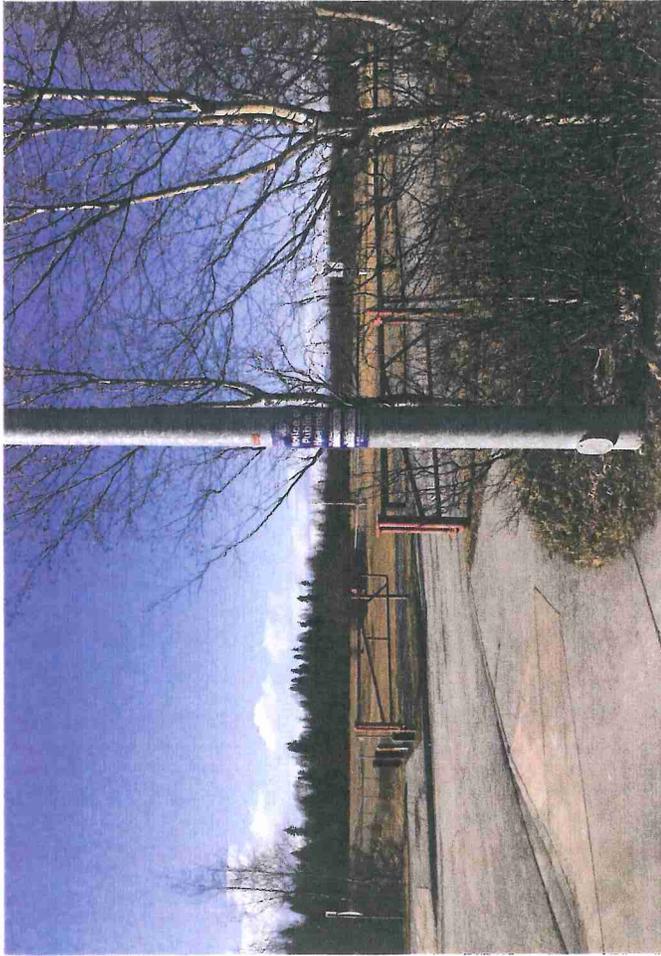


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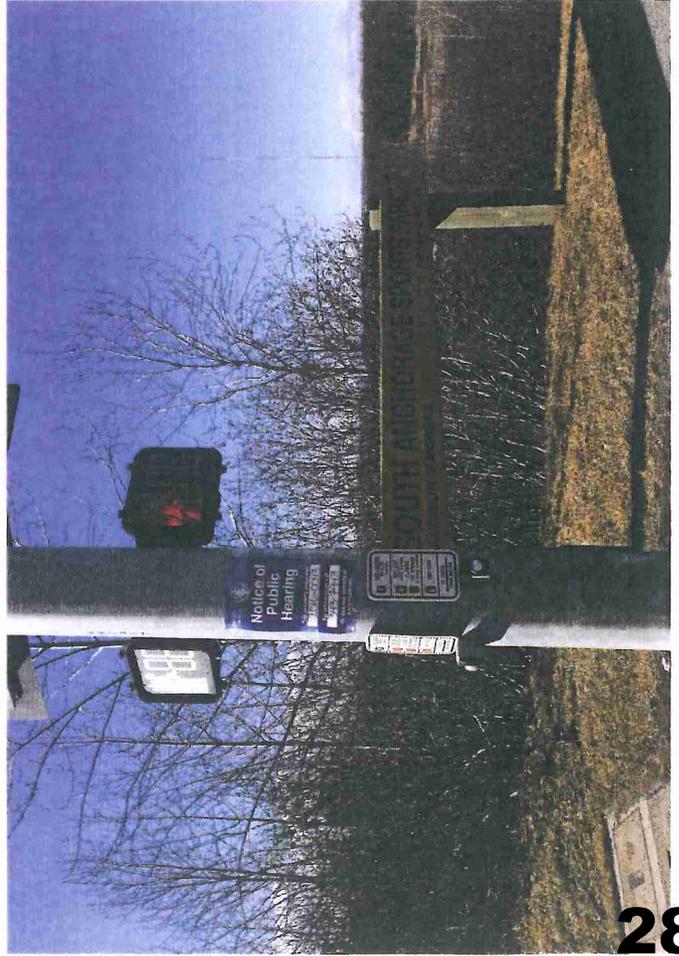


UDC. NOTICE OF PUBLIC HEARING POSTING

POSTED 4-10-2016



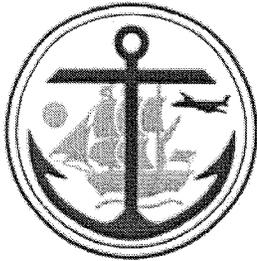
POSTED 4-10-2016



SOUTH ANCHORAGE SPORTS PARK

4.

**Historical
Information**



MUNICIPALITY OF ANCHORAGE

**Municipality of Anchorage, Alaska
Parks & Recreation Department**

632 W. 6th Avenue, Suite 630
P.O. Box 196650
Anchorage, AK 99519
Tel 907-343-4355

URL www.muni.org/departments/parks

ANCHORAGE



PARKS & RECREATION

**PRC RES NO. 2016-08
South Anchorage Sports Park Phase 1 Development**

WHEREAS, the Anchorage Parks and Recreation Commission serves in an advisory capacity to both the Mayor and the Assembly; and

WHEREAS, the Anchorage Parks and Recreation Commission has the responsibility and duty to provide for the long term vision of our park system by ensuring that a balance of parks, natural resources, and recreation facilities provides for the health, welfare, and safety of all residents of the Anchorage Bowl; and

WHEREAS, the South Anchorage Sports Park (SASP) Master Plan update provides a 20 year vision that will guide future development at the park; and

WHEREAS, the Anchorage Parks and Recreation Department partnered with local Community Councils, stakeholders and user groups to establish an advisory group to assist the Department in identifying and prioritizing desired improvements for the South Anchorage Sports Park Master Plan; and

WHEREAS, the improvements proposed in the Master Plan update were based on community and stakeholder input and have been vetted by an advisory group through deliberation and consensus; and

WHEREAS, on May 1st, 2014 the Master Plan was approved by the Bayshore/Klatt Community Council; and

WHEREAS, on August 14th, 2014, the Parks and Recreation Commission approved the South Anchorage Sports Park Master Plan; and

WHEREAS, on December 1st, 2014, the Master Plan was approved by the Planning and Zoning Commission; and

WHEREAS, Parks and Recreation planning staff utilized input from Bayshore Klatt Community Council, public meetings and park user groups to prioritize the tasks in the Phase 1 Development Plan as outlined by the SASP Master Plan *Implementation Plan*, as identified in Appendix B of the Master Plan; and

WHEREAS, South Anchorage Sports Park is an existing community-use park in the Bayshore Klatt neighborhood with established baseball fields, remote control track, parking lots and an access driveway; and

PARKS & RECREATION DEPARTMENT
Municipality of Anchorage, Alaska

WHEREAS, the items as identified in the SASP Phase 1 Development Plan are in accordance with the highest priorities of the SASP Master Plan, including:

- parking lot and driveway maintenance and safety upgrades such as lighting, asphalt repairs and striping,
- development of a dog park area;
- trail improvements;
- addition of site amenities including benches, signage, trash receptacles;
- landscape enhancements;
- addition of inclusive playground, picnic shelter and plaza;
- relocated remote control car park; and

WHEREAS, the Parks and Recreation Department agrees to continue to work with the Bayshore Klatt Community Council and park stakeholders on exploring feasibility and implementing all other priority items as listed in the SASP master plan as funding becomes available, including:

- develop new bike park and supporting infrastructure;
- develop baseball complex including new "flex" field and upgrade associated site amenities;
- develop water feature in north end of park;
- develop dog park area with additional fencing as needed;
- develop additional parking lot off of Tower Road access;
- develop restroom facility;
- oversee investments in infrastructure for Paintball Venue.

WHEREAS, on March 8, 2016, the Bayshore Klatt Community Council approved a resolution of support for the Phase 1 Development of SASP; and

NOW THEREFORE BE IT RESOLVED that the Anchorage Parks and Recreation Commission approves the proposed design for the Phase 1 Development Plan of South Anchorage Sports Park.

PASSED AND APPROVED by the Anchorage Parks and Recreation Commission this 14th day of April, 2016.



Chair
Parks and Recreation Commission

ATTEST: 

John Rodda, Director
Parks & Recreation Department

5.

Application



Major Site Plan Review
2016 South Anchorage
Sports Park
Improvements Project



UDC 5-11-16
2016-0043

Point of Contact:
Jacques Bobreg, P.E.
The Boutet Company, Inc.
Phone: (907) 270-6768

**MAJOR SITE PLAN REVIEW
 2016 SOUTH ANCHORAGE SPORTS PARK IMPROVEMENTS PROJECT**

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Municipality of Anchorage, Alaska
Parks & Recreation Department

632 W. 6th Avenue, Suite 630
P.O. Box 196650
Anchorage, AK 99519
Tel 907-343-4355

URL www.muni.org/departments/parks



February 24, 2016

Ms. Margaret O'Brien, Senior Planner
Community Development Planning Division
P.O. Box 196650
Anchorage, AK. 99519-6650

Re: Letter of Authorization – South Anchorage Sports Park

Dear Ms. O'Brien:

The Municipality of Anchorage (MOA) Parks and Recreation Department is the owner of parcel number 019-011-10-000, legally described as Soccer & Baseball Tract B.

We authorize The Boutet Company, Inc. to act on our behalf as the Petitioner's Representative for Site Plan Review and Urban Design Commission application for the 2016 South Anchorage Sports Park Improvements Project.

Sincerely,

Maeve Nevins 2/24/16

Maeve Nevins
Senior Park Planner
MOA Parks and Recreation Department

cc: Josh Durand, MOA Parks Superintendent
Jacques Boutet, Project Engineer, The Boutet Company, Inc.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: SOCCER AND BASEBALL SUBDIVISION
- Project Location, Tax ID, or Legal Description: PARCEL # 019-011-10

- Project Area (if different from the entire parcel or subdivision): TRACT B

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~Y~~ ~~N~~ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping IS NOT REQUIRED.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

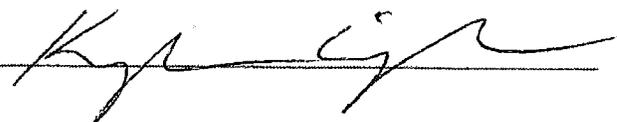
* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- | | | | |
|---|--|--------------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> Y X N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Y X N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input checked="" type="checkbox"/> Y X N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:



2/19/16

Application for Major Site Plan Review

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650

PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Municipality of Anchorage Parks and Recreation		Name (last name first) Boutet, Jacques, P.E.--The Boutet Company, Inc.	
Mailing Address 632 W. 6th Avenue, Suite 630		Mailing Address 601 E. 57th Place, Suite 102	
Anchorage, AK 99501		Anchorage, AK 99518	
Contact Phone: Day 343-4355	Evening	Contact Phone: Day 522-6776	Evening
Fax		Fax 522-6779	
E-mail RoddaJH@muni.org		E-mail JBoutet@TBCak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 019-011-10-000			
Site Street Address: 769 W. Klatt Road			
Current legal description: (use additional sheet if necessary) SOCCER AND BASEBALL SUBDIVISION, TRACT B			
Zoning: PLI	Acreage: 61.04	Grid #: SW2629	Underlying plat #: 98-0053

SITE PLAN APPROVAL REQUESTED	
Use: Master Plan implementation	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a major site plan review in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff, the Planning and Zoning Commission, or Urban Design Commission for administrative reasons.


3-1-16
 Signature Owner Representative (Agents must provide written proof of authorization) Date
JACQUES BOUTET

Print Name

Accepted by: _____ Poster & Affidavit: _____ Fee: _____ Case Number: 2016-0043 Requested Meeting Date: 05-11-16 **37**

COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: Urban Rural

Anchorage 2020 Major Elements – site is within or abuts:

- Major employment center Redevelopment/mixed use area Town center
- Neighborhood commercial center Industrial reserve
- Transit - supportive development corridor District/area plan area: _____

Chugiak-Eagle River Land Use Classification:

- Commercial Industrial Parks/open space Public lands/institutions Town center
- Transportation/community facility Alpine/slope affected Special study area Development reserve
- Residential at _____ dwelling units per acre Environmentally sensitive area

Girdwood- Turnagain Arm Land Use Classification

- Commercial Industrial Parks/open space Public lands/institutions Resort
- Transportation/community facility Alpine/slope affected Special study area Reserve
- Residential at _____ dwelling units per acre Mixed use Rural homestead

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- Wetland Classification: None "C" "B" "A"
- Avalanche Zone: None Blue Zone Red Zone
- Floodplain: None 100 year 500 year
- Seismic Zone (Harding/Lawson): "1" "2" "3" "4" "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- Rezoning - Case Number: _____
- Preliminary Plat Final Plat - Case Number(s): _____
- Conditional Use - Case Number(s): _____
- Zoning variance - Case Number(s): _____
- Land Use Enforcement Action for _____
- Building or Land Use Permit for _____
- Wetland permit: Army Corp of Engineers Municipality of Anchorage

APPLICATION REQUIREMENTS

- 1 copy required: Signed application (original)
- Watershed sign off form, completed
- 8 ½" by 11" copy of site plan/building plans submittal
- 35 copies required: Signed application (copies)
- Project narrative explaining:
 - the project planning objectives
 - addressing the site plan review criteria on page 3 of this application
- Site plan to scale depicting, with dimensions:
 - building footprints parking areas vehicle circulation and driveways
 - pedestrian facilities lighting grading
 - landscaping loading facilities freestanding sign location(s)
 - required open space drainage snow storage area or alternative strategy
 - trash receptacle location and screening detail fences
 - significant natural features easements project location
- Building plans to scale depicting, with dimensions:
 - building elevations floor plans exterior colors and textures
- Assembly Ordinance enacting zoning special limitations, if applicable
- Summary of community meeting(s)

(Additional information may be required.)

GENERAL SITE PLAN REVIEW STANDARDS (AMC 21.03.180F.)

The Urban Design Commission or the Planning and Zoning Commission shall review the proposed site plan governed by the general site plan approval criteria for consistency with conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.
(For Above Standards 1-4, Reference Attached Sheets)

SPECIAL LIMITATION STANDARDS (if applicable)

The applicable commission shall review the proposed site plan governed by special limitation for consistency with the special limitations, goals, policies and land use designations of the comprehensive development plan and other municipal plans adopted by the assembly, conformity to the requirements of this title, and the effects of the proposal on the area surrounding the site. Each special limitation standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. (Non-applicable)

1. Project Overview

The Municipality of Anchorage (MOA) Parks and Recreation Department (P&R) proposes to implement Phase 1 of the South Anchorage Sports Park Master Plan (Master Plan) through the **2016 South Anchorage Sports Park Improvements Project** (Project). The scope of this phase of development encompasses Tasks 1-8 of the 15 tasks identified in Appendix B of the Master Plan. It is noted that constraints on available funding for the project requires that some elements of Tasks 1-8 be deferred until future funding is identified.

Improvements proposed in the Project include:

- Installation of parking lot lighting ;
- Landscape planting in the north and south park areas;
- Installation of signage, kiosks, park maps and a new entrance sign;
- Installation of a pavilion;
- Construction of an all-inclusive playground;
- Development of a drop-off/loading area;
- Additional ADA-accessible parking adjacent to the playground;
- Construction of additional pedestrian trails to interconnect all areas of the park; and
- Visual enhancement landscaping along the park's south boundary (Klatt Road).

2. History and Background

The concept of a South Anchorage Sports Park (SASP) is nearly 20 years old and has been advanced through a series of acquisition, planning, design and construction efforts.

- In 1997, the MOA acquired 65 acres of the former Klatt Homestead through a land exchange. The land was subsequently dedicated as parkland for the South Anchorage community.
- In 1998, the South Anchorage Sports Fields Final Design Study Report was prepared and is considered the first master planning effort for SASP. The report proposed five soccer fields, three American Legion-sized baseball fields, four little league fields, a skateboard park, trail system, playgrounds, open play areas, picnic shelters, an irrigation system, concession stands, maintenance buildings, access road and parking lots.

- In 2006, a revised master plan conceptualized a multi-sport stadium serving soccer and American Legion baseball. However, this plan was neither reviewed nor adopted by any formal Municipal board or commission. Consequently no action has been taken on its recommendations.
- In 2006, a feasibility study was performed to determine the best available option to provide public water service to the park area. Options included the extension of Anchorage Water and Wastewater Utility's surrounding main line system or installing a ground water well. Although design drawings were prepared to implement study recommendations, no construction occurred.
- In 2008, as part of development of the private property immediately east of SASP, public water and sewer mains were constructed through the park, although no services were provided for the park.
- In 2009, in response to requests from organized baseball organizations, an irrigation system was constructed to serve SASP's sports fields.
- In 2010, facility concept drawings were developed to evaluate proposed location of an indoor tennis facility within the park.
- In 2012, a water and sewer feasibility study was prepared to estimate the cost of providing these services within SASP.
- In 2014 a formal SASP Master Plan was prepared and approved by Anchorage's Parks and Recreation and Planning and Zoning Commissions.

During this period, only a limited number of proposed park improvements have been constructed due to site constraints including challenging soils and a lack of utility infrastructure. As of 2015, SASP improvements include three parking lots, three ball fields, a paint ball facility and ad hoc areas for dog-walking and the operation of radio-controlled (R/C) models.

3. Existing Conditions

Planning and design of recreational facilities at SASP began soon after the Municipality acquired the site in 1997. Construction began in 1999 and the first program developed 380 parking spaces, five soccer fields, two Little League-scale ballfields, and one American Legion-scale ballfield. Subsequent work make-shifted a small pond into use to service an irrigation system for the soccer fields. Additional fill was imported to the site, adjacent to the American Legion field, providing a base for the second American Legion field, currently called a “flex field”.

In the subsequent years, the soccer fields were deemed unusable due to uneven surfaces because of the high organic content of the subgrade. Meanwhile, the irrigation system utilizing the pond became plagued with maintenance issues. Multiple plans were made to fix the fields. However, the peat material below the fields required removal in order to sustain a proper playing surface. Due to fiscal constraints, the organic material was not removed. However, the recent development of the soccer field complex at Kincaid Park has eased the demand for soccer fields at SASP.

Since the soccer fields were abandoned, the area has been repurposed as a dog walking area and paintball venue. The dog area has no official amenities; rather, it is an open space where people walk their dogs. The paintball venue is vendor-operated and operates on a year to year use agreement.

The R/C hobbyists occupy the southeast corner of the South Anchorage Sports Park, east of the south parking lot. Included in the R/C model area is a track for racing R/C vehicles and an elevated platform from which the drivers can control their cars.

As the existing features above developed, an update to the master plan was pursued in order to meet the current recreational needs of the South Anchorage community. In 2014, the Master Plan for SASP was completed and approved by both the Parks and Recreation Commission and the Planning and Zoning Commission.

As a first step in Master Plan implementation, the water and sewer design was completed by TBC in 2015. Utility construction began immediately, shutting down for the winter in December 2015 (Reference Appendix E, 2015 South Anchorage Sports Park, Seasonal Water and Sewer Services

Construction Plans). The utilities are tied into the irrigation system, however, the other connections will be completed during future construction.

In late 2015, Anchorage's Parks and Recreation Department examined the Approved Final Master Plan and existing uses of the South Anchorage Sports Park, assessing the deficiencies and current conditions of the park's use in order to determine the groundwork for Phase I, the 2016 South Anchorage Sports Park Improvements.

4. General Site Plan Review Standards

1. *The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.*

Full implementation of the Master Plan is estimated to cost \$10 million. Current funding is approximately \$2.3 million. Consequently Phase 1 improvements address priorities as identified in public consultation with the Bayshore-Klatt Community Council and SASP Advisory Group.

The current, Phase I plan implements many Master Plan elements:

- **Inclusive Playground and Pavilion:**

A 40,000-square foot inclusive playground and pavilion will be located near the main entrance in the southern section of the park. Additional amenities include:

- A gateway feature;
- A 900-square foot picnic shelter;
- Picnic tables and benches.
- Trash receptacles; and
- Bike racks.

