

Application for Design Variance

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first)	Darrell & Suzanne Renner	Name (last name first)	Jamar Hill
Mailing Address	P.O. Box 1224, Minneapolis, MN 55440	Mailing Address	726 E 15th Ave, Anchorage, Ak 99501
Contact Phone – Day	Evening	Contact Phone – Day	Evening
Fax		Fax	
E-mail		E-mail	gamersbaseballak@gmail.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000):	005-022-06-000	
Site Street Address:	vacant land no address	
Current legal description: (use additional sheet if necessary)	Fairview Block 1 Lot 6A	
Zoning: R-3	Acreage: 0.29	Grid #: SW1136

PETITIONING FOR	
1. Variance for required Lot size of 14,000 sq ft.	
2. Allowing a Community Center to be accessed from other then a collector or greater street other then a collector.	

CODE CITATIONS	
AMC 21.	21.05.040.2.b.ii
AMC 21.	21.05.040.2.b.iii

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I am petitioning for variance in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the variance. I understand that the burden of evidence to show compliance with the variance standards rests with me, the applicant. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Urban Design Commission for administrative reasons.

Signature	<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Representative	Date
(Representatives must provide written proof of authorization)		
Jamar Hill		
Print Name		

Accepted by:	Poster & Affidavit:	Fee:	Case Number:	Requested Meeting Date:
Karrie Gedin	1+1	\$3,905-	2019-0162	UDC 01/08/20

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)	
<input type="checkbox"/> Rezoning - Case Number:	
<input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s):	
<input type="checkbox"/> Conditional Use - Case Number(s):	
<input type="checkbox"/> Zoning variance - Case Number(s):	
<input type="checkbox"/> Land Use Enforcement Action for	
<input type="checkbox"/> Building or Land Use Permit for	
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage	

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)	
1 copy required:	<input checked="" type="checkbox"/> Signed application (original)
34 copies required:	<input checked="" type="checkbox"/> Signed application (copies) <input checked="" type="checkbox"/> Variance narrative, addressing: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> The need for the variance <input checked="" type="checkbox"/> The effect of granting the variance <input checked="" type="checkbox"/> An analysis of how the proposal meets the variance standards below <input checked="" type="checkbox"/> As-built survey showing existing conditions, to scale (no more than 2 years old) <input checked="" type="checkbox"/> Proposed plot plan, site plan, or building elevations, to scale (new construction) <input checked="" type="checkbox"/> Photographs or renderings
(Additional information may be required.)	

VARIANCE STANDARDS
<p>The Urban Design Commission may only grant a variance if the Commission finds that all of the following 8 standards are substantially met. Each standard must have a response in as much detail as it takes to explain how your property's condition satisfies the standard. The burden of proof rests with you.</p> <ol style="list-style-type: none"> a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard; b. The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard; c. The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard; d. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code; e. The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies; f. Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; and g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality. h. In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.

STATE OF FLORIDA

OFFICE of VITAL STATISTICS

RETURN CERTIFIED COPY

BETTY KIRK
PO BOX 112383
ANCHORAGE AK 99511


FLORIDA CERTIFICATE OF DEATH

INSTRUMENT #2017048879
OR BK 4940 PG 504 - 504 (1 PGS)
DATE: 5/14/2017 1:03:44 PM
NEIL KELLY, CLERK OF THE CIRCUIT COURT
LAKE COUNTY
RECORDING FEES \$10.00