The playground and pavilion areas will be connected to parking/drop-off areas and the park's trail system with paved pathways and soft trails.

- **South Area Parking Lot and Signage:**

The existing south parking lot has been determined to provide an adequate supply of parking for current uses. However, this parking lot will receive minor drainage improvements and interior landscaping as part of this project.

The project will also connect the south parking lot with the playground and pavilion with formal pedestrian cross-walks. Signage, striping and a drop-off/pick-up pullout will be provided to enhance pedestrian safety and access to the

inclusive community park. Lighting and landscaping features will be provided to meet the requirements of Title 21.

- **Site Lighting:**

Site lighting will be provided on roadways, in parking areas, within the playground/pavilion and the fenced dog park. The site lighting will create a safer environment, encourage usage throughout the park, allow for increased park use during periods of limited daylight and facilitate surveillance of the park by Anchorage Police patrols.

- **Radio-Controlled Model Area (R/C Area):**

Currently, the R/C Area is located in the southeast corner of the property, between the main entrance road and the south parking lot. It provides a track for R/C vehicles to race with a raised platform from which the drivers to operate. However, per the Master Plan, the R/C Area will be relocated to SASP's southwest corner. Landscaping and low-rise berming will be provided along SASP's boundary with Klatt Road, parallel to the R/C Park, as visual-enhancement properties facing the park's south side.

- **Visual-Enhancement Landscaping:**

As part of the Phase I implementation plan, SASP will receive significant landscape upgrades, including:

- Visual-enhancement landscaping along Klatt Road, immediately south of the new R/C Area (as described above);
- Thinning of the existing vegetation between the South Parking Lot and West Klatt Road, to reduce the density of growth and provide more space for larger, more-established trees and shrubs;
- New interior landscaping provided within the south parking lot;
- Ornamental plantings within the playground and dog park areas.

All the plant materials shall be weather-hardy and reflect appropriate choices for a public facility.

- **Enclosed Off-Leash Dog Park:**

The proposed enclosed dog park facility will support and enhance SASP's current dog-walking activities by allowing dogs that are not fully-trained for recall to allowed off-leash. An approximately 38,000-square foot area will be enclosed with a 5-foot chain link fence. The entire area will be graded for positive drainage out of the area and resurfaced with topsoil and seed to establish turf. Phase I will add site lighting to allow for safe winter use of the enclosed area. The remaining larger open space dog area will be enhanced with dog waste stations to allow for

more environmental use of the facility. Separation of the dog park from other uses (such as paintball) will be reinforced with:

- A 5-foot chain link fence to be constructed along the southern paintball border,
- Mounds and ornamental plantings to block visual distractions between the paintball venue and dog park.

2. *The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards.*

21.04 Zoning Districts: This site is zoned PLI; as identified in AMC 21.04.060 E, the intended use is of PLI zoning is for a major public facility.

21.05 Use Regulations: Community parks are permitted land use in accordance with Table 21.05-1, subject to major site plan review and the park complies with the requirements of Chapter 21.05.040 G2, Park, Public or Private: Definitions and Use Specific Standards.

21.06 Dimensional Standards and Measurements: The proposed upgrades are outside the 25-foot required setbacks.

21.07 Development and Design Standards: The site topography is generally flat, except for the southeast entrance, which will not be affected during Phase I improvements. The site improvements will be graded to encourage positive drainage. Currently there is a storm drain system on site that collects stormwater above and below ground and pipes it into Klatt Bog. The subgrade is organic material and absorbs drainage quickly. All SASP areas receiving improvements will have finished surfaces that are stabilized with either turf, asphalt pavement, or Portland cement concrete.

3. *The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.*

The only potentially significant impact that has been brought forward in public consultation is concern that the relocated R/C model area to SASP's southwest area will make R/C activities more visible to residential properties located south of SASP. Potential impacts will be mitigated by construction of a two- to three-foot landscaped berm that will minimize the visibility of R/C activities.

4. The development proposed in the site plan is consistent with goals, objectives and policies of the comprehensive plan.

The table below presents key policies and strategies promulgated in Anchorage 2020 and describes how the Project fulfills these policies and strategies.

Anchorage 2020 Land Use & Transportation Policies and Strategies

Category	#	Policy	Discussion of Consistency
General Land Use	7	<i>Avoid incompatible uses adjoining one another.</i>	SASP is a parkland set aside to meet the sports and recreation needs of South Anchorage. It abuts residential zoning districts to the south and west, transitional zoning districts to the east and an antenna farm zoning district to the west, inhabited by KFAT and KKLV-FM radio stations.
Residential			Not applicable
Commercial			Not applicable
Transportation			Not applicable
General Design & Environment	41	<i>Land use regulations shall include new design requirements that are responsive to Anchorage’s climate and natural setting.</i>	The landscape elements were selected with consideration for climate and enhance the park’s setting.
	42	<i>Northern city design concepts</i>	Proposed improvements include road and site lighting that will enhance the park’s recreational opportunities during darkness. Many of the recreational improvements will make SASP more attractive for winter activities.
	44	<i>Design and build public improvements for long-term use</i>	Special attention has been given to addressing SASP’s deep organics as structural foundations are designed.
	46	<i>The unique appeal of individual neighborhoods shall be protected</i>	The project proposes enhanced visual screening to preserve the view-sheds of adjacent residences.
	47	<i>Provide distinctive public landmarks</i>	The design elements of the inclusive playground, shelter and plaza will provide an attractive and enjoyable gathering place for the community.
	50	<i>Healthy, mature trees and forested areas shall be retained</i>	In particular, the existing trees and shrubs along the Klatt Road boundary shall be preserved, with selective thinning of smaller growth.
Housing			Not applicable

Open Spaces	63	<i>Natural open space protection</i>	Design of improvements will maintain a natural buffer for the adjacent Klatt Bog.
Habitat			Not applicable
Water Resources	71	<i>Utilize wetlands to manage drainage</i>	Previous SASP drainage improvements have routed run-off and maintained groundwater flow into Klatt Bog. These patterns will be preserved.
Level of Service	78	<i>Design Municipal facilities to be frequented by the public</i>	The purpose of this project is to make SASP more attractive and accessible to the public.
Utilities			Not applicable
Parks, Trails, Recreation	86	<i>Encourage public/private collaboration</i>	Funding for project improvements were developed through strong advocacy by the local community with the State Legislature. This project fulfills the community's highest priorities for SASP.

5. Special Limitation Standards

The property has no Special Limitations and this section is not applicable.

6. Phase 1 Development Schedule

Task	Activity Milestone	Completion Date
Design	Preliminary Design	March, 2016
	Construction Documents	May, 2016
Construction	Contract Award	June, 2016
	Substantial Completion	November, 2016
	Final Completion	July, 2017

7. Community Meeting Summary

Summary of Community Meetings

<u>Date</u>	<u>Community Group</u>
October, 2015	Klatt / Bayshore Community Council
December, 2015	SASP Advisory Group Meeting
January, 2016	Klatt / Bayshore Community Council

Reference Appendix B for Public Involvement documents, including announcements, meeting minutes, summaries and mailer distribution list.

**Urban Design Commission Review
Questionnaire
Page 2**

The Urban Design Commission shall consider the following criteria in reviewing public facility project landscaping. The petitioner must address these criteria:

1. Cost:

Plant Material Budget:	<u>\$142,000</u>
Total Landscape Budget:	<u>\$300,000</u>
Construction Budget:	<u>\$2,100,000</u>

2. Feasibility:

See Attachment

3. Planning and Design Criteria, including:

a. the external impacts generated by the projects on adjacent areas:
See Attachment

b. the extent to which the landscaping elements complement, maintain, or improve the landscape quality of adjacent neighborhoods and areas:

See Attachment

c. the degree to which the landscape elements contribute to on-site use of the project, including safe, efficient, and comfortable public use:

See Attachment

d. the visual attractiveness of the landscaping:

See Attachment

e. the landscaping elements enhancement of the architecture of the project, including the integration of internal and exterior architectural themes:

See Attachment

Submitted by: _____ Date: _____

Please Note: All items must be addressed on the application or your project may not be placed on the Urban Design Commission (UDC) agenda.

UDC Questionnaire Attachment (2016 South Anchorage Sports Park Improvements)

2. Feasibility:

This project is being submitted to the Urban Design Commission for review of as part of the South Anchorage Sports Park Master Plan, Phase One Implementation Plan. The goal of this project is to begin implementing the master plan to provide a greater mix of activities, increase public use, and to improve public safety within the park and surrounding community. The proposed landscape has been designed to appropriately accommodate each area of the site. A more formal landscape design has been provided near the playground/pavilion where it can be more easily maintained. While a more naturalized landscape is proposed where maintenance may be limiting.

3. Planning and design Criteria, Including:

a. *the external impacts generated by the projects on adjacent areas:*

External impacts created by implementing phase one of the master plan will be limited due to the park improvements being fully contained within the Park. However, the phase one implementation plan provides Visual Enhancement Landscaping along the southwestern portion of the parks property line. This proposed improvement will exceed Title 21 requirements by providing several larger (caliper and height) trees.

b. *the extent to which the landscaping elements complement, maintain, or improve the landscape quality of adjacent neighborhoods and areas:*

The landscape will compliment adjacent areas by providing trees and shrubs to areas that currently only have grasses and low shrubs. Providing Visual Enhancement Landscaping between park activities and West Klatt Road will also breakup views within the park. Providing landscaping to the south parking lot will contribute to the visual aesthetics of the park and adjacent neighborhoods. The proposed trees and shrubs will also create a more comfortable space in this prominently windy park.

c. *the degree to which the landscape elements contribute to on-site use of the project, including safe, efficient, and comfortable public use:*

The proposed landscape elements will contribute to the on-site use of the South Anchorage Sports Park by providing a formal and naturalized landscape, where there is currently little or no existing landscaping. The extent of the proposed landscape includes Visual Enhancement Landscaping at the southwestern property line, landscaping for the south parking lot, and ornamental plantings near the proposed dog park and playground/pavilion area. Plant species have been chosen to allow clear views through the playground and parking lot areas and will assist in providing a soft buffer between park activities.

d. *the visual attractiveness of the landscaping:*

The proposed landscaping has been designed to appropriately enhance each specific location of the park. All species have been chosen for their hardiness, attractiveness, and similar character to the existing species in the park and surround area. Exceeding Title 21 requirements, the phase one plan adds additional trees at larger than recommended size to increase visual interest soon after the landscape is installed. A combination of deciduous and evergreen trees have been chosen to give the park summer and winter visual appeal and attractiveness.

e. *the landscaping elements enhancement of the architecture of the project, including the integration of internal and exterior architectural themes:*

No architecture is intended for this park. The proposed pre-fabricated picnic shelter for the playground/pavilion area and the colors of this element are intended to match the color scheme chosen for the gateway feature and several other standard Anchorage Parks and Recreation colors.



MAJOR SITE PLAN REVIEW
2016 SOUTH ANCHORAGE SPORTS PARK
IMPROVEMENTS PROJECT

Appendix – I

Pre-Application Meeting Letter



Jonathan Petronic

From: Jonathan Petronic
Sent: Monday, December 21, 2015 6:03 PM
To: 'O'Brien, Margaret R.'
Cc: Jacques Boutet
Subject: RE: South Anchorage Sports Park
Attachments: SASP_Work Plan_2016_V3.pdf

Hi Margaret,

South Anchorage Sports Park (SASP) is a 65 acre park located within the Klatt/Bayshore area of South Anchorage. An updated Master Plan was completed and approved by the Assembly in 2014. Parks and Recreation has presented the Master Plan to the community and sought feedback for which park facilities should be prioritized. An engineering analysis for these priorities was completed and Parks and Recreation is planning approximately \$2.3M to begin implementing several of the Master Plan's facilities in 2016. These Facilities include the following:

1. Paving improvements to the north and south parking lots.
2. Installation of lights along the street/driveway and north and south parking lots.
3. Development of a Dog Park.
4. Several soft-surface trails throughout the park.
5. An Inclusive Playground.
6. A landscape Buffer between the Klatt Road and the future RC Park.
7. A Bike Park (non-motorized).

Attached is an exhibit showing the location and approximate costs of each of these facilities. Anchorage Parks and Recreation Department intends to submit to UDC in February 3, 2016 (hearing date April 13, 2016).

Please let me know if I can provide any additional information to assist with planning the Pre-Application Meeting.

Thanks again Margaret!
Jon Petronic
270-6765

From: O'Brien, Margaret R. [mailto:O'BrienMR@ci.anchorage.ak.us]
Sent: Monday, December 21, 2015 3:41 PM
To: Jonathan Petronic
Subject: South Anchorage Sports Park

Jon,

Sharon asked me to set up a pre-application meeting for you. I need to know what improvements are planned for the park. Can you send some documentation on the project that I can forward to the invitees in advance so that they can provide some comments that relate to your project during the meeting? A site plan or map of the area, say 11" x 17" would be a help in orienting people to the project along with some sort of narrative. It would be most helpful to have the so I can make it available when the meeting invite is sent out. Thank you for your help on this. Margaret

Margaret O'Brien
Senior Planner
Planning Division
Current Planning Section
(907) 343-7937 (Phone)
(907) 343-7927 (Fax)



Project Name: South Anchorage Park Case No. _____

Meeting Type: Concept Pre-Application Post-Application Other

Meeting Requested by: Boutet & Co Date: 1-5-16

Lead MOA Planner: _____ Time: 2:00p

	NAME (please print)	COMPANY	PHONE	E-MAIL
1	Margaret P. Brien	MOA - Planning	343-7937	obrienm@munio.org
2	JACQUES BOUTET	TBC	227-8560	jboutet@tbcak.ca
3	Jonathan Petrone	TBC	440-7245	jpetrone@tbcak.ca
4	Michael Palani	MOA - Long Range Plan Rev.	343-3550	mpalani@moa.ak.gov
5	MAEVE NEVINS	MOA PARK + REC	343-4135	NEVINSMA@MUNI.ORG
6	JOSH DURAND	MOA PARKS	343-4427	DURANDJA@MUNI.ORG
7	Steve Rafuse	MOA Parks + Rec	343-4586	rafusesj@munio.org
8	Francis M. Laughlin	MOA Current Planning	343-8003	melaughlin@munio.org
9	Lori Schandhe	MOA PME	343-8368	schandhele@munio.org
10	Theo Tbbish	MOA - Long Range	x 7918	Tbbisth@munio.org
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Notes:



MAJOR SITE PLAN REVIEW
2016 SOUTH ANCHORAGE SPORTS PARK
IMPROVEMENTS PROJECT

Appendix – II

Public Involvement





MUNICIPALITY OF ANCHORAGE

Municipality of Anchorage, Alaska
Parks & Recreation Department

632 W. 6th Avenue, Suite 630
 P.O. Box 196650
 Anchorage, AK 99519
 Tel 907-343-4355

URL www.muni.org/departments/parks

ANCHORAGE



PARKS & RECREATION

The Municipality of Anchorage (MOA) Parks and Recreation Department has conducted public outreach for the Master Plan update and for the 2016-2017 Implementation Plan.

Outreach for Master Plan:

In fall 2013, Parks and Recreation staff initiated outreach to Community Councils and recreation groups. Individuals and groups were invited to engage in the planning process and to provide input to Parks and Recreation staff.

Community Council Meetings

Parks and Recreation staff attended meetings at three Community Councils in South Anchorage: Old Seward/Oceanview CC, Bayshore/Klatt CC, and Sand Lake CC. Parks staff presented the goals of the master plan update, solicited input from community members, and recruited individuals to participate on the advisory group.

Project Website

In December 2013, Parks and Recreation staff launched a website with details about the park, its history, and the planning process. The site listed advisory committee meeting dates and locations with an open invitation to the public to attend and offer comments. The website is updated regularly with meeting minutes, maps, and visual aids to keep the general public informed as the process continued. <http://www.muni.org/Departments/parks/Pages/SASPmasterplan.aspx>

Stakeholder Interviews

Individuals representing twelve organizations active at the South Anchorage Sports Park were invited to participate in interviews with USKH. Seven responded with interest and were interviewed. Stakeholders were asked to describe their organization, how they use the SASP, and their perception of the facilities at the park. Those participating included the Anchorage District Soccer Federation, American Legion Baseball, Dimond West Little League, CIRI Land Development Company (CLDC), Animal Control Advisory Board, Anchorage Radio Operated Auto Racing Association (AROARA), and 907 Paintball.

Input from the stakeholder interviews was used to identify issues and concerns as well as desired improvements. A list of common themes was also generated.

SASP Advisory Group

In February 2014, Parks and Recreation staff began working with an advisory group to assist in the development of the master plan update. The group's primary role was to identify and prioritize desired improvements and to ensure that those improvements align with the desires of the local community.

The advisory group met three times in the spring of 2014. The group consisted of twelve stakeholders representing Community Councils, neighboring property owners, user groups and athletic organizations active in the park.

The advisory group was tasked with providing input and recommendations to help guide Parks and Recreation in a three-step planning process:

- ***Step 1 - Identify current and future needs***
- ***Step 2 - Prioritize desired improvements***
- ***Step 3 - Build consensus around a design alternative***

PARKS & RECREATION DEPARTMENT

City of Anchorage, Alaska

Meetings are summarized below:

Meeting #1 - February 11, 2014: The kick-off meeting provided an overview of the planning process, a site orientation, and a general discussion with respect to what participants would like to see addressed in an updated Master Plan.

Meeting #2 - March 4, 2014: Four alternative site concepts were presented based on public input and advisory group feedback from the first meeting. Advisory group members commented on what they “liked” and “did not like” about each alternative and provided recommendations.

- **Meeting #3 - March 30, 2014:** Advisory group members were presented a preferred alternative based on common consensus items. Participants offered few refinements.

Master Plan Approval Process

- Following the advisory group process, The Master Plan was approved by the Bayshore/Klatt Community Council on May 1st, 2014.
- On August 14th, 2014, the Parks and Recreation Commission approved the South Anchorage Sports Park Master Plan
- On December 1st, 2014, the master plan was approved by the Planning and Zoning Commission.

Outreach for 2016-17 Implementation Plan:

Parks and Recreation staff worked with individuals representing various user groups in the design development of the 2016-2017 Implementation Plan.

- **October 27, 2015: Design Development Meeting Open House** was held at the Klatt Elementary School to collect initial feedback on the park’s improvement priorities for the future development based on available funding. Feedback was collected and summarized in a public preference table. Participants were asked to rate their top 3 priorities. We had approximately 33 attendees of which the data collected was used to confirm that the project scope for 2016-17 was in alignment with the priorities of the community.
- **December 16, 2015: Playground/Picnic Plaza Design Meeting** was held at the Spenard Recreation Center with general public, included survey. This meeting included 4 adult attendees, plus two children. This meeting was used to guide in-house design of the playground area and theme.
- **January 6, 2016: Bike Park Design Public Meeting:** this meeting was held at the Speedway Cycles Bike Shop, the purpose was to educate the public on what a “bike park” is and to share upcoming park master plan projects that include bike parks on their priority list, with South Anchorage Sports Park being the first park to be implemented of the list. There were over 40 attendees that signed-in.
- **January 14, 2016: Playground/Picnic Plaza Design Meeting #2** was held with a selected focus group of playground experts and users from the disabled community. The meeting was used to refine the theme and layout of playground from an inclusive approach.

Stakeholder correspondences were conducted during design development via email and phone to verify that the concept design reflects the priorities as listed in the master plan. These correspondences will continue over the winter and into the spring as the designs are finalized.

- Remote Control Vehicle Users
- 907 Paintball Manager
- Dog Park Advocates

2016-17 Implementation Plan Approval Process

- **Meeting #1: January 14, 2014** Following the various meetings and correspondences with stakeholders during the design development process, the Implementation Plan was presented to the Park and Recreation Commission (PRC) as an *informational presentation item*.
- **Meeting #2: January 28, 2016** the Implementation Plan was presented to the Bayshore/Klatt Community Council seeking a resolution of support. The Council does not approve resolutions until a second meeting, after which time the board will discuss and make revisions to the draft resolution if needed. The notice for this meeting was sent to over 300 residents within a 1000ft vicinity of the park on January 6, 2016.
- ****Meeting 3: on February 25, 2016** the Council meets again at which time the resolution of support for the Implementation Plan is expected.
- ****Meeting 4: On March 10, 2016** the Park and Recreation Commission will once again review the Implementation Plan at which time the Staff will be seeking a resolution of support.

****Note:** *these meetings will be held prior to our UDC hearing date.*

South Anchorage Sports Park

Development Options

The following table summarizes public preferences for development priorities at the South Anchorage Sports Park. Priorities are based on feedback gathered during a Public Meeting on October 27th, 2015 in which participants were asked to list their top 3 priorities.

Playground	Picnic Shelter	Trails	Open Play Field	Bike Park	Off-leash Area	Parking	Ballfields	Paintball	RC Park	Water Feature	Landscaping/ Beautification	Lighting	Amenities	Other
3				4		1						2		
3	4				1		5					2		
2		3			1							3		
					x						x	x	x	
				1	4			2	3					
						3	1							field maintenance
		2		3	1					x				
		3		1										cyclocross course
		2		1						3				
3		2		1										
		2			1								3	
		1				3				2				
				2	3				1					
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	6	1	3	2			4					5		
		2		1										cyclocross course
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		x		x						x				
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		2		1								3		
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		1			2						3			
x		x		x		x								
				x	x							x		
2		x		1							3	x	x	
		1		2										
6	3	16	2	22	11	5	3	1	4	7	3	10	5	Totals

South Anchorage Sports Park

Public Comments

The following table provides a list of public comments from the Public Meeting held on October 27th, 2015. Comments are grouped by topic area and do not reflect specific ranking.

Trails
Are trails multi-use?
Trails - cyclocross + winter + running + multi-use
linked trails for running/dirt trails for biking all around the park perimeter
A perimeter trail is nice, maybe it can serve as a cross track?
around the park path/trail should be well designed to attract people to use it.
a single track/cyclocross loop around entire park would be amazing an cost effective (all we need is easement + dirt)
winter ski trails would be a nice additional to this park area
Trail connectivity from other areas will increase use and enjoyment for many user groups.
Why not use the antenna farm for additional trails?
Bike Park
the bike park is a great idea! The Bike Community will be the anchorage tenant of this space
A permanent cyclocross course/track circumnavigating the park
Bike park w/ skills area, pump tracks, dirt jumps. Similar to Valmont bike park, with varying levels of skill from beginner to expert. Add a permanent cyclocross course around the perimeter of the park.
I love the bike park concept and the examples from Valmont B.P. in Boulder. With the growth of cycling worldwide, nationally, and more specifically Anchorage, Alaska. I think it is forward thinking at it's finest we've seen the growth in bike events as year round participation. This is encouraging and I support this strongly.
skills features in the bike park, in addition to a pump track
Cycling sports and demand for more areas to participate in cycling sports are on the rise in Anchorage. Providing areas for these activities will harness a growing user group.
make sure the bike park is big enough to function, include a pump track/skills center - say \$50K for pump track and \$350K for skills center
bike park should have a "skills park" with "freeride" features and not just a pump track, which gets kin of "old" quickly if it's the only bike park. It s also nice if the park connects to other city paths or bike paths along Klatt.
RC and Paintball
For RC Park we ideally need 100'X100, space with connex for storage & drivers stand/perch. There was also talk of combining RC Track with Pump Track to have a contractor build both with little guidance.
RC - too close to residential - excess noise
Paintball makes a huge mess in the surrounding area & the port-a -potty is very gross
Paintball proximity to dogs could create issues, dogs getting scared of the noise
RC use doesn't warrant the new size would -> would rather see it as a public space & leave RC where it is
Playground
This will be the only inclusive, accessible park + playground on the south side of town! Thank you!
"swings, slides, those driving toys with the steering wheels, RAMPS! Rings to hang on, 'accessibility'"
Off-leash Area
keep off leash area simple, natural, and open. This is cheap and very effective.
Dog Parks are always so busy - We need more and the water feature is or will be an asset.
make dog park a priority (first step of development) (just designate a space, put a fenced area with agility)
I don't have a dog but it is important to me to have a place for other people and dogs.
This is a heavily used area as a dog park
A off leash dog area similar to university lake would be great asset. No fence!

South Anchorage Sports Park

Public Comments

The following table provides a list of public comments from the Public Meeting held on October 27th, 2015. Comments are grouped by topic area and do not reflect specific ranking.

Lighting
lighting for winter activities? Ice skating, bike park, running path?
Water Feature
water is ??? purpose in winter
I like the whole package that was presented. The "water feature" is neat, especially for dog park.
water features - stagnant, mosquito breeding, filthy water
water with different and more funding
Ballfields
field turf instead of dirt infields
Maintenance
use community volunteers to groom skate and classic ski trails throughout the park connecting activity areas and utilizing open areas during winter. In addition plow and hot mop water feature for ice skating. This is critical to keep up winter time use when darkness and lack of other available outdoor activities increase criminal activity.
parks and field maintenance
would other Muni departments (e.g. Street maintenance) be available for dirt/excavation work?
What are the long term maintenance costs of each proposed facility?
Other
This is a great development and so happy to support the development
use volunteers as much as possible for hand finishing work
will there be a year round volunteer caretaker?
It is important to have a facility for non-conventional sports like paintball and remote control. However, a population park is not conducive to remote control airplanes.
See the name for the park to a corporate sponsor. Perhaps, Cabela's or Target (make this a yearly contribution to keep the name) or Starbucks
Try to group specific users together for planning and also construction time
start small w/ several interests, allowing for additional development as the need use increases. This helps with community use and build a s constituency to get ride of the undesirable Uses.
corporate sponsorship
I am interested in helping/volunteering in the development of this park
Sell the name to a vendor
I do not want to have a single group to dominate the total budget
I entrust that all concerns will be considered.
In order to have a park be utilized as much as possible adequate parking is needed.
Issues and Concerns
What are potential user conflicts?
Security and vandalism prevention
opening of Tower Road - against because of dumping, drug use area + other illegal activities
Speeding and reckless driving is an issue
As use increases a conflict between current RC plane users will arise because they use the parking lot along the central eastern boundary.
Need for mitigation to keep unauthorized motor use off grass and grounds.
pedestrian access to area along southwest corner - people speed excessively - install pedestrian crossing with lights
Traffic calming on W Klatt is/will be much needed

South Anchorage Sports Park Public Meeting

Sign In Sheet

Would you like to
 be emailed project
 updates? (yes/no)

	Name	Email	Address	Would you like to be emailed project updates? (yes/no)
1	Brian Walsh	brian-walsh99@yahoo.com	904 Main Tree Dr	yes
2	T.S. Weasek	Twocasek@sfc.cc	6927 Dunwoody Pl.	YES
3	Jim O'Neil	Northfish@GCI.net	1110 Kaylin Cir	yes
4	Cody Graver	codygraver@yahoo.com	8977 Vlle Brook Cr	no
5	Ken Best	KENBEST76@GMAIL.COM	2816 KRISTEN CIR	YES
6	Nathan Wolf	wolf.nathan.wolf@gmail.com	PO Box 201045	yes
7	Natasha Von Imhof	natesha@voterun.com	3735 westco	yes
8	CATHE GROSSHANDLER	catheg@acsalaska.net	5951 Orth Cir	yes
9	MARK DAVIS	SMAN@GCI.NET	135 PACIFIC HILL	YES
10	MARCY DAVIS	clarcycl@sci.net	134 Pacific View DR.	YES
11	STANLEY LYAN	STANLEYAN@GMAIL.COM	1680 SUMMER DR	YES
12	James Adams	Jadams@gaseservicesAK.net	349 Deerfield Dr	yes
13	Nancy Beardley	snbeardley beardley@ak.net		YES
14	Lee Bolling	ljbolling@gmail	8212 sercliff	yes
62	Mike Jipping	mikejipping@gmail.com	13911 Julu.	yes

Klatt Elementary
 October 27th, 2015
 6:30-8pm

South Anchorage Sports Park Public Meeting

Sign In Sheet

Would you like to
 be emailed project
 updates? (yes/no)

Name	Email	Address	Would you like to be emailed project updates? (yes/no)
1 CANTE PRITAS	CANTEPRITAS2@HOTMAIL.COM	3351 TEMPLE LANE	Y
2 Eric Stuart & Amanda Isenhorn	M.Stu2570@earthlink.net	320 Altk's Rd	YES
3 Ryan Greeff	greeffrak@gmail.com	5430 W. 82nd Ave.	YES
4 Sandy Traini			YES
5 Nicholas Feldman	nicholas.feldman@alaska.net	11319 Discov'ry Circle	YES
6 Jack Christensen Jr	kdickjacks@aol.com		YES
7 James Hwery	pfcjim@yaloo.com	10210 JAMESTOWN DR	YES
8 Jack Masby	jrmosby@alaska.net	PO Box 140264 ANK 99514	Y
9 Bill PETRIK	laszlo.park@gmail.com	12220 Hilltop Dr.	Y
10 Nick Thervien	thervien.nickle@gmail.com	2616 Brookstone Loop	X
11 BROOKE ALEXIN	brookealexin@gmail.com	" "	X
12 Gordon Witzel	gordonwitzel@gmail.com	4235 Birch Run Dr	YES
13 Jimmy Moore	TOPJIMMY86@AOL.COM	9030 UNIFA, EMEJAW DIC.	Y
14 Kara Moore	Karamoore@aol.com	9030 emerald Dr.	Y
15 G - NAUWFORSYN	KARENANDJENNYF@ALASKA.NET	ADMIRALTY PL	✓
		OCEANVIEW	

South Anchorage Sports Park Public Meeting

Sign In Sheet

Would you like to
be emailed project
updates? (yes/no)

Name

Email

Address

	Name	Email	Address
1	Deah Boltz	dboltz@betsworthmarthaca.com	
2	Joe Anta	jant@pld.com	
3	John W. Espartero	john@espartero.com	
4	Cody Landenburger	codelandenburger@gmail.com	
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South Anchorage Sports Park Playground Advisory Group Meeting #1

Sign-in Sheet

DATE: Dec. 16, 2015

	Name	Organization	E-mail/Phone
1	T.J. Wocasek	Diamond - West Hill League	TWocasek@saf.cc/ 249-2619
2	Johnny Hayes	DEERSVILLE NORTH	Hayes@Boticusouth.com
3	Andrew Mullins	Anchorage Park Foundation	andrew@anchorageparkfoundation.org
4	Jonathan Petrunic	TBC.	jpetrunic@tbcak.com
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Anchorage Parks and Recreation
Mail: P.O. Box 196650, Anchorage, AK 99519
632 W. 6th Ave. Suite 630, Anchorage, AK 99519
Phone: (907)343-4355



South Anchorage Sports Park 2016 Master Plan Implementation

Dear Klatt/Bayshore Neighbor:

The Anchorage Parks and Recreation Department plans to begin implementation of the Master Plan for the South Anchorage Sports Park in the Spring of 2016. Improvements to the park are to be based on the approved South Anchorage Sports Park Master Plan.

<http://www.muni.org/Departments/parks/Pages/SASPmasterplan.aspx>

The Anchorage Parks and Recreation Department will be presenting the proposed work plan at the Klatt/Bayshore Community Council. We look forward to seeing you and answering all of your questions!

Klatt/Bayshore Community Council Meeting

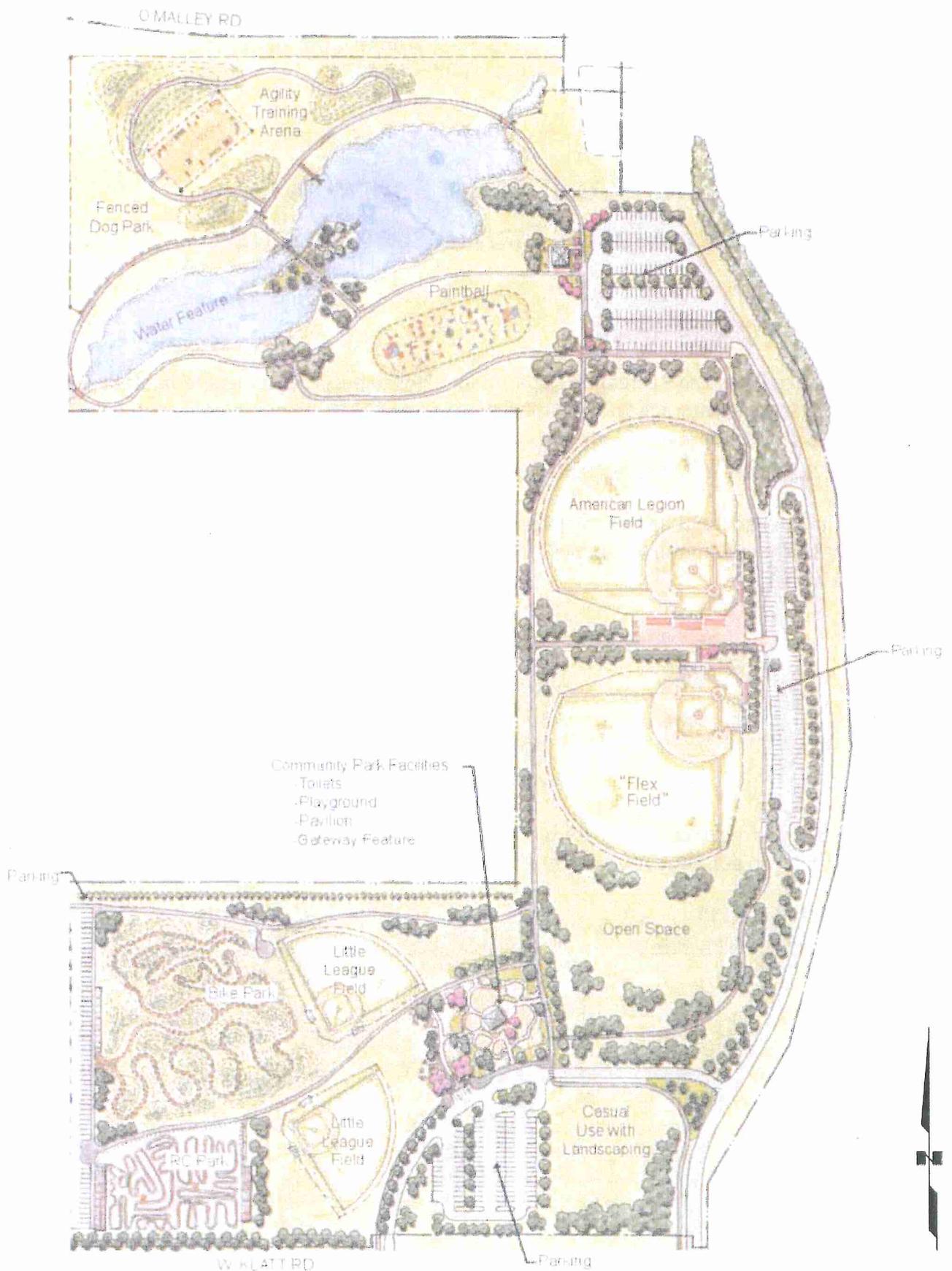
When: January 28, 2016 meeting at 7:00pm

Where: Klatt Elementary School
11900 Puma Street
Anchorage, AK. 99515

Also, please feel free to contact the Project Manager, Maeve Nevins, if you have any questions regarding this project. Maeve can be reached by:

Phone: (907) 343-4135

Email: NevinsMV@muni.org

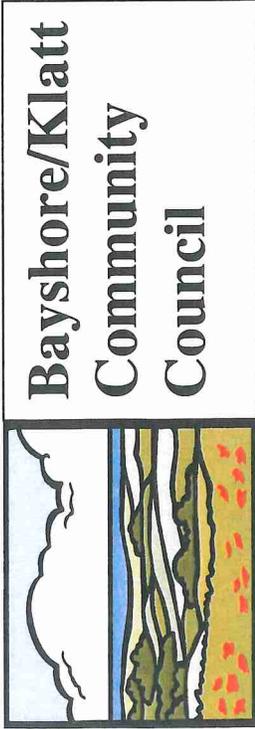


South Anchorage Sports Park
 Master Plan - Implementation

PARCEL NUM	Last Name	First Name	MailAddress	City	ZipCode	Site Address
0191427000	WEATHERBY	SUE A.	11801 Humbler Ct	Anchorage	AK 99515	
01914255000	BROWN	CLIFFORD D. & MARIA A.	11830 Timberlane Drive	Anchorage	AK 99515	
01604239000	SCOTT	ROBERT A.	725 E. Firwood Lane	Anchorage	AK 99511	112N R3W SEC 18 LT 4 SEC 17 REM
01914213000	BARKER	ILAH R.	901 Old Klatt Rd	Anchorage	AK 99515	600 Vander Hoek Ln
01615419000	HERTZ	ELIZABETH J. & RICHARD P.	629 Chellie's Circle	Anchorage	AK 99515	
01615179000	JONES	MARGARET E	11801 Mary Ave	Anchorage	AK 99515	
01615130000	RICE	WILLIAM P. & SUSAN PERRY	410 Vander Hoek Lane	Anchorage	AK 99515	
01615422000	TETZLAFF	DONALD H. & JOAN D	600 Chellie's Circle	Anchorage	AK 99515	
01614304000	CONNOR	PATRICK A	11300 Via Appia	Anchorage	AK 99515	
01614319000	MOA PARKS AND RECREATION ADMIN		PO Box 196650	Anchorage	AK 99519	MESA VERDE BLK 1 (PARK & WELL SITE)
01914209000	BRAYTON INVESTMENTS LLC		6653 Brayton Drive	Anchorage	AK 99507	11740
01914116000	STAFFORD		11820 Hilltop Dr	Anchorage	AK 99515	
01914260000	LANTZ	SCOTT J.	1001 Allison Cir	Anchorage	AK 99515	
01914281000	KELLY	JAMES R. & MARIE L	851 Allison	Anchorage	AK 99507	
01914266000	BALLYOOT	RICHARD DJR & ANGIE M	11410 Via Appia	Anchorage	AK 99515	
01914269000	TRENT	LEWIS E. & ETHEL B.	11731 Mary Avenue	Anchorage	AK 99515	
01615503000	APERTO JJ & SILVESTER R H/TTE	JEFFREY C & KELLY	940 Allison Circle	Anchorage	AK 99515	
01914282000	JURY	KATE R	1031 Allison Cir	Anchorage	AK 99515	
01914257000	LAGANSON	ROMEO A & LEONORA C	1121 Old Klatt Rd	Anchorage	AK 99515	
01914106000	WYATT	SCOTT J.	1011 Allison Cir	Anchorage	AK 99515	
01914272000	WATSON-KANE 2013 LIVING TRUST/KANE TIMOTHY MARK & ERNA WATSON /TTES		800 Allison Cir	Anchorage	AK 99515	
01914264000	SON	DOK	311 Allison Cir	Anchorage	AK 99515	
01914272000	CARINO CYRIL G &	DARRELL WAYNE & LEZLIE	311 Allison Cir	Anchorage	AK 99515	
01914211000	KEEFE THOMAS H 50% &	KEEFE TESTED	801 Old Klatt Rd	Anchorage	AK 99515	
01615411000	SMITH KENNETH D 50% &	KELLY USA 50%	801 Old Klatt Rd	Anchorage	AK 99515	
01914141000	O'NEILL	CORP OF THE PRESING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS	11800 Mary Ave	Salt Lake City	UT 84150	11701 Puma St
01914139000	JOHANSON	VANDER HOEK TRESSIE P LIVING TRUST VANDER HOEK TRESSIE P/TRUSTEE	11600 Mary Ave	Anchorage	AK 99515	
01614310000	BRAULT	JAMES J. & KATHERINE A	1110 Kaylor Cir	Anchorage	AK 99515	
01901109000	SNELLING	PATRICK E. & SHARILYNN	11810 Timberline Drive	Anchorage	AK 99515	
01614313000	FORTIN	RICHARD H. & PAULAS	11420 Via Appia	Anchorage	AK 99515	
01615420000	SEARIS	MOA REAL ESTATE SERVICES PARKS & RECREATION ADMIN	PO Box 196650	Anchorage	AK 99519	11550 Tower Rd
01914280000	PITKA	JOHN C. & RUTH A	11450 Via Appia	Anchorage	AK 99515	
01615152000	STRUGHLER	ROBERT F. & MARIE	PO Box 110237	Anchorage	AK 99511	11641 Toy Dr.
01644290000	STODIGH	FRICHE RICHARD 50% & AYALA LUDIVINA 50%	619 Chellie's Circle	Anchorage	AK 99515	
01615505000	LESTER	JAMES AND MARY	821 Allison Circle	Anchorage	AK 99515	
01914138000	SAUR	JENNA R. & GERALD E	920 Allison Cir	Anchorage	AK 99515	
01614236000	WILLIAMS	IPENNA R. & ROBIN	11741 Timberlane Dr	Anchorage	AK 99515	
01914271000	BISSONNETTE	DONALD M. & CAROLYN R	11444 Via Balboa	Anchorage	AK 99515	CALASKA INDUSTRIAL PARK LT 88
01914298000	WILLIAMS	NOA	PO Box 110533	Anchorage	AK 99511	11701 Mary Avenue
01615424000	KUHN	DESBREL & GARY AJR	1170 Kaylor Dr	Anchorage	AK 99515	
01914274000	POHLAND	TODD L. & BAYLENE KASR	11800 Hideaway Lake Dr	Anchorage	AK 99507	11231 Via Appia
01615421000	DIECKGRAEFF	STANLEY M. & ROMA L	11321 Via Appia	Anchorage	AK 99515	
01615425000	SONG	VELVA L	11920 Timberlane Dr	Anchorage	AK 99515	
01615198000	DOVBA	MARY L	801 Allison Cir	Anchorage	AK 99515	
01914107000	PILCH	CHelsea B. & WILLIAM C	6593 Brach's Drive	Anchorage	AK 99502	
01914135000	HAMMOND	TAWMYD	629 Chellie's Circle	Anchorage	AK 99515	
01914114000	DOKOOZIAN	ANDREW & HYANG S	609 Chellie's Circle	Anchorage	AK 99515	
01914279000	OTTUM	YAROSLAV S	11720 Mary Ave	Anchorage	AK 99515	
01914273000	HENRY	CHARLES E. & ANN MARIE	1205 Old Klatt Rd	Anchorage	AK 99515	
01914254000	FOUNTAIN	CHRISTOPHER J & STEPHANIE	1111 Kaylor Cir	Anchorage	AK 99515	
01615151000	DEFTULLA	NANCY W	11801 Toy Dr	Anchorage	AK 99515	
01914217000	KHADJINOVA	JEREMY N. & SARAH K	810 Allison Cir	Anchorage	AK 99515	
01614308000	PEDERSEN	DONALD E	11820 Timberlane Dr	Anchorage	AK 99515	
01614303000	AMIATU	DAVID J. & DOROTHEA R	11701 Timberlane Dr	Anchorage	AK 99515	
01614302000	BRUCE	WHEELLES FAMILY REVOCABLE TRUST WHEELLES J. P. & J./TRUSTEE	440 Vander Hoek Lane	Anchorage	AK 99515	
01914283000	HANSEN	STEPHEN E. & TINA A	6531 Cypress Glades Dr	Kahly	TX 77449	841 Old Klatt Rd
01615501000	GERHARD	CHRIS E	830 Vander Hoek Lane	Anchorage	AK 99515	11400 Via Appia
01914108000	BAKER	ARMSTRONG MICHAEL CLARENCE 50% REED DEBORAH MORLEY 50%	11230 Via Appia Dr	Anchorage	AK 99515	
01914216000	WHALEN	REBECCA J. & AUSTERMUHL JON D	1000 Allison Circle	Anchorage	AK 99515	
01914105000	CHOATE	IRENE & JERAMIE J	831 Allison Cir	Anchorage	AK 99515	
01914278000	LINDA'S ASSISTED LIVING LLC	TANNER M	11751 Klatt Rd	Anchorage	AK 99515	
01615197000	HAWK	PAT M	1601 Old Klatt Road	Anchorage	AK 99515	
01614349000	POPP	GONDON T	800 Allison Cir Valley Dr	Anchorage	AK 99515	
		MARIA S	PO Box 244323	Anchorage	AK 99515	850 Allison Cir
		CHRISTOPHER J. & ELIZABETH T	11700 Mary Avenue	Anchorage	AK 99515	
		JEFFERY & LEANNE	11330 Via Appia	Anchorage	AK 99515	
		PTLUM HOLLY 50% & PTLUM TIMOTHY M 50%	4065 Wyoming Dr	Anchorage	AK 99517	11221 Via Appia

01644231000	SHAWER	WALTER J	11401 Via Appia	95515	Anchorage
01644301000	NOVOTNEY	STEPHAN A & INDESKY L	11210 Via Appia	95515	Anchorage
01647424000	PRZECZEWSKI	JOHN M & VERONICA R	11205 Via Barbara	95515	Anchorage
01615504000		KEVIN & CHRISTINA	11821 Mary Ave	95515	Anchorage
01914112000	ROGINA	NIJESU AARON R 50% & DICKSON DAVID A 50%	11721 Toy Dr	95515	Anchorage
019144723000	BOURDJOUFSKY	JASON JR & STACEY L	840 Old Klatt Rd	95515	Anchorage
01615502000	THOMPSON	ALAN & DINA	841 Allison Cir	95515	Anchorage
019141132000	ZACZEWSKI	KORNELIA MARIA	11741 Mary Avenue	95515	Anchorage
016149236000	MITCHELL	DAVID R & KATHERINE G	811 Woodmar Pl	95515	Anchorage
01614232000	PATTE	SEAN R	11211 Via Appia Drive	95515	Anchorage
01644235000	OTTO	PHILLIP E	11331 Via Appia	95515	Anchorage
01608140000	ARK-LAND TRANSPORT INC	MATTHEW I	11301 Via Appia Drive	95515	Anchorage
01615405000	WAGGONER	STEPHAN I	11100 Calaska Circle	95515	Anchorage
01914275000	BERGSTROM	THOMAS R & KATHLEEN M	11840 Mary Avenue	95515	Anchorage
01914210000	DOMINGO	THOMAS C & RAHLEEN M	839 Allison Cir	95515	Anchorage
01914256000	BRINKMAN	FRANCOIS & KAGUEL R	741 Old Klatt Rd	95515	Anchorage
01261102000	COCK INLET REGION INC LAND DEPARTMENT	JEFFERY D & DIANA L	11800 Humble Ct	95515	Anchorage
01914136000	BASS	SHAWN E	725 E. Fireweed Lane	95515	Anchorage
01914134000		QUILIZA BEN JAKE F 50% & QUILIZA ANTHONY S 50%	1121 Kaylin Cir	95515	Anchorage
01914267000	MCCARTY	TODD J & MELISSA C	1101 Kaylin Cir	95515	Anchorage
01262102000	PARKS & RECREATION ADMIN	MOA REAL ESTATE SERVICES	841 Allison Cir	95515	Anchorage
01914284000	STARR	RYAN	PO Box 198650	95515	Anchorage
01914258000	LUCAS	BAIRD RONALD & DEBORAH FAMILY TRUST BAIRD R L & D K/TRUSTEES	1010 Allison Cir	95515	Anchorage
01914217000	DYSON	TASHA & ERIC	1021 Allison Cir	95515	Anchorage
01914278000	KRANAWETTER	JOHN JR & VALERIE K	11801 Hilltop Dr	95515	Anchorage
01914218000	REID	ANNE REINE	1020 Allison Cir	95515	Anchorage
01914219000	WARDLEL	MICHAEL	11871 Humble Ct	95515	Anchorage
01914275000	JORDAN	DAILY BENJAMIN J & PRESCOTT CELESTE	737 W 22nd Ave	95515	Anchorage
01614240000	JONES	STEVEN B	11821 Hilltop Dr	95515	Anchorage
01614306000	SLATTERY	LANCE R & BONNIE	800 Old Klatt Rd	95515	Anchorage
01608126000	GREEK-NEALE	TYLER L & ERIKA J	840 Allison Cir	95515	Anchorage
01914117000	BOWMAN	STEVEN S	1190 Via Appia	95515	Anchorage
01914109000	DEFTULLA	KAANDA LLC 90% & 7.3 FOX TROT LLC 10%	11320 Via Appia	95515	Anchorage
01615507000	ANDERSON	ROSEMARY	704 228th Ave Ne #792	95515	Anchorage
01615141000	POMEROY	RALPH F & ZENOBIA E	11840 Hilltop Dr	95515	Anchorage
01614234000	ENGLISH	STEPHEN E & TINA A	440 Vender Hoek Ln	95515	Anchorage
01614311000	MULLER	MICHAEL J	3705 Arctic #2034	95515	Anchorage
01614314000	RIPE	VINCENT L & ELIZABETH	11641 Timberlane Dr	95515	Anchorage
01608137000	MCA 7310	ANGELA R & ZACKARY J	11311 Via Appia	95515	Anchorage
01601106000	ALPHA MEDIA LLC	SIMON C III & KERRY J	11430 Via Appia	95515	Anchorage
01614323000	DAVIS	MARY M	11480 Via Appia	95515	Anchorage
01614326000	MAROUJAS	MCA	PO Box 198650	95515	Anchorage
01914221000	BOGGES	INDBEE J	1211 SW 5th Avenue, Suite 750	95515	Anchorage
01914215000	WHALEN	GEORGIOS D & GEORGIA	11440 Via Appia	95515	Anchorage
01914131000	NOREN	MOA REAL ESTATE SERVICES PARKS & RECREATION ADMIN	610 Chellie Circle	95515	Anchorage
01914270000	MILLER	DOUGLAS D	PO Box 198650	95515	Anchorage
01914255000	SCHWICHT	TYLER	1010 Old Klatt Road	95515	Anchorage
01914137000	NEIL	PATRICK M	1001 Old Klatt Rd	95515	Anchorage
01614305000	WALKER	BRENT A & ANGELA C	13800 Hilltop Dr	95515	Anchorage
01614328000	VILLAREAL	STEPHEN J & DEBRA B	811 Allison Cir	95515	Anchorage
01901110000	MCA 7310	JAMES & DEBORAH	11820 Humble Ct	95515	Anchorage
01614325000		BRIAN D & CYNTHIA S	1131 Kaylin Cir	95515	Anchorage
01614326000		EUGENIO G & FLORDELIZA	2100 Stockdale Cir	95515	Anchorage
01614327000		KLATT FAMILY LIMITED PARTNERSHIP	11200 Via Appia	95515	Anchorage
01614328000		GRAYLING LAND DEVELOPMENT LLC	501 W Klatt Rd	95515	Anchorage
01914140000	ILALIO	MOA	PO Box 93330	95515	Anchorage
01914286000	KOVACH	GRAYLING LAND DEVELOPMENT LLC	PO Box 198650	95515	Anchorage
01914214000	CULVER	GRAYLING LAND DEVELOPMENT LLC	PO Box 93330	95515	Anchorage
		GRAYLING LAND DEVELOPMENT LLC	PO Box 93330	95515	Anchorage
		GRAYLING LAND DEVELOPMENT LLC	PO Box 93330	95515	Anchorage
		GRAYLING LAND DEVELOPMENT LLC	PO Box 93330	95515	Anchorage
		GRAYLING LAND DEVELOPMENT LLC	PO Box 93330	95515	Anchorage
		FENUAIJI JR & THERSE D	1100 Kaylin Cir	95515	Anchorage
		PAUL J & HOLLE A	1030 Allison Cir	95515	Anchorage
		ROGERS GEORGIA L REVOCABLE TRUST ROGERS DONALD R/TRUSTEE	921 Old Klatt Rd	95515	Anchorage
		MARK D & DEBORAH M	11740 Mary Ave	95515	Anchorage

E-mail : baykiattcc@hotmail.com



**Agenda for Monthly Meeting
Thursday, January 28, 2016 @ 7:00 PM
Klatt Elementary School MP Room**

President
Bob Hoffman

Vice-president
Dave Carter

Secretary
Wayne Pichon

Treasurer
Bob Brock

For other Community Council information, call 277-1977.

<http://www.communitycouncils.org/Bayshore/Klatt/bayshore.html>

My Neighborhood Website

<http://neighborhood.muni.org/>

Executive Board actions since last meeting:

1. Cannabis resolution completed
 2. Meeting with MOA over Klatt Bog issue
- Meeting with MOA over Klatt Bog issue

Please note the new meeting day for BKCC

**We are now meeting on the fourth
Thursday of the month beginning in January 2016**

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Please pass this e-mail on to your neighbors

I. CONSENT AGENDA

- A. Call to Order
- B. Sign-up sheet, e-mail distribution list (blind copy), voluntary dues
- C. Previous Meeting Minutes and approval
- D. Treasurer's Report
- E. Legislator, Assembly and ASD Reports
 - >>>Legislative Teleconference Call @ 7:10 (When in session)
- F. Fire Station 15 local report
- G. Anchorage School Board Update
- H. Committee Reports (FCC)

II. SPECIAL GUESTS / NEW BUSINESS

- A. **South Anchorage Sports Park**
Maeve Nevins, Senior Park Planner
Presentation of the final park plan and schedule update.
Construction has already begun to bring water and sewer into the park.

III. MUNICIPAL NOTICES (For discussion/Action/Information)

- **Minnesota Drive Reconnaissance Study**

The State of Alaska Department of Transportation and Public Facilities (ADOT&PF), in cooperation with the Federal Highway Administration, has initiated a Reconnaissance Engineering Study of the Minnesota Drive corridor from Westchester Lagoon through the Seward Highway. The study is currently researching issues concerning safety and operation that can be brought forward for further analysis as funding becomes available. ADOT&PF has hired Kinney Engineering to analyze the various intersections and road segments and to evaluate a range of potential improvements. The final report will aid the Department in prioritizing funds for future design and construction. Visit us at the Anchorage Transportation Fair on February 4, 2016 at the Alaska Airlines Center on the campus of UAA from 4 to 8 pm.

<http://www.minnesotadrivestudy.com/>



- The Part 150 Study is now complete and a final follow-up Study Input Committee meeting is scheduled for 1:30pm, Wednesday, February 10th, 2016 at ANC's Airfield Maintenance Facility.
<http://www.lhdmasterplan.com/projects/lakehoodmp/index.html>
- Ted Stevens Anchorage International Airport will hold the next ANC Stakeholders Meeting on Thursday January 28, 2016 from 3:00 p.m. to 5:00 p.m. at the Anchorage Airport Manager's Conference Room, 5000 West International Airport Road, and 4th floor. The meeting will provide an update to community members of the airport's current business outlook, construction projects, Lake Hood, concessions news, public involvement, upcoming events, etc.
- The draft Alaska State Rail Plan is now available for review. Please visit www.asrpolah.com to view the online open house and to download PDFs of the plan and appendices. The public comment period is open until March 10, 2016 at 5:00 pm AST. We look forward to your comments.

- **The Alaska Department of Transportation and Public Facilities (DOT&PF)** and partners, including the Municipality of Anchorage, Anchorage Police Department, Alaska Railroad, and Anchorage Water and Wastewater Utility, invite you to participate in the 2016 Anchorage Transportation Fair. The event is a "super open house" providing a showcase of transportation projects, planning efforts or existing plans concerning walking, biking, and driving within the Municipality of Anchorage. The Transportation Fair is free and open to the public.

When: Thursday, February 4, 2016, 4 to 8 p.m.

Where: Alaska Airlines Center Auxiliary, University of Alaska
Anchorage, 3550 Providence Drive, Anchorage

FREE PARKING!

Partial project list:

- Anchorage Area-wide Trails Rehab - Fish Creek Trail
- Anchorage Bike & Pedestrian Plan
- C St Railroad Crossing
- Arctic Boulevard Improvements Phase III: 36th to Tudor
- Bicycle and Pedestrian Plan Implementation
- Bragaw at 16th Channelization
- Campbell Airstrip Rd Upgrade and Trail Improvements: Tudor Rd to Mile 0.7
- Glenn Highway/Muldoon Interchange Improvements
- Highway Safety Improvement Program
- Jewel Lake Widening: 88th to Strawberry
- Lake Otis at 68th Channelization
- **Minnesota Reconnaissance Study**
- O'Malley, Phases I and II: Seward Highway to Hillside Dr
- Parks Highway Projects
- People Mover and Public Transportation
- Seward Highway Reconstruction: Dimond to Dowling
- Seward Highway, MP 105-107 Windy Corner
- Spenard Road Reconstruction Phase II: Hillcrest to 30th
- And many more...

[CLICK HERE](#) for a flyer about the event.

- **Cell Tower Ordinance MOA P&Z Case: 2016-0015**

On February 1, Planning & Zoning will hear public testimony and make recommendations to the Anchorage Assembly, who will then take public testimony on Tuesday, February 23.

See attachments

- **Anchorage School District**
February is "Visit Our Schools Month"

[CLICK HERE](#) for the flyer describing "Visit Our Schools Month" in the Anchorage School District.

- **NOTICE OF APPLICATION FOR A PERMIT TO APPLY PESTICIDES** *(this did not come through in good condition. Links do not work)*

Campbell Lake Owners, Inc. has applied to the Alaska Department of Environmental Conservation (DEC) for a permit to apply herbicide to control vegetation in Campbell Lake in the Anchorage area.

The following project is proposed and is being reviewed by the appropriate regulatory programs. DEC requests comments from the public regarding the permit application below.

PROJECT NAME: Campbell Lake Vegetation Control Aquatic Pesticide Use Permit.

WRITTEN COMMENTS: Comments must be received no later than 4:00 p.m. Alaska Standard Time on January 22, 2016. To ensure that your comments are considered in relation to this application, please include the project name at the beginning of your comment. To be considered, comments must be submitted in writing to DEC at the following address:

Rebecca Colvin
Department of Environmental Conservation Pesticide Program
555 Cordova Street, Anchorage AK 99501
Phone: 907-269-7802
Fax: 907-269-7600
Email: Rebecca.colvin@alaska.gov

PROJECT SUMMARY AND LOCATION: Campbell Lake Owners, Inc. has applied to DEC for an aquatic pesticide use permit to apply herbicide to Campbell Lake in the Anchorage area

The proposed products include:

- Littora, EPA registration number 67690-53
- Sonar GENESIS, EPA registration number 67690-54, and
- SonarONE, EPA registration number 67690-45.

Littora has the active ingredient Diquat Dibromide and both Sonar GENESIS and SonarONE products have the active ingredient Fluridone. Treatment is proposed to occur between May and September throughout the duration of the permit.

PROJECT NEED: Campbell Lake primary use is as a float plane base with no recreational activities permitted within the boundaries of the lake. Nuisance aquatic vegetation (NAV) is unmanaged and allowed to establish into thick, dense stands, it could jeopardize the health and safety of float plane pilots and lake management operators on Campbell Lake.

PERMIT APPLICANT:

Campbell Lake Owners, Inc.
c/o Reeves Amodio, LLC
500 L Street, Suite 300
Anchorage, AK 99501

FOR SPECIFIC INFORMATION REGARDING THE APPLICATION CONTACT:

Karin Hendrickson
Department of Environmental Conservation
Pesticide Control Program
1700 E. Bogard Rd. #B103, Wasilla AK 99654
Phone: (907) 376-1856A
Email: Karin.Hendrickson@alaska.gov

The State of Alaska, Department of Environmental Conservation complies with Title II of the Americans with Disabilities Act of 1990. If you are a person with a disability who may need a special accommodation in order to participate in this public process, please contact Natalie Wolfe at 907-269-0291 or TDD Relay Service 1-800-770-8973/TTY or dial 711 by the close of the public comment period to ensure that any necessary accommodations can be provided.

IV. ADJOURNMENT

Next meeting is February 25 at Bayshore Club House (subject to change)

Scheduled topics to date:

E. Klatt Road Area Drainage Improvements Project presentation

BAYSHORE/KLATT COMMUNITY COUNCIL

Minutes of Meeting

January 28, 2016

President Hoffman called the meeting to order at 7:07 PM. A quorum was present, and a register was circulated for members and guests to sign in. The meeting was held at Klatt School.

1. The consent agenda items discussed were:
 - i. Minutes and agenda were approved
 - ii. Treasurer report: 1177.29
 - iii. Fire Station 15: No report.
 - iv. FCC report: No report
 - v. Legislative report:
 - Robert from Rep. Johnson's office commented that they want to see budget cuts before instituting taxes.
 - Diane from Sen McGuire's office discussed the ongoing budget quandary and the Senator's views on that. She also opined that budget cuts were preferable to fiscal measures. She also mentioned that a new commission of corrections has been named.
 - A member questioned both regarding their views on budgetary versus fiscal measures.
 - vi. Anchorage School District: Kathleen Plunkett from the ASD School Board briefed the Council on various budget issues, and told the group that the financial report will be approved at the next meeting. 2.
2. New business:
 - i. A representative from the Parks Dept gave a long and thorough overview of the proposed Master Plan of the park area around the Klatt Ball fields. Members were assured that a buffer surrounding the entire facility would prevent as much as possible noise pollution of the surrounding households on Klatt. She also opined that lights would be so phased as to not cause the light pollution that is occurring with the newly constructed Cook Inlet bldg. Much discussion occurred with the group asking for an endorsing resolution from the council. Said resolution was not completed.

The meeting ended at 8:37 PM.

Wayne M. Pichon, Secretary

Bob Hoffman, President
Bayshore/Klatt Community Council
e-mail: bayklattcc@hotmail.com

RE: Presentation of South Anchorage Sports Park 2016 Improvements
Meeting Summary

Dear Bob:

Thank you for accommodating us at the Bayshore/Klatt Community Council meeting last week. As required by Title 21 for review by the Urban Design Commission, we are providing a written summary of the presentation and subsequent discussion of the South Anchorage Sports Park 2016 Improvements Project by representatives of the Municipality of Anchorage Parks and Recreation Department.

On January 28, 2016 the Bayshore/Klatt Community Council met for their monthly meeting. Approximately 25 people were in attendance. Four weeks prior to the meeting, written notice was mailed to 150 owner/tenants of record for properties within 1000 feet of the South Anchorage Sports Park (SASP). The letter informed area residents that the Parks and Recreation Department (P&R) would be presenting SASP's 2016 master plan implementation program during this meeting. In addition, Parks and Recreation was listed on the published meeting agenda for the Community Council.

During the meeting, Maeve Nevins, P&R Park Planner, presented the South Anchorage Sports Park (SASP) 2016 improvement plan. Ms. Nevins provided an introduction and a brief history of the SASP Master Plan. Improvements proposed in this meeting for 2016 represent the first phase of Master Plan implementation. Planned improvements for summer of 2016 include:

- Installation of site lighting throughout the park, including internal roadways, parking lots and areas receiving improvements;
- Construction of a dog park,
- Improvements to the south parking lot including surface rehabilitation, landscaping, additional ADA-accessible parking, and a pick-up/drop-off lane;
- Construction of a new All-Inclusive Playground, picnic shelter, and plaza;
- Development of soft-surface trails to interconnect recreation areas;
- Landscaping to provide a buffer between the park and Klatt Road and additional tree and shrubs for internal areas.

Members of the Bayshore/Klatt Community Council offered the following concerns and questions regarding these improvements:

1. Site Lighting

Overall the Community Council supports installing site lighting to improve security within SASP. However, community members expressed dissatisfaction with the light pollution being emitted from the recently constructed Doyon Universal Services Building. With the quantity of lights proposed at SASP what efforts can be made to reduce light pollution from the park?

The project's civil engineer, Jacques Boutet, responded by explaining the site lighting would be installed per Anchorage Municipal Code and the technology being used on new projects greatly reduces the amount of light pollution, including directing all light below the fixture and not

skyward. Mr. Boutet also added the design team is considering other options to improve maintenance and operational costs by using timing devices turning off the lights when the park is closed. Future options could include remote access to the lighting by the Anchorage Police Department to perform random security checks during off-hours. *(Note: SASP sits at an elevation of 30-40 feet below the Doyon Building. Lighting for parking lots and the access road would likely be lower than Klatt Rd.)*

2. Bike Park

During the presentation of the SASP Master Plan history, questions regarding the purpose, function, and user-activity of a Bike Park were raised by several of the community members. Ms. Nevins explained the intended demographic for a Bike Park are families. It provides a safe place for children, as well as adults, to learn different biking activities, skills, and techniques in a positive social environment. Ms. Nevins also added there are no plans to construct a Bike Park in 2016 and that its development is contingent on future funding. Design and construction of the bike park will be addressed in a future public meeting and permitting process, when more design information and construction funding is available.

3. Radio-Controlled (RC) Park & Landscaping

Community members expressed concerns and dissatisfaction with the relocation of the RC Park. Community members felt their concerns and comments were not heard during the Master Plan process.

Although Ms. Nevins was not involved in the Master Plan process she explained the Remote Control technology is moving away from noisy liquid fuel motors and towards much quieter electric motors. Also, as mentioned in the Master Plan, a berm with landscaping would be provided to help reduce noise generated from this park activity. Additional questions from the community regarding the type of landscaping were answered by the design team's landscape designer Jonathan Petrunic. Mr. Petrunic explained Municipal Code requires 'Visual Enhancement Landscaping' and the design will exceed code requirements with the construction of a berm. The berm would be constructed in an organic/aesthetic shape varying in height and width. The newly planted trees and shrubs would be planted along and on top berm. The landscape planned for this area should help reduce the noise generated from this park activity.

4. Surcharging for structural foundations

A question was raised regarding the use surcharge for structural foundations within the park. Mr. Boutet indicated that surcharging was among the options recommended by the project's geotechnical engineer for stabilizing the "deep" peat that underlies virtually all of the park. However, the major structures proposed for the 2016 program- the playground, plaza, and new parking areas- would be specified for full-depth excavation of organics and replacement with a combination of unclassified and structural fill. The "soft" trails would not be surcharged, but would utilize a combination of geotextile/geogrid and structural fill placed directly on top of cleared native soils.

A draft Resolution was not presented to the Community Council. However, the Bayshore/Klatt Community Council stated they wished to further review the 2016 Implementation Plan and would offer comments and a Resolution during the February Community Council Meeting.

The Anchorage Parks and Recreation Department encourages the Bayshore/Klatt Community Council to contact Maeve Nevins with any comments or concerns of this summary or as this project continues towards final design. Ms. Nevins can be reached at:

Phone: (907) 343-4135

NevinsMV@ci.anchorage.ak.us

February 18, 2016

Bob Hoffman, President
Bayshore/Klatt Community Council
e-mail: bayklattcc@hotmail.com

RE: Presentation of South Anchorage Sports Park 2016 Improvements
Meeting Summary Clarification

Dear Bob:

This letter is to clarify an item in the letter sent to the Bayshore/Klatt Community Council on February 2, 2016 regarding a draft Resolution for the South Anchorage Sports Park presentation.

In the Meeting Summary letter it was stated that a draft Resolution was not presented to the Community Council. However, Maeve Nevins sent the Bayshore/Klatt Community Council a draft Resolution to Council President, Bob Hoffman, prior to the meeting. It was discussed that the Bayshore/Klatt Community Council would like to review the Resolution and the project prior to supporting on the Resolution.

Thank you,
Jonathan Petrunic



MAJOR SITE PLAN REVIEW
2016 SOUTH ANCHORAGE SPORTS PARK
IMPROVEMENTS PROJECT

Appendix – III

2016 South Anchorage Sports Park Parking Study



1. Purpose of the Study

Implementation of the SASP Master Plan is expected to significantly increase park visitation. Consequently it is timely to review the existing parking supply within the park. This study was comprised of the following tasks:

- Inventory of the existing supply of parking spaces at SASP;
- Review of parking improvements proposed in the SASP Master Plan;
- Analysis of the park's parking generation based upon proposed uses;
- Presentation of conclusions and recommendations for parking improvements as part of the 2016 program of improvements.

2. Existing Conditions

SASP has three developed parking lots, summarized below:

<i>Lot</i>	<i>Location</i>	<i>Area* (MSF)</i>	<i>Parking Spaces</i>
1	South	40	100
2	Central	44	100
3	North	49	135
	Total		335

*Area is inclusive of internal circulation driveways.

The lots are surfaced with asphalt pavement. No site lighting is currently provided. Interior and perimeter landscaping is limited at south and north lots and not installed at central lot.

3. Parking Improvements Proposed in SASP Master Plan

The Master Plan proposes a program of site improvements for the parking lots. Many of these improvements will be constructed in the proposed 2016 program as summarized in the table below:

<i>Lot</i>	<i>Location</i>	<i>Lighting</i>	<i>Landscaping</i>	<i>Pavement Rehab</i>
1	South	2016	2016	Future phase
2	Central	2016	Future phase	Future phase
3	North	2016	Future phase	Future phase

As noted in previous discussion, the 2016 program is financially-constrained; only \$2.3 million of the estimated \$10 million in required funding is available. Consequently some Master Plan tasks must be deferred until additional funds can be identified.

The Master Plan also proposes a new parking lot along Tower Road, in SASP's southwest corner. Construction of this lot will also be deferred until parking demand requires it and/or funding is available.

4. Parking Generation Analysis

1. South Area

The South Lot will eventually encompass the parking for the radio-controlled (R/C) car park, bike park, two-Little League baseball fields, a playground, pavilion, picnic area and toilets.

R/C Car Park

Institute of Transportation Engineers (ITE), Parking Generation Manual (4th edition), Land Use 411-City Park, Site #2 study is a 10-acre park (playground, picnic area & hiking trails) with peak hour use of 2.8 cars per acre and a total peak use of 28 cars. The proposed R/C car park vicinity is approximately one-acre. According to this study, three parking spaces would be required for the R/C car park. A second study found that when a playground is in combination with several ballfields, as is the case with the South Lot, the parking requirements vary. If *Title 21* baseball field parking counts and *ITE Parking Generation Manual* soccer field parking space requirements are used, and no spaces are added for the playground; the existing parking spaces exceed the requirements for peak usage. (*ITE Land Use 411-City Park, Site #1*). The Site #1 study requires about five parking spaces per acre. The R/C car park is roughly one acre; therefore, the parking lot will require approximately five spaces.

Bike Park

The most comparable parking study to a bike park is the *ITE Parking Generation Manual*, Land Use: 411, City Park-Site #1. This study is a 25-acre park with three-softball fields, two-soccer fields, an outdoor group area, and an administration building. Peak demand is five vehicles per acre. The bike park is 3.25 acres at five spaces per acre, 16.25 spaces are required; rounding up, 20 spaces will suffice at peak usage.

Little League Ballfields

For the two Little League baseball fields, *Title 21*, Table 7-4-OFF-STREET PARKING SPACES REQUIRED, Use Category: Park and Open Area, Use Type: Park, Public or Private require a minimum of 25 spaces per ballfield. Therefore, the Little League fields will require 50 spaces.

Playground/Pavilion Area

ITE Parking Generation Manual, Land Use 411-City Park, Site #2, is a ten-acre park (playground, picnic area, & hiking trails) with a peak hour use of 2.8 cars per acre providing a total peak use of 28 cars. The proposed park vicinity is 0.5 acres (playground, picnic). According to this study, approximately one parking space is required. In a second study, they found that when a playground is in combination with several ballfields, the playground parking becomes negligible (*ITE Parking Generation Manual*, Land Use 411-City Park, Site #1). The Site #1 study required about five parking spaces per acre. This playground/pavilion area is less than 0.4 acres. In doubling the highest parking space rate of the *ITE Parking Generation Manual* site studies, five parking spaces will be more than adequate.

In summary, the South Parking Lot will necessitate 80 parking spaces and currently has 100 spaces; therefore, the Tower Road Parking Lot construction will not be required at this time.

2. Central Area

The Central Lot consists of the parking for two-American Legion Baseball Fields, one of which has been constructed and is in active use.

For the two American Legion baseball fields, *Title 21*, Table 7-4-OFF-STREET PARKING SPACES REQUIRED, Use Category: Park and Open Area, Use Type: Park, Public or Private require a minimum of 25 spaces per ballfield. Therefore, the Central lot requires 50 parking spaces; however, it currently encompasses 100 spaces. No additional parking in the Central Lot will be required for the implementation of the *South Anchorage Sports Park Master Plan 2014*.

3. North Area

The North Parking Lot will supply parking for the dog park and the paintball venue.

Paintball Venue

In paintball, there are normally two teams of five to seven people per team. The normal paintball users are young and are likely to carpool. For the Paintball Venue's 10-14 players, 15 parking spaces is required.

Dog Park

The dog park will require 30 spaces to be reflective of the high dog park usage in the Anchorage area.

The north parking lot will require 45 parking spaces for the combined planned usage and is not deficient spaces for the proposed South Anchorage Sports Park Master Plan 2014 implementation.

5. Conclusions

The table below summarizes the results of the inventory and parking generation analysis:

Parking Conclusions

Lot	Location	Existing Parking	Required Parking	Additional Required
1	South	100	80	0
2	Central	100	50	0
3	North	135	45	0
	Total	335	175	0

The following conclusions are offered:

1. Existing parking supply at each SASP lot exceeds what is required in order to implement proposed Master Plan improvements for the area it serves;
2. The proposed Tower Road Parking Lot construction is not required at this time.

6. Recommendations

1. Construction lighting for SASP parking lots and roadways to enhance safety and security.
2. For parking lots in areas receiving major improvements, upgrade perimeter and interior landscaping to Title 21 requirements.
3. As fund allows, implement pavement rehabilitation improvements for the parking lot surfaces.



MAJOR SITE PLAN REVIEW

2016 SOUTH ANCHORAGE SPORTS PARK IMPROVEMENTS PROJECT

Appendix – IV

Landscape Analysis Memorandum





The Boutet Company Inc.
 601 East 57th Place, Suite 102
 Anchorage, Alaska 99518

Main: 907.522.6776

Fax: 907.522.6779

TBCak.com

Memorandum

Date: January 25, 2016
To: Maeve Nevins – Senior Park Planner *okay Maeve Nevins 1/25/16*
 Municipality of Anchorage, Parks and Recreation Department
From: Jonathan Petrunic
 The Boutet Company
Subject: South Anchorage Sports Park – Requirements for Preservation of Existing Plant Material for Visual Enhancement Landscaping

Dear Ms. Nevins,

As part of the South Anchorage Sports Park Master Plan implementation the ‘New Title 21’ code requires Visual Enhancement Landscaping be installed along the southernmost property line. A portion of 1,320 linear feet of property line will be planted with new trees and shrubs, while the existing vegetation along the remaining 600 linear feet of park property will remain to satisfy the Visual Enhancement Landscaping requirements.

The existing vegetation consists of a dense grove of primarily Paper Birch (*Betula neoalaskana*) varying in size between 1 to 8-inch caliper. Other species, such as willow and alder also grow within this grove with some exceeding heights of 20 feet. The width of the stand varies 5 to 15-feet, however additional trees and shrubs extend into the Klatt Road right-of-way. Cottonwood trees exist within the grove, but are not located on the South Anchorage Sports Field property.

Per ‘New’ Title 21 Code, Chapter 21.07 Development and Design Standards, Section 21.07.080 Landscaping, Screening, and Fences, Subsection F – General Landscaping Requirements and Standards, item b, preservation of Existing Plant Materials acknowledges the benefit to retaining existing mature plant materials. Title 21 Code allows ‘Native Plant Material Mass’ to be preserved to fulfill a portion of the landscape requirements. The quantity of the existing trees must equal the quantity of trees as required by Visual Enhancement Landscaping. Cottonwood trees may not be counted as part of this analysis and the existing vegetation must be equal to 50% of the total required square foot for Visual Enhancement Landscaping.

Visual Enhancement Landscaping (680 linear feet)		
Title 21 Requirements	Trees	34
	Shrubs	204
Existing Vegetation meeting T21 Requirements	Existing Trees	+110
	Existing Shrubs	+210



The Boutet Company Inc.

601 East 57th Place, Suite 102

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TBCak.com

The Anchorage Parks and Recreation Department intends to selectively remove trees from this grove to improve the safety and the aesthetics to the adjacent parking lot. The intent of the selective tree removal is to retain sufficient vegetation to meet Title 21 requirements. The criteria for the tree removal are represented in Table 1.2 – Selective Vegetation Removal.

Selective Vegetation Removal	
Species	Retention
Birch	All trees greater than 3" caliper
Cottonwood	Removal all
Alder	0%
Willow	0%

The following images show views of the existing stand of vegetation:



Image 1: Looking east from Little League Field.



Image 2: Looking east from the south access road.



Image 3: Looking northeast from Klatt Road.

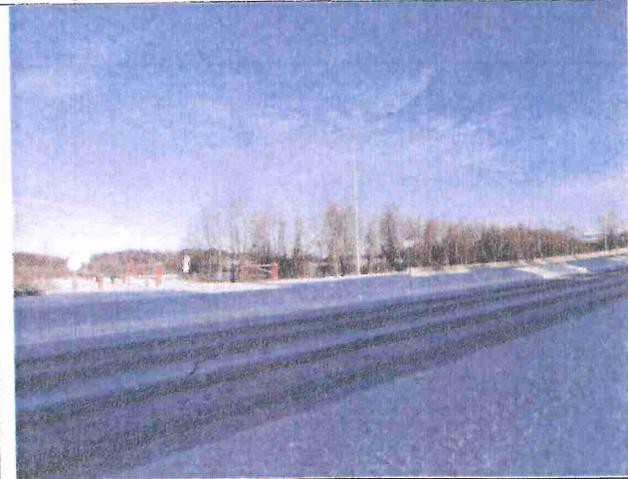


Image 4: Looking north east from across Klatt Road.



The Boutet Company Inc.
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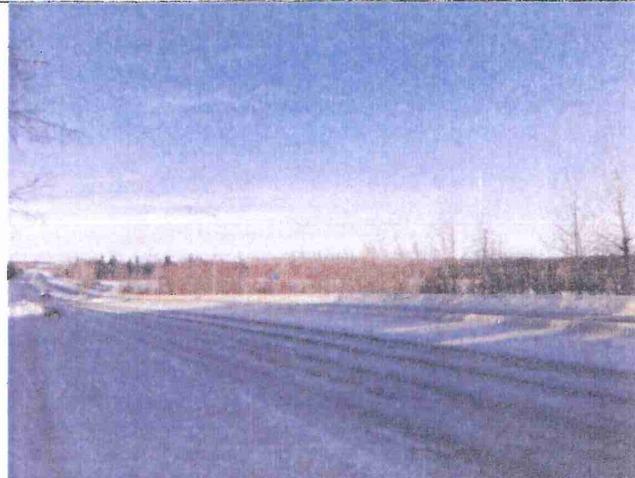


Image 5: Looking northwest across Klatt Road.



Image 6: Looking west from the access road.



Image 7: Looking southwest adjacent to the parking lot.



Image 8: Close up image showing vegetation density.

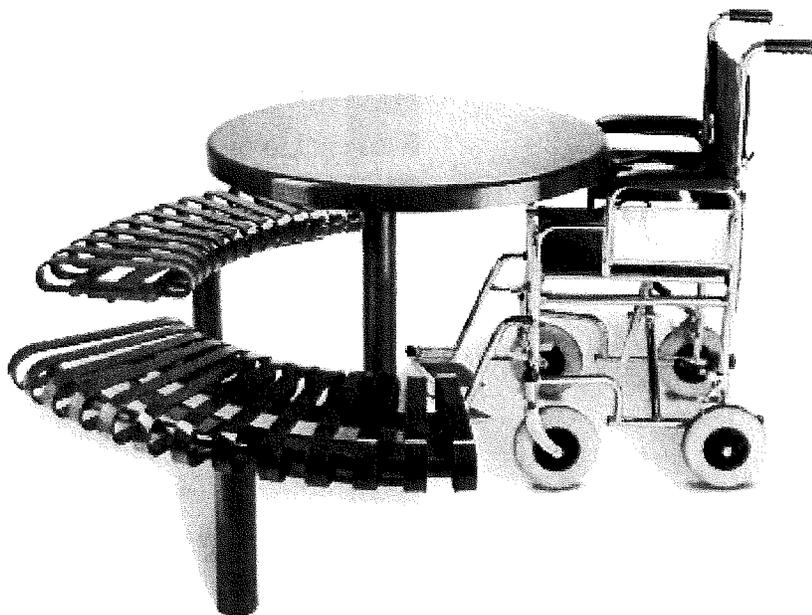


MAJOR SITE PLAN REVIEW
2016 SOUTH ANCHORAGE SPORTS PARK
IMPROVEMENTS PROJECT

Appendix – V

Site Amenities Product Information





RND-ACS-2

This independent post table with two backless scrolled seats is ADA compliant. An offset table mount allows room for wheelchair access. It coordinates seamlessly with our RND-333. 36 in (914 mm) round top.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTION

Off-center umbrella mount. Surface mount. In-ground mount.

MATERIAL

Recycled Solid Steel Bar

Spun Steel Tabletop

LENGTH

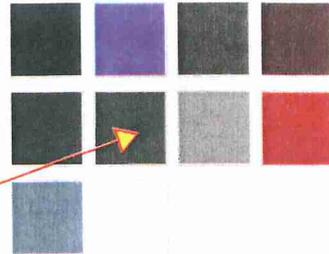
36 in (914 mm)

FEATURES

ADA Compliant

COLORS

Standard



Green Benches
provided by Anchorage
Parks and Recreation
Department

Optional RAL





P-8

A truly bold fashion statement. This high quality durable bench is a great choice for site designs that demand clean lines and angular perfection.

4 or 6 ft (1.2 or 1.8 m) length. Nominal 3 x 4 (63 x 89 mm)

Philippine mahogany wood slats.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTIONS

Intermediate armrests (bolt-on). Surface mount. In-ground mount.

FEATURES

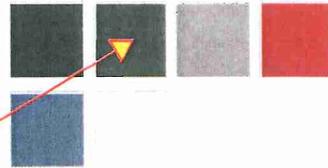
3-in (76 mm) Steel Tubing

COLORS

Standard

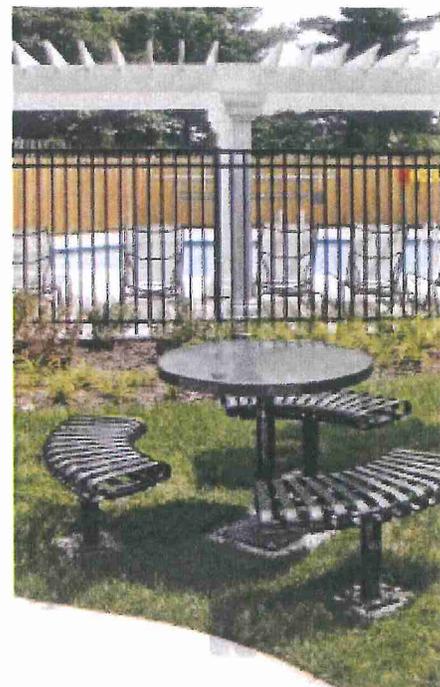


Green Benches
provided by Anchorage
Parks and Recreation
Department



Optional RAL





RND-333

This independent post table with three scrolled seats creates a fun way to incorporate café seating into your site design. It coordinates seamlessly with our ADA compliant RND-ACS-2.5 seat combination with 42 in (1067 mm) round tabletop also available as Model RND-425.

36 in (914 mm) round top.

STANDARD

All fabricated metal components are steel shotblasted, etched, phosphatized, preheated and electrostatically powder-coated with TGIC polyester powder coatings.

OPTIONS

Off-center umbrella mount. Perforated tabletop – round or slot pattern. Surface mount. In-ground mount.

MATERIAL

Recycled Solid Steel Bar

Spun Steel Tabletop

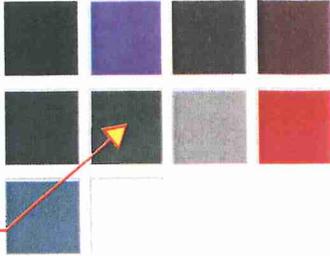
LENGTH

36 in (914 mm) Round Tabletop

42 in (1067 mm) Round Tabletop

COLORS

Standard



Green Benches provided by Anchorage Parks and Recreation Department

Optional RAL





OREGON MODEL

30'

SPECIFICATIONS

Dimensions:

Roof Dimensions point to point	30'-0"
Column Dimensions out to out	26'-7"
Eave Height	7'-6"
Roof Height @ Peak	±12'-5"
Hip Roof	4:12 pitch
Square Feet Under Roof	636.4

Columns shall be 7"x 7" steel tube, minimum .188 wall thickness.

All beams shall be structural steel tube sized according to engineering.

All bolts shall be A-307 or A-325 and hidden at all connections.

Roofing shall be 24 gauge HR-36 steel roof with ribs running with the slope of the roof.

Trim shall be 24 gauge to match roof.

Fascia trim shall be 3½"x3½" steel tube, 24 gauge.

Open or welded "C" channel, "I" beams, "S" or "Z" purlins or angle iron shall not be allowed.

11875 E. Berry Drive - Dewey, AZ 86327

Ph: (520) 775-3307 Fax: (520) 772-0858

info@classicrecreation.com

www.classicrecreation.com



STANDARD SPECIFICATIONS
w/ ZINC RICH PRIMER & TGIC POWDER COAT PAINT

GENERAL:

1. All structures shall be designed and fabricated to the IBC (Latest Edition) or current local building code with standard load designs of the greater value of 20# per S.F. minimum live load and 100 mph sustained wind load or site specific conditions and the applicable zone for seismic loads.
2. All members shall be designed according to the "American Institute of Steel Construction (AISC) specifications and the American Iron and Steel Institute (AISI) specifications for cold-formed members.
3. All fabrication welds shall be in strict accordance with the structural welding code of the American Welding Society (AWS) specifications. All structural welds shall be in compliance with the requirements of "Pre-qualified" welded joints. All welding shall conform to ASTM A-233 series E-70XX electrodes - low hydrogen.
Field welding shall not be required.
4. When required, after award of bid, the shade structure manufacturer shall submit structural calculations, sealed by a registered engineer in the state in which the structure is to be erected for review and approval by the approving agency.
5. Manufacturer qualifications: All manufacturers shall have a minimum of 5 years experience in the fabrication of tubular steel shade structures. Shade structure and kiosk fabrication shall be the manufacturer's primary business. Manufacturer shall have fabricated identical structures to that which is specified. *All non-specified manufacturers shall submit complete shop drawings indicating type, size & gauge of material used, with detailed connections to the specifying agency or design firm at least 10 days prior to bid opening for review and written pre-approval. All bids submitted without prior approval will be rejected.*

FOOTINGS & COLUMNS:

1. Footings shall be structurally engineered by the structure manufacturer to meet local codes and site conditions. (Sample footing drawings shall be made available to the contractor or owner from the manufacturer). When required for structure installation, anchor bolts shall be supplied by the owner / contractor. Columns shall be ASTM 500 grade B. Concrete footing rebar (if required) shall be ASTM A-615 grade 40 #4 bars & smaller, grade 60 #5 bars & larger. Concrete shall be 5 sack mix "Portland" cement. Maximum slump shall not exceed 4". Concrete compressive strength shall be a minimum of 2500 psi @ 28 days.

FRAME MEMBERS AND COMPRESSION RING:

1. All frame members shall be one piece hollow steel shape (HSS) tube with a minimum .120 (1/8") wall thickness, sized according to engineering. All frame members shall be



bolted together with bolts totally concealed. Compression rings shall be fabricated from hollow steel shape tube, or flat plate steel and shall have all connections concealed from view. All tubing for frame members shall be ASTM 500 grade B. Beam end plates shall be ASTM A36 $f_y=36,000$ psi UNO. Bolts shall be A 325's unless noted otherwise in the structural engineering calculations.

"I" beams, Angle iron, "C", "Z" or "S" purlins or beams, open or closed, shall not be allowed.

ROOFING:

1. All roofing shall be 24 gauge Zincalume / Galvalume coated steel panels, ICBO #ER-2757. "HR-36" panels shall be 36" wide with 1½" high ribs @ 7.2" o.c. All roofing shall be pre-finished with PVF2 (Polyvinylidene Fluoride) Kynar 500 on the top side. All roof panels shall be pre-cut with ribs running with the slope of the roof. Roof fascia trim shall be 3½" square 24 gauge Zincalume / Galvalume coated pre-finished matching the roof color. Screws & rivets shall match roof color. No exceptions taken for roof type.

PAINT:

1. All frame members shall be media blasted to a white finish removing all rust, scale, oil and grease. Powder coat all frame members with zinc rich primer, (min. 2.5-3 mil) and TGIC polyester, (min. 2.5-3 mil for a total minimum thickness of 5-6 mils. Finish shall be a smooth uniform surface with no pits, runs or sags.

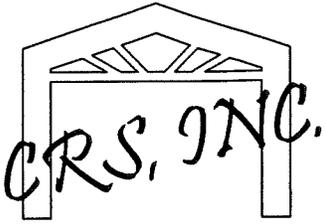
ERECTION:

1. Manufacturer shall supply complete layout and detail plans with installation instructions for the structure. The structure shall be erected in a work-man-like manner with framing, roofing and trim installed according to the manufacturer's installation instructions. Care shall be taken to avoid damaging the structure during installation. Touch up paint provided to prevent rusting.

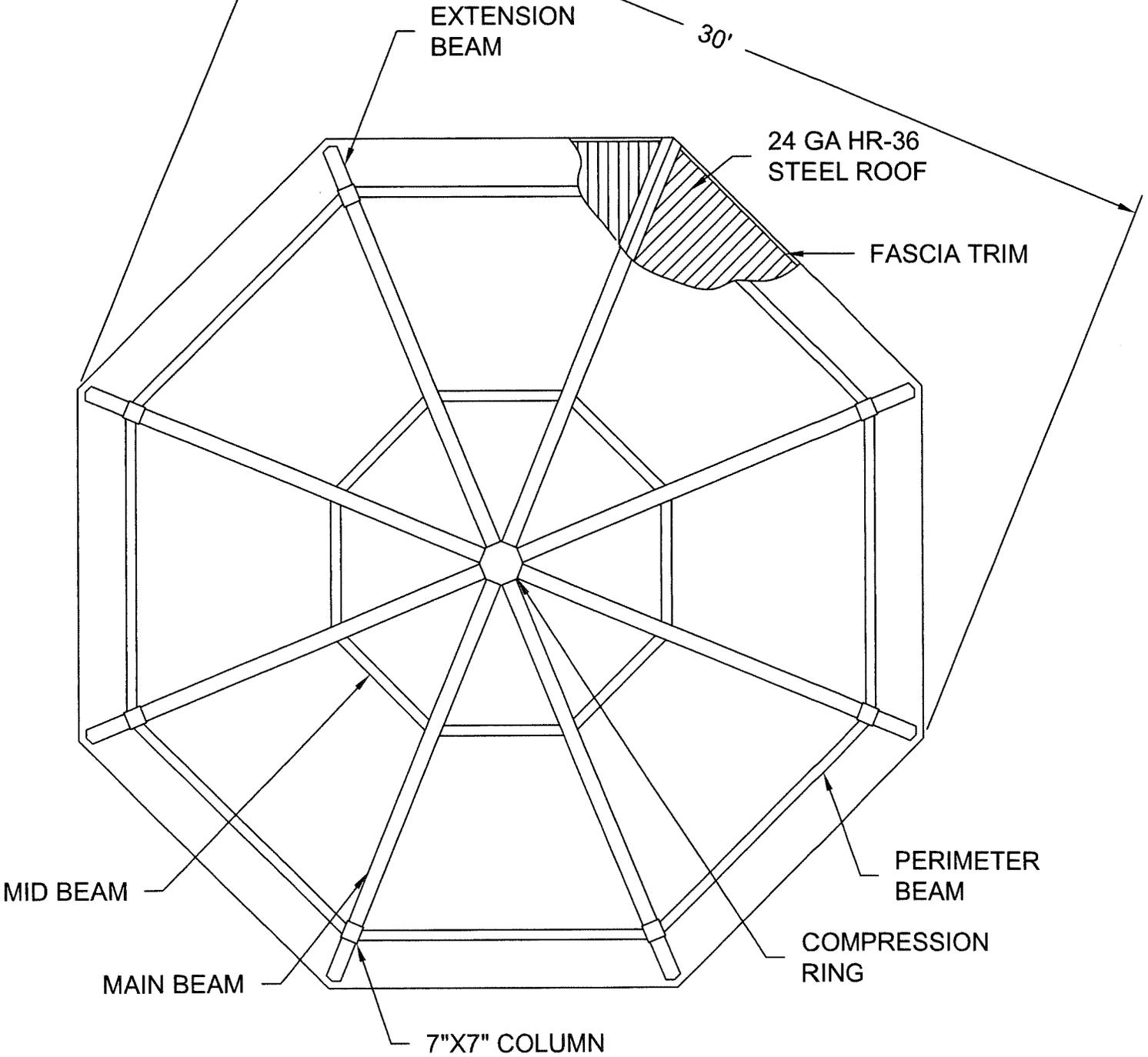
WARRANTEE:

1. Manufacturer shall warranty the structure to be free from defects in material and workmanship for a period of (5) five years from date of acceptance by owner. Warranty does not include damage from theft, fire, vandalism or acts of God. Manufacturer shall repair or replace structure components of like kind at his option, to match existing material and workmanship. Steel roof finish shall be warranted for 20 years under a separate roof manufacturer's warranty. Powder coat paint shall be warranted for 1 year after acceptance from owner against peeling, flaking, and rusting. Warranty does not cover damage caused from shipping, erection of structure, lack of touchup and maintenance, overspray from lawn sprinklers or vandalism.

NOTE: Engineering specifications take precedence over drawings if differences occur.

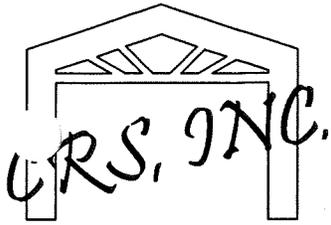


NOT FOR CONSTRUCTION

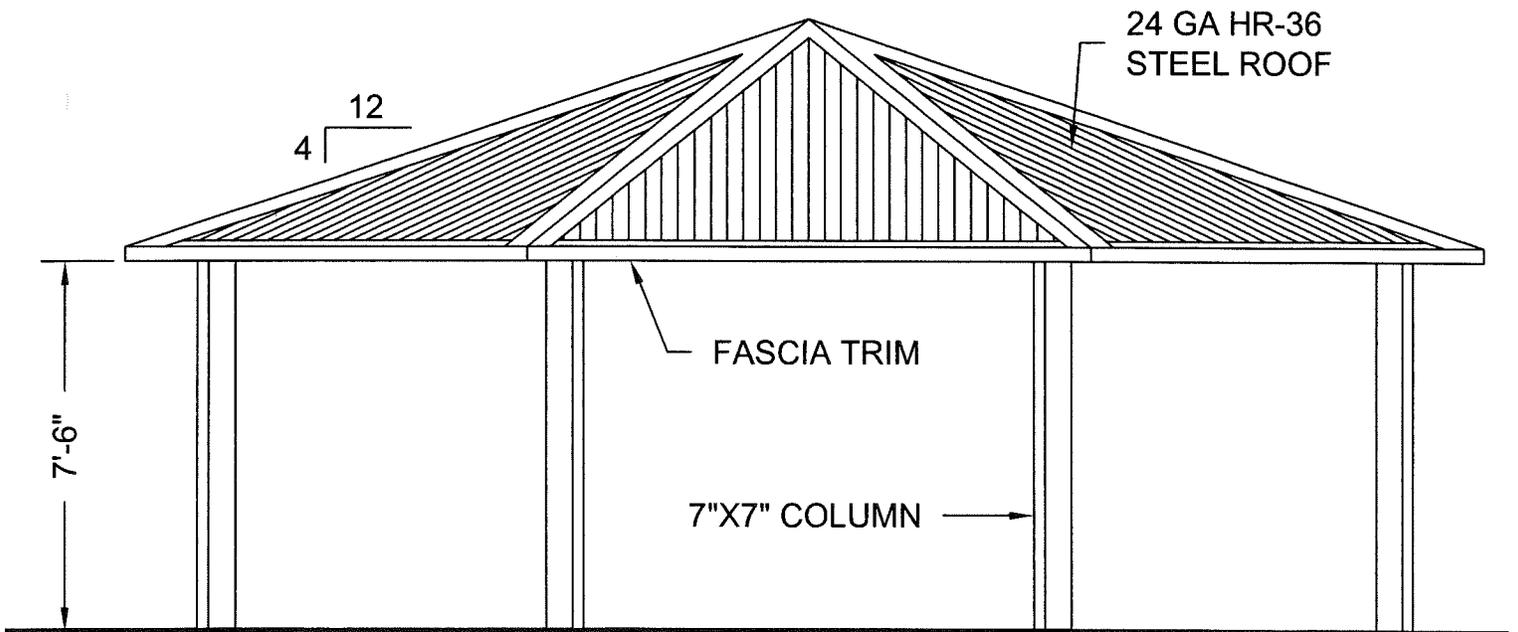


PLAN VIEW 30' OREGON MODEL

NTS

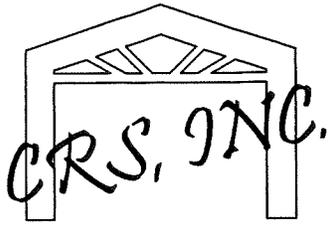


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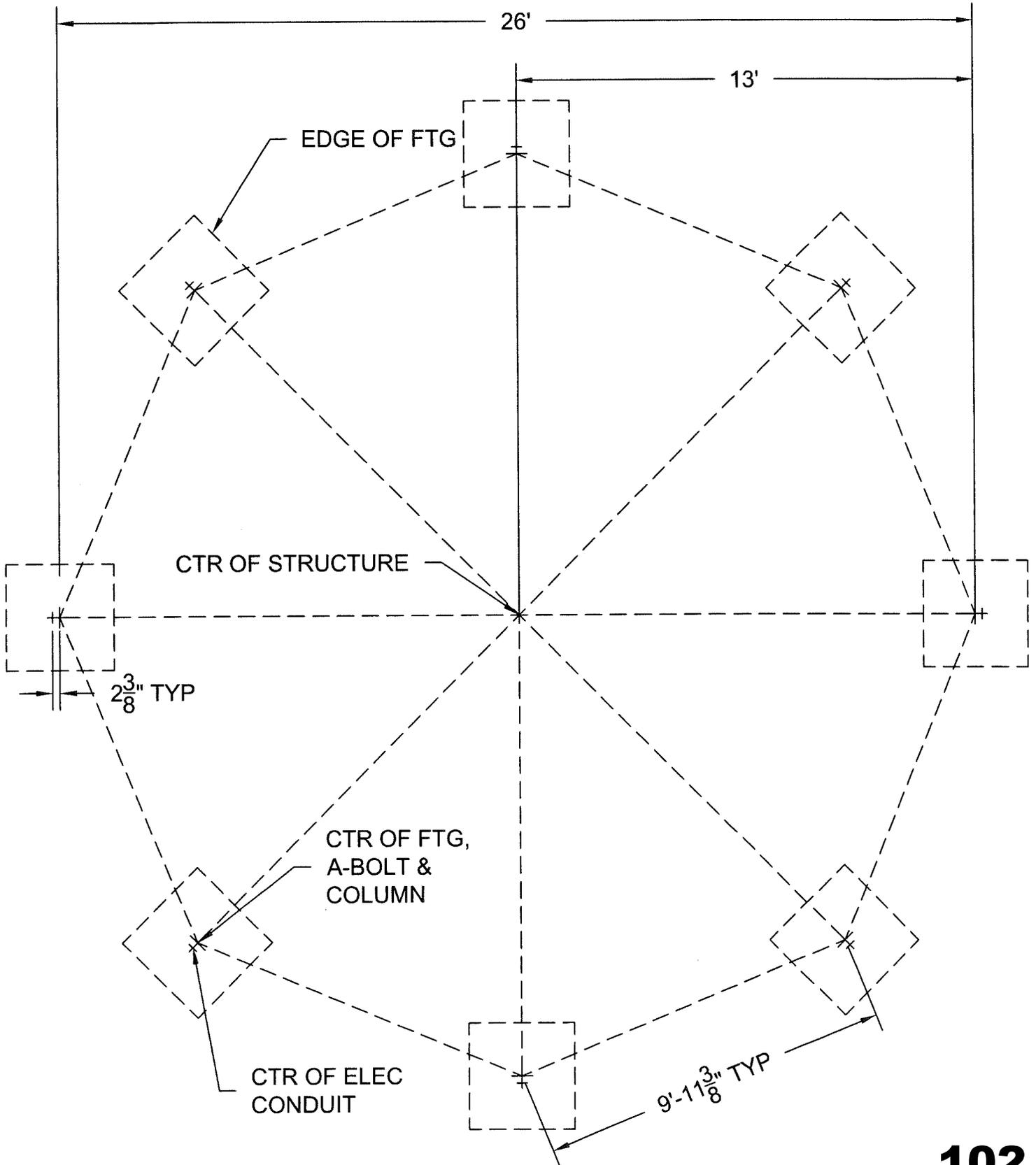


ELEVATION 30' OREGON MODEL

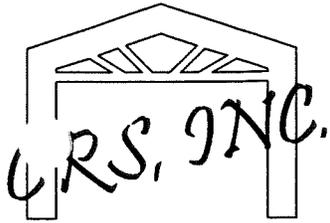
NTS



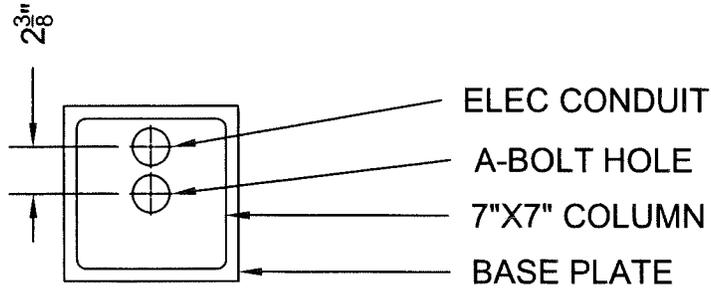
NOT FOR CONSTRUCTION



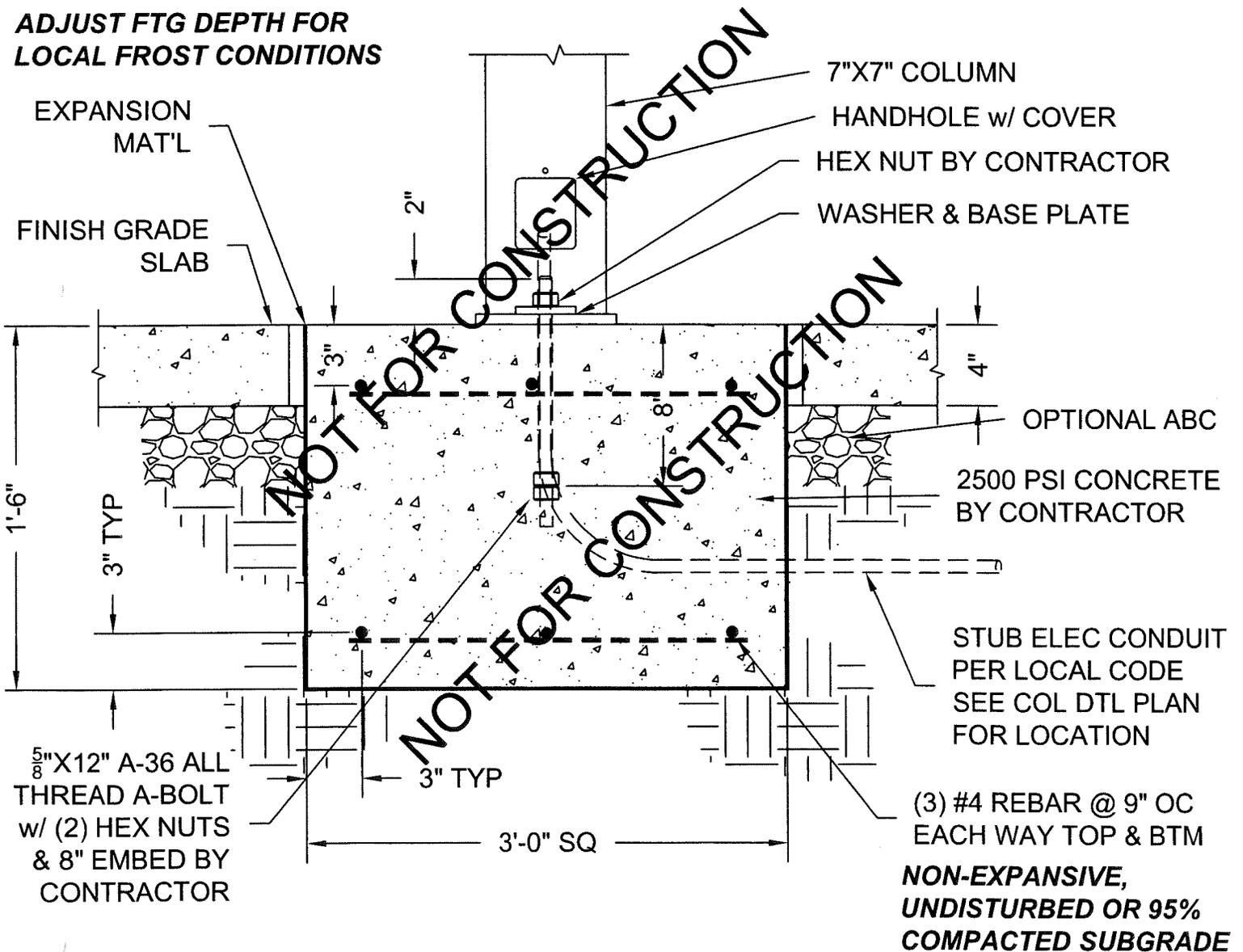
LAYOUT PLAN 30' OREGON MODEL



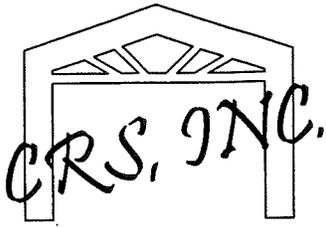
NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING



ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS

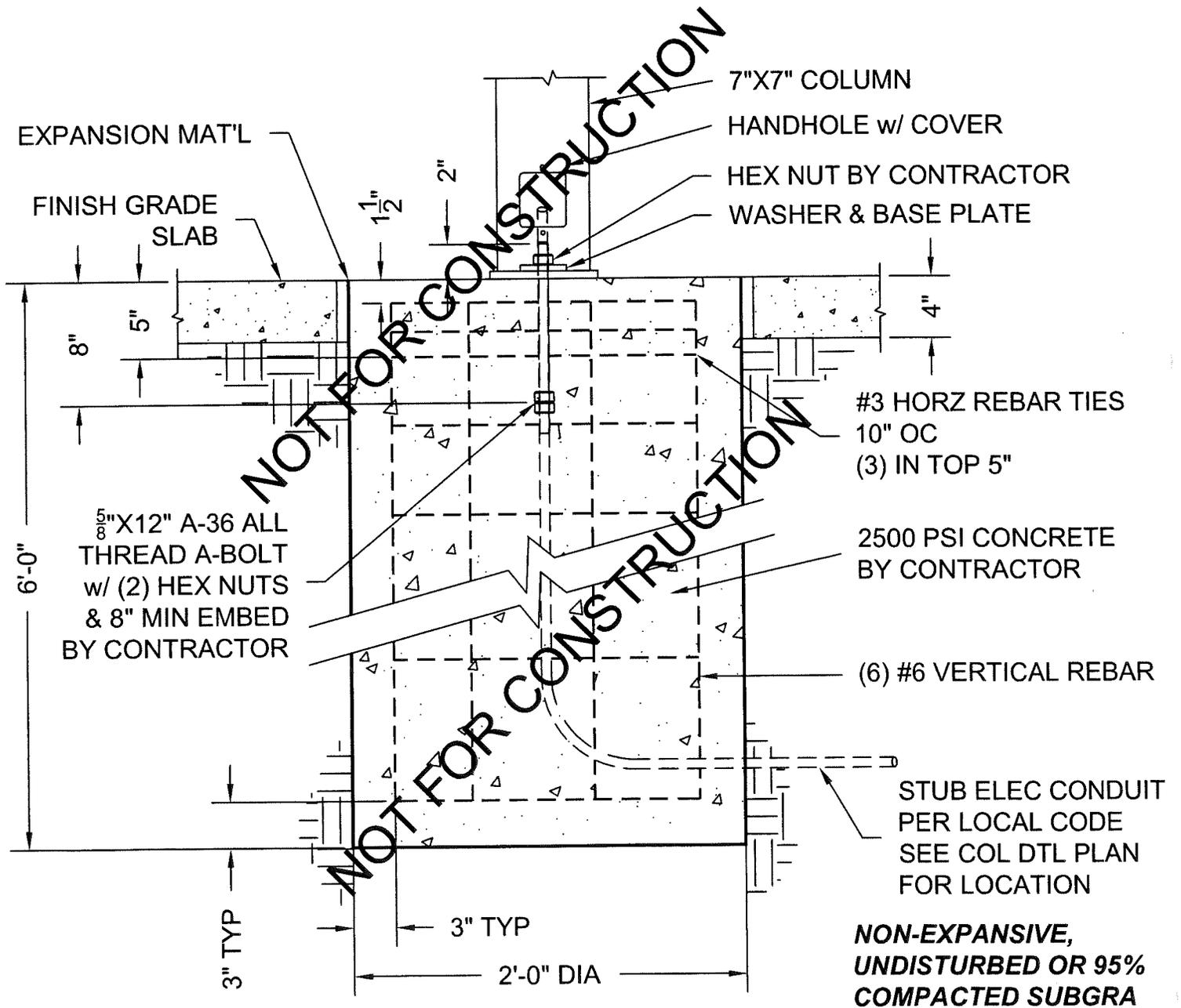
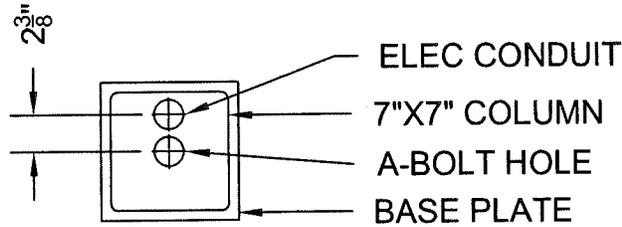


SURFACE MOUNT SPREAD FOOTING
30' OREGON MODEL



**NOTE: FOR ILLUSTRATION ONLY!
FOOTING SIZE MAY CHANGE w/
STRUCTURAL ENGINEERING**

**ADJUST FTG DEPTH FOR
LOCAL FROST CONDITIONS**



**SURFACE MOUNT CAISSON FOOTING
30' OREGON MODEL**



BearSaver

BearSaver
1390 S. Milliken Avenue
Ontario, California 91761
1-800-851-3887
orders@bearsaver.com

Created at March 2, 2016, 3:46 am



BearSaver - ADA Compliant Hid-A-Bag Double Trash Enclosure - HB2-UP [HB2-UP]

Suggested Price \$1,688.00
Our Price \$1,284.00

Weight 324 lbs
Dimensional Weight 1527 lbs
Dimensions 48H x 48W x 42L
Shipping Size 96H x 55W x 48L
Parcel Shipping No
Shipping Class Code 300
Warranty 1 year
Shipped From Ontario, California 91761

Product URL http://www.bearsaver.com/product_info.php?products_id=1070

Accessible Hid-A-Bag 2 140 gal Bear Proof Trash Receptacle.

140 gallon capacity. Uses (2) 40" x 50" trash bags (not included) in a double bag rack. Versatile and easy to maintain.

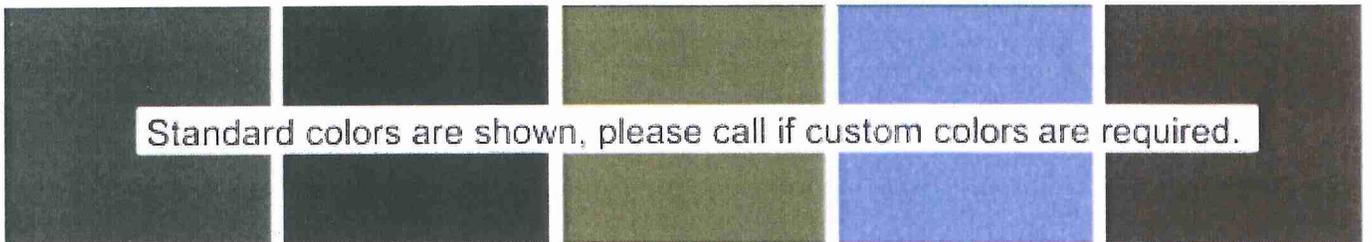
D-A-BAG

The always-popular Hid-A-Bag models offered by BearSaver are versatile, attractive and easy to use. The sixty-degree angled housing is eye-catching but unobtrusive. Serviced by opening the back, the tilt-out bag rack provides a rigid frame from which plastic bags are suspended. When the bag is full and heavy, it can be removed laterally to help avoid back injuries.

Also rodent resistant, these rat proof trash / garbage cans and recycling bins will keep all animals out of the contents, large and small.

*Note: For marine environments or areas where corrosive elements are present, like salted sidewalks, we recommend the application of cold galvanizing compound under the powder coat. This compound will afford maximum corrosion resistance in the harshest environment.

Colors as shown may differ slightly from the actual product.



Standard colors are shown, please call if custom colors are required.

Fir Green Texture

Black Texture

Olive Green Texture

Sky Blue Texture

Forest Brown Texture

Labels

Trash/Recycle , None ,

Container Color

Black , Forest Brown , Fir Green , Olive Green , Sky Blue , Custom (price depends on color, please call) ,

Exterior Cold Spray Galvanizing, Double Unit

None , Include Galvanizing (+ \$135.00),

This product was added to our catalog on Friday
08 June, 2012.

HOOP RACK HEAVY DUTY



Beefed Up Security

For added security and peace of mind, the Heavy Duty Hoop Rack uses a larger, thicker pipe than our standard Hoop Rack. The Heavy Duty Hoop Rack meets APBP guidelines for u-lock compatibility and two points of support for the bike.



DERO
A PLACORE.com

106

HOOP RACK HEAVY DUTY

YOUR LOGO HERE

Customize the Heavy Duty Hoop Rack and brand your bike parking



FINISH OPTIONS

Galvanized



Stainless



PVC Dip



Powder Coat



Thermoplastic

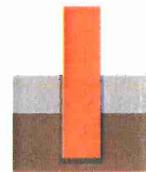


MOUNT OPTIONS

Surface



In-Ground



Rail





MAJOR SITE PLAN REVIEW
2016 SOUTH ANCHORAGE SPORTS PARK
IMPROVEMENTS PROJECT

Appendix – VI

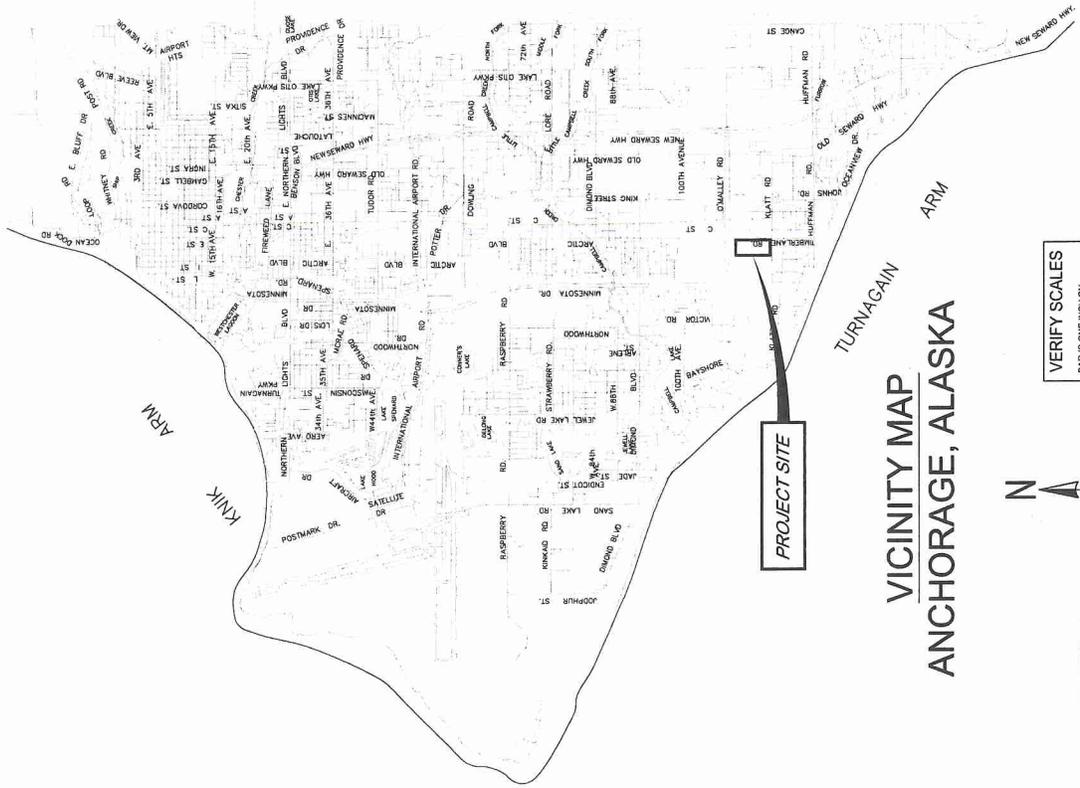
2016 South Anchorage Sports Park Improvement Drawings





MUNICIPALITY OF ANCHORAGE
PARKS AND RECREATION DEPARTMENT

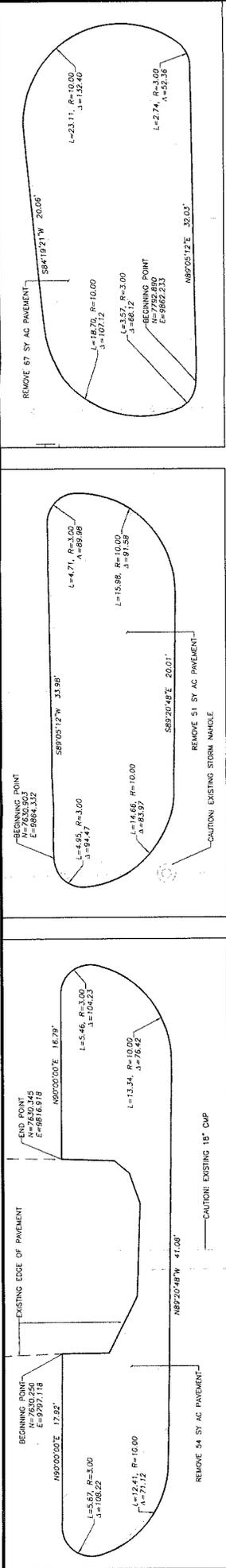
2016 SOUTH ANCHORAGE
SPORTS PARK IMPROVEMENTS



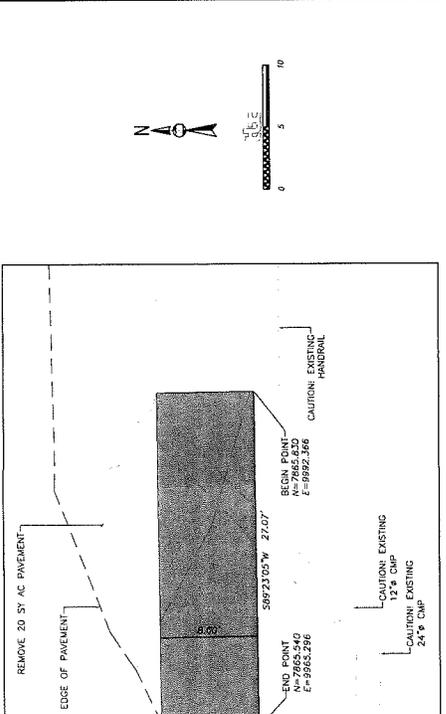
VERIFY SCALES
BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS
SHEET, ADJUST SCALES
ACCORDINGLY

UNOFFICIAL
GRAPHIC SCALE
0 1/2 1 MILE

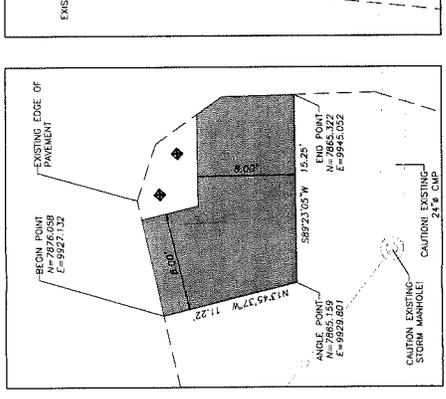
APPROVED BY:
John Rodda
JOHN RODDA
DIRECTOR PARKS AND RECREATION



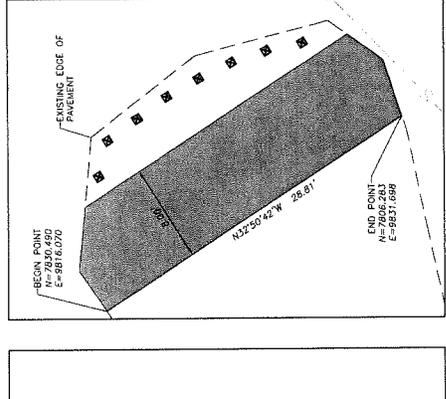
LANDSCAPE MEDIAN 'A'



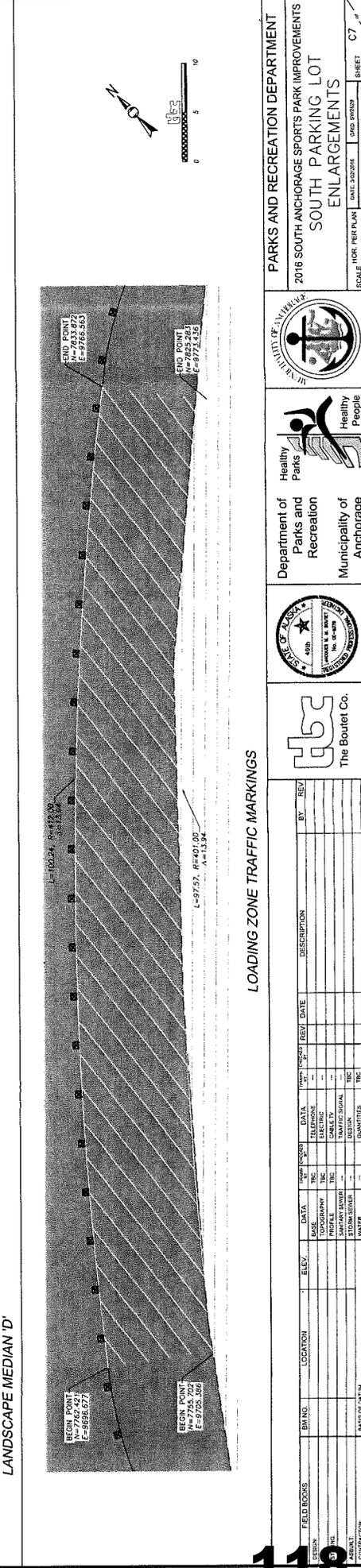
LANDSCAPE MEDIAN 'B'



LANDSCAPE MEDIAN 'C'



LANDSCAPE MEDIAN 'D'



LOADING ZONE TRAFFIC MARKINGS

CONSTRUCTION RECORD

FIELD BOOKS

DATE

DESCRIPTION

BY

REVISIONS

PLAN CHECK

VERTICAL DATUM

SEAL

CONSULTANT

THE BOULET CO.

REGISTRATION

STATE OF ALASKA

PROFESSIONAL ENGINEER

NO. 4-487

EXPIRES

HEALTHY PARKS

HEALTHY PEOPLE

MUNICIPALITY OF ANCHORAGE

DEPARTMENT OF PARKS AND RECREATION

2016 SOUTH ANCHORAGE SPORTS PARK IMPROVEMENTS

SOUTH PARKING LOT ENLARGEMENTS

PARKS AND RECREATION DEPARTMENT

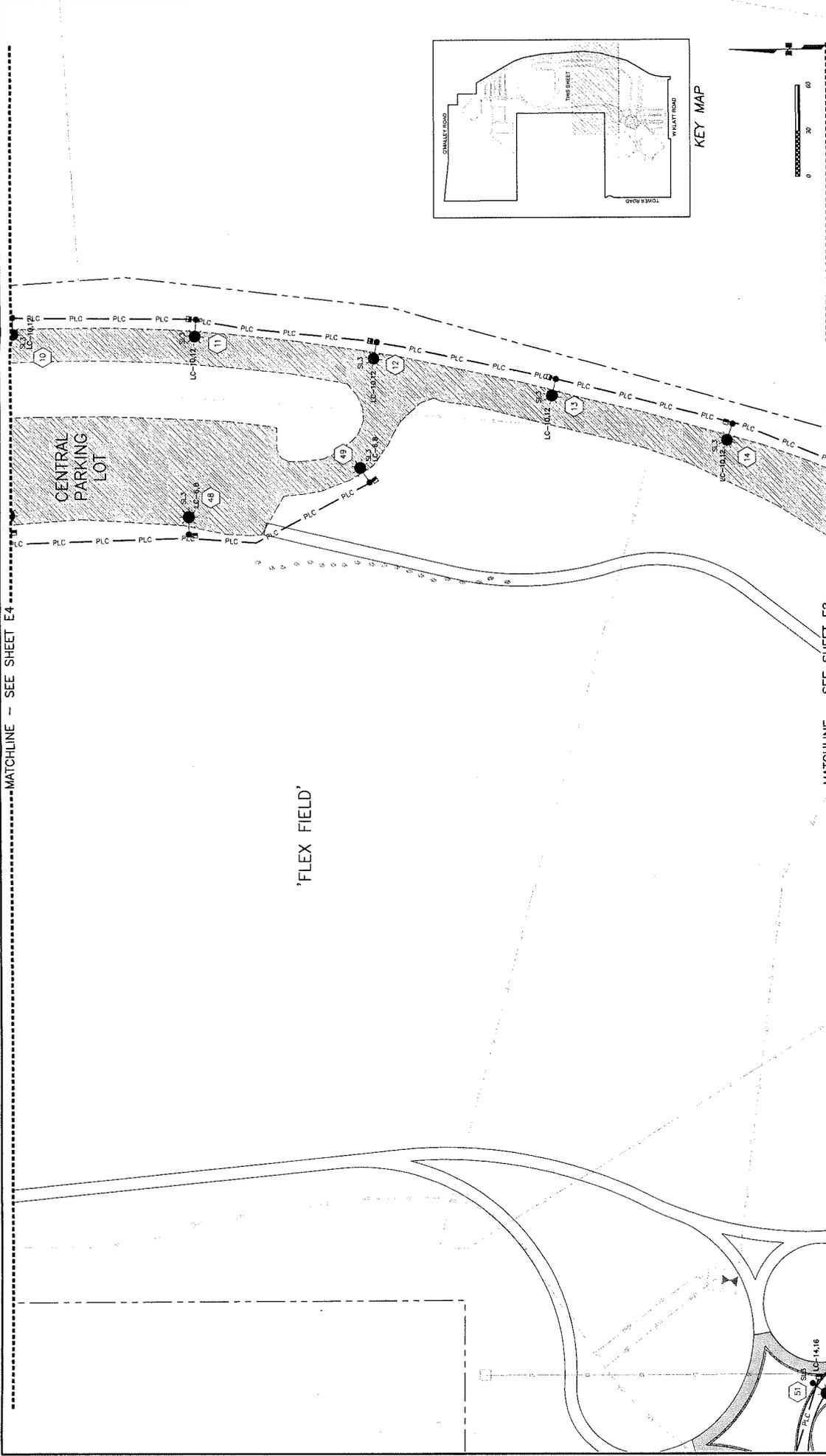
SCALE: 1/8\"/>

SHEET C7

STATUS: 15% CHECK/SET/UDO

DATE: 3/20/2016

DATE: 3



RECORD DRAWING Note: To be filled out on original drawings upon project completion.
 1. This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.
 2. DATA PROVIDED BY: _____
 CONTRACTOR: _____ TITLE: _____
 BY: _____ DATE: _____
 3. Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor has provided accurate data for the project as constructed.
 DATA TRANSFER CHECKED BY: _____
 COMPANY: _____ TITLE: _____
 BY: _____ DATE: _____

WORK SCALE: _____
PORT SCALE: _____

TELEPHONE	DATE
ELECTRIC	BY
CABLE TV	DATE
DESIGN	BY
DESIGN	DATE
QUANTITIES	BY
MIN. FIN. CHECK	DATE

HEALTHY PARKS
 Department of Parks and Recreation
 Municipality of Anchorage

HCBC
 The Board Company Inc.
 1000 W. 11th Ave., Suite 100
 Anchorage, AK 99501
 Phone: (907) 562-1111
 Fax: (907) 562-1112
 Email: info@hcbc.com

SEAL

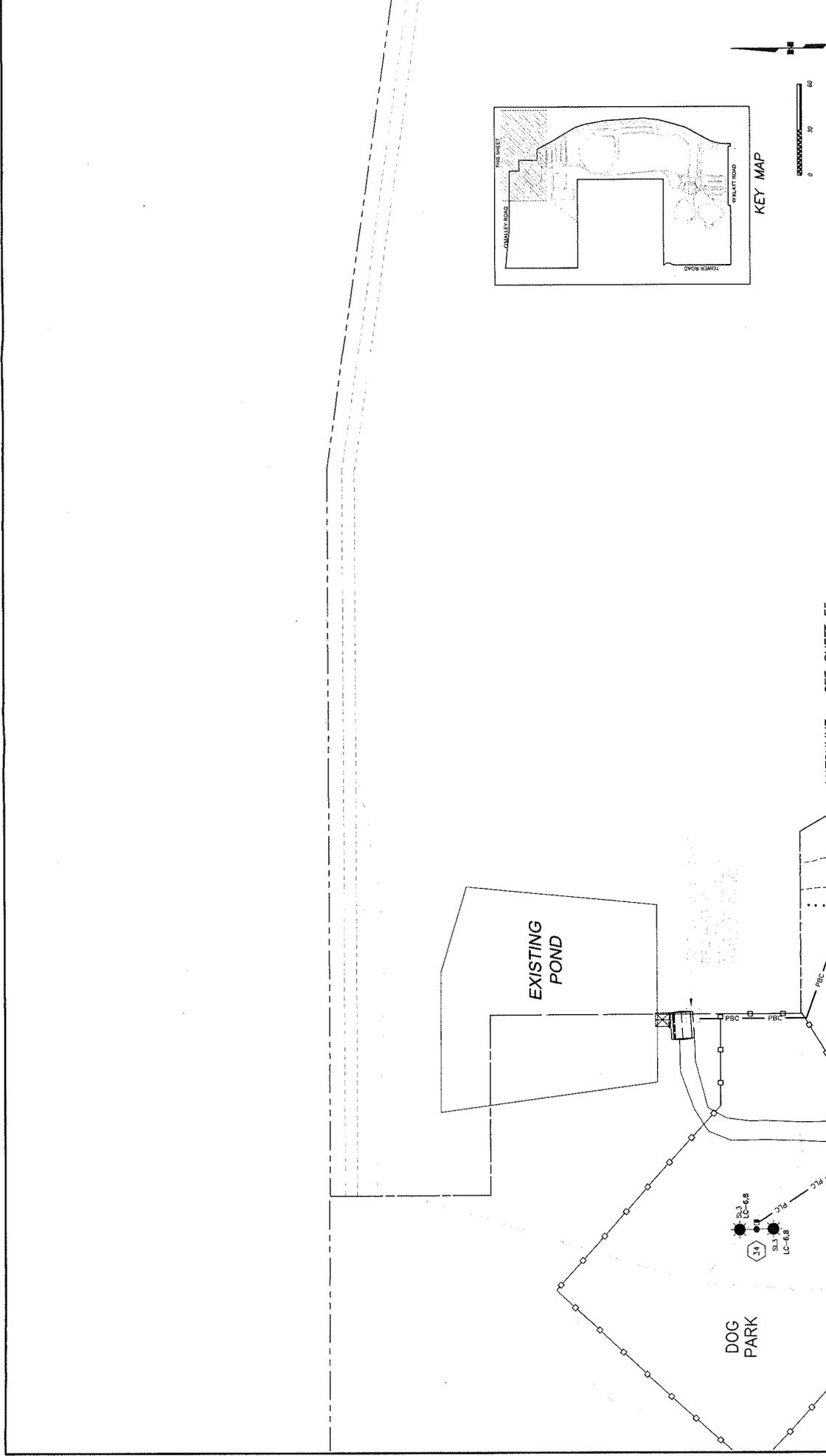
CONSULTANT

PARKS AND RECREATION DEPARTMENT
 2018 SOUTH ANCHORAGE SPORTS PARK IMPROVEMENTS
 ILLUMINATION

SOUTH CENTER LIGHTING

DATE: 2/25/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1"=30'-0"
 STATUS: 75% CHECK SET (003)

SHEET E3 OF E8



MATCHLINE - SEE SHEET E5

RECORD DRAWING Note: To be filled out at original drawings upon project completion.
 1. This drawing is to be used to certify that these Record Drawings are a true and accurate representation of the project as constructed.
 CONTRACTOR: _____ TITLE: _____
 BY: _____ DATE: _____

2. DATA TRANSFERRED BY: _____ TITLE: _____
 BY: _____ DATE: _____

HORIZ SCALE		VERT SCALE	
TO PLOTTING	DATE	TO PLOTTING	DATE
ELECTRIC		ELECTRIC	
CABLE TV		CABLE TV	
PHONIC SIGNAL		PHONIC SIGNAL	
TELEPHONE		TELEPHONE	
QUANTITIES		QUANTITIES	
MARK FINAL CHECK		MARK FINAL CHECK	

COMPANY: _____
 TITLE: _____
 NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

KEY MAP

CHAMBER ROAD
 TOWER ROAD
 WALLYT ROAD

SCALE: 0 30 60

PARKS AND RECREATION DEPARTMENT
 2016 SOUTH ANCHORAGE SPORTS PARK IMPROVEMENTS
 ILLUMINATION
 DOG PARK LIGHTING

DATE: 7/29/2016
 TIME: 2:50:30
 STATUS: TAKE CHECK SET (LDC)

SEAL
 CONSULTANT

Healthy Parks
 Healthy People

Department of Parks and Recreation
 Municipality of Anchorage

SHEET E6 OF E8

STREET LIGHTS LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	MOUSEZ 1	INPUT VA	TOTAL VA	VOLES	VOLES	NOTES 1	NOTES 2	NOTES 3	QUANTITY
S.L.3		(30)	LED TYPE III MEDIUM 3191 ABSOLUTE LUMENS WITH BACKLIGHT CONTROL	ELECTRONIC	POLE	GREL, INC. HT-3B- HT-03- E-UL-525-40K	GREL, INC. HT-3B- HT-03- E-UL-525-40K	53	53	240V 2P 2W	240				58
S.L.9		(90) 133W LED	90 LED TYPE III MEDIUM 9411 ABSOLUTE LUMENS WITH BACKLIGHT CONTROL	DRIVER	POLE	GREL, INC. HT-3B- HT-03- E-UL-525-40K	GREL, INC. HT-3B- HT-03- E-UL-525-40K	151	151	240V 2P 2W	240				2

NOTE: LUMINAIRE COUNT IS DIFFERENT THAN POLE COUNT AS SOME POLES HAVE TWO LUMINAIRES

SOUTH ROAD

AVERAGE FOOTCANDLES	0.51
MAXIMUM FOOTCANDLES	1.41
MINIMUM FOOTCANDLES	0.21
MINIMUM TO MAXIMUM FC RATIO	0.15
MAXIMUM TO MINIMUM FC RATIO	6.61
AVERAGE TO MINIMUM FC RATIO	2.39

CENTER ROAD

AVERAGE FOOTCANDLES	0.40
MAXIMUM FOOTCANDLES	0.72
MINIMUM FOOTCANDLES	0.20
MINIMUM TO MAXIMUM FC RATIO	0.26
MAXIMUM TO MINIMUM FC RATIO	3.63
AVERAGE TO MINIMUM FC RATIO	2.00

NORTH ROAD

AVERAGE FOOTCANDLES	0.46
MAXIMUM FOOTCANDLES	0.84
MINIMUM FOOTCANDLES	0.20
MINIMUM TO MAXIMUM FC RATIO	0.22
MAXIMUM TO MINIMUM FC RATIO	4.60
AVERAGE TO MINIMUM FC RATIO	2.24

SOUTH PARKING LOT

AVERAGE FOOTCANDLES	0.33
MAXIMUM FOOTCANDLES	0.57
MINIMUM FOOTCANDLES	0.10
MINIMUM TO MAXIMUM FC RATIO	0.18
MAXIMUM TO MINIMUM FC RATIO	5.42
AVERAGE TO MINIMUM FC RATIO	3.16

CENTER PARKING LOT

AVERAGE FOOTCANDLES	0.30
MAXIMUM FOOTCANDLES	0.56
MINIMUM FOOTCANDLES	0.04
MINIMUM TO MAXIMUM FC RATIO	0.06
MAXIMUM TO MINIMUM FC RATIO	15.91
AVERAGE TO MINIMUM FC RATIO	8.06

NORTH PARKING LOT

AVERAGE FOOTCANDLES	0.43
MAXIMUM FOOTCANDLES	0.89
MINIMUM FOOTCANDLES	0.11
MINIMUM TO MAXIMUM FC RATIO	0.11
MAXIMUM TO MINIMUM FC RATIO	9.17
AVERAGE TO MINIMUM FC RATIO	3.93

THIS PROJECT MEETS MUNICIPALITY OF ANCHORAGE LOCAL STREETS WITH LOW PEDESTRIAN CONFLICT OF 4FC, 6:1 UNIFORMITY (AVE TO MIN) NOT EXCEEDED, VEILING LUMINANCE NOT EXCEEDING 0.4. SEE SCHEDULE. THE INTERSECTIONS MEET THE REQUIREMENTS FOR COLLECTOR/LOCAL INTERSECTIONS OF 1.0.

James H. Parker
JAMES H. PARKER, PE

STREET LIGHTING LUMINAIRE STATIONING

LUMINAIRE #	NORTH	EAST	POLE LENGTH	ARM LENGTH	NOTES
1			30'	8'	
2			30'	8'	
3			30'	8'	
4			30'	8'	
5			30'	8'	
6			30'	8'	
7			30'	8'	
8			30'	8'	
9			30'	8'	
10			30'	8'	
11			30'	8'	
12			30'	8'	
13			30'	8'	
14			30'	8'	
15			30'	8'	
16			30'	8'	
17			30'	8'	
18			30'	8'	
19			30'	8'	
20			30'	8'	
21			30'	8'	
22			30'	8'	
23			30'	8'	
24			30'	8'	
25			30'	8'	
26			30'	8'	
27			30'	8'	
28			30'	8'	
29			30'	8'	NOT USED
30			30'	8'	NOT USED

PARKING LOTS LUMINAIRE STATIONING

LUMINAIRE #	NORTH	EAST	POLE LENGTH	ARM LENGTH	NOTES
31			30'	8'	
32			30'	8'	
33			30'	8'	
34			30'	8'	
35			30'	8'	
36			30'	8'	
37			30'	8'	
38			30'	8'	
39			30'	8'	
40			30'	8'	
42			30'	8'	
43			30'	8'	
44			30'	8'	
45			30'	8'	
46			30'	8'	
47			30'	8'	
48			30'	8'	
49			30'	8'	
50			30'	8'	
51			30'	8'	
52			30'	8'	
53			30'	8'	
54			30'	8'	
55			30'	8'	
56			30'	8'	

TELEPHONE	
ELECTRIC	
CABLE TV	
TRAFFIC SIGNAL	
POSTS	
QUANTITIES	
WORK ITEM CHECK	

RECORD DRAWING Note: To be filled out on original drawings upon project completion.
 1. This drawing is based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.
 CONTRACTOR: _____ TITLE: _____
 BY: _____ DATE: _____
 2. DATA TRANSFERRED BY: _____ DATE: _____

Healthy Parks Healthy People
 Department of Parks and Recreation
 Municipality of Anchorage

CONSULTANT

 The Bright Company Inc.
 1200 W. 10th Ave., Suite 100
 Anchorage, AK 99501
 (907) 562-1111