LOCAL FILE NO.		1. DECEASED'S NAME (Last, Middle, First, Suffix)		2. SEX	
		Suzanne E. Renner		Female	
3. DATE OF BIRTH (Month, Day, Year)		4. AGE (Years, Months, Days)		5. DATE OF DEATH (Month, Day, Year)	
February 4, 1933		73		April 20, 2006	
6. BIRTHPLACE (City and State or Foreign Country)		7. COUNTY OF BIRTH		8. COUNTY OF DEATH	
Roseville, Michigan		Lapeere		Lake	
9. PLACE OF DEATH (Specify only one)		10. DEATH LOCATION (Specify only one)		11. DEATH LOCATION (Specify only one)	
HOSPITAL		Emergency Room/Outpatient		Dead on Arrival	
NONHOSPITAL		Nursing Facility		Resident's Home	
12. FACILITY NAME (If not Institution, give street address)		13. CITY, TOWN, OR LOCATION OF DEATH		14. ZIP CODE	
415 W. Delaware Street		Troy, MI		48063	
15. MARITAL STATUS (Specify one)		16. SURVIVING SPOUSE'S NAME (If wife, give maiden name)		17. CITY, TOWN, OR LOCATION OF DEATH	
Married		Darrel R. Renner		Anchorage	
18. RESIDENCE - STATE		19. COUNTY		20. CITY, TOWN, OR LOCATION OF DEATH	
Alaska		Not Available		Anchorage	
21. STREET ADDRESS		22. APT. NO.		23. ZIP CODE	
14305 Chawa Circle				99511	
24. DECEASED'S USUAL OCCUPATION (Business, profession, or service during year of death)		25. INDUSTRY OF BUSINESS/INDUSTRY		26. INSIDE CITY LIMITS	
Fisherman		Commercial Fishing		Yes	
27. DECEASED'S RACE (Specify the race or races to indicate what decedent considered himself to be. More than one race may be specified)		28. DECEASED'S ETHNIC OR HISPANIC OR LATINO ORIGIN		29. DECEASED'S SEX	
White		Not Hispanic or Latino		Male	
30. DECEASED'S EDUCATION (Specify the decedent's highest degree or level of school completed at time of death)		31. DECEASED'S EVER IN U.S. ARMED FORCES		32. DECEASED'S EVER IN U.S. NAVY	
High school or less		No		No	
33. FATHER'S NAME (First, Middle, Last, Suffix)		34. MOTHER'S NAME (First, Middle, Last, Suffix)		35. DECEASED'S RELIGION	
Hollis M. Newell		William M. Simpson		None	
36. DECEASED'S RELIGION		37. DECEASED'S RELIGION		38. DECEASED'S RELIGION	
Darrel R. Renner		Spouse		Alaska	
39. CITY OR TOWN		40. STREET ADDRESS		41. ZIP CODE	
Anchorage		14305 Chawa Circle		99511	
42. PLACE OF DEATH (Name of cemetery, crematorium, or other place)		43. LOCATION - STATE		44. LOCATION - CITY OR TOWN	
Angelus Memorial Park		Alaska		Anchorage	
45. METHOD OF DISPOSITION		46. APPROVAL AUTHORITY		47. APPROVAL AUTHORITY	
Burial		4318		4318	
48. NAME OF FUNERAL FACILITY		49. CITY OR TOWN		50. STATE	
Stevenson-Hamlin & Hilbish Funeral Home		Tomball		Texas	
51. CITY OR TOWN		52. STREET ADDRESS		53. ZIP CODE	
Tomball		226 E. Burleigh Blvd		77460	
54. CERTIFIER		55. DATE SIGNED (Month/Day/Year)		56. DATE OF DEATH (Month/Day/Year)	
J. L. McHenry MD		04/02/2006		04/20/2006	
57. DECEASED'S SIGNATURE (If possible)		58. CERTIFIER'S NAME		59. NAME OF ATTENDING PHYSICIAN (If other than decedent)	
ME 07947		Jude V. Martin MD			
60. DECEASED'S SIGNATURE (If possible)		61. CITY OR TOWN		62. STATE	
		Lombard		Illinois	
63. DECEASED'S SIGNATURE (If possible)		64. LOCAL REGISTRAR		65. DATE SIGNED BY REGISTRAR (Month/Day/Year)	
		Neil Kelly		04/20/2006	
66. CAUSE OF DEATH - PART 1		67. CAUSE OF DEATH - PART 2		68. CAUSE OF DEATH - PART 3	
DISEASE		DISEASE		DISEASE	
69. CAUSE OF DEATH - PART 4		70. CAUSE OF DEATH - PART 5		71. CAUSE OF DEATH - PART 6	
DISEASE		DISEASE		DISEASE	
72. CAUSE OF DEATH - PART 7		73. CAUSE OF DEATH - PART 8		74. CAUSE OF DEATH - PART 9	
DISEASE		DISEASE		DISEASE	
75. CAUSE OF DEATH - PART 10		76. CAUSE OF DEATH - PART 11		77. CAUSE OF DEATH - PART 12	
DISEASE		DISEASE		DISEASE	
78. CAUSE OF DEATH - PART 13		79. CAUSE OF DEATH - PART 14		80. CAUSE OF DEATH - PART 15	
DISEASE		DISEASE		DISEASE	
81. CAUSE OF DEATH - PART 16		82. CAUSE OF DEATH - PART 17		83. CAUSE OF DEATH - PART 18	
DISEASE		DISEASE		DISEASE	
84. CAUSE OF DEATH - PART 19		85. CAUSE OF DEATH - PART 20		86. CAUSE OF DEATH - PART 21	
DISEASE		DISEASE		DISEASE	
87. CAUSE OF DEATH - PART 22		88. CAUSE OF DEATH - PART 23		89. CAUSE OF DEATH - PART 24	
DISEASE		DISEASE		DISEASE	
90. CAUSE OF DEATH - PART 25		91. CAUSE OF DEATH - PART 26		92. CAUSE OF DEATH - PART 27	
DISEASE		DISEASE		DISEASE	
93. CAUSE OF DEATH - PART 28		94. CAUSE OF DEATH - PART 29		95. CAUSE OF DEATH - PART 30	
DISEASE		DISEASE		DISEASE	
96. CAUSE OF DEATH - PART 31		97. CAUSE OF DEATH - PART 32		98. CAUSE OF DEATH - PART 33	
DISEASE		DISEASE		DISEASE	
99. CAUSE OF DEATH - PART 34		100. CAUSE OF DEATH - PART 35		101. CAUSE OF DEATH - PART 36	
DISEASE		DISEASE		DISEASE	
102. CAUSE OF DEATH - PART 37		103. CAUSE OF DEATH - PART 38		104. CAUSE OF DEATH - PART 39	
DISEASE		DISEASE		DISEASE	
105. CAUSE OF DEATH - PART 40		106. CAUSE OF DEATH - PART 41		107. CAUSE OF DEATH - PART 42	
DISEASE		DISEASE		DISEASE	
108. CAUSE OF DEATH - PART 43		109. CAUSE OF DEATH - PART 44		110. CAUSE OF DEATH - PART 45	
DISEASE		DISEASE		DISEASE	
111. CAUSE OF DEATH - PART 46		112. CAUSE OF DEATH - PART 47		113. CAUSE OF DEATH - PART 48	
DISEASE		DISEASE		DISEASE	
114. CAUSE OF DEATH - PART 49		115. CAUSE OF DEATH - PART 50		116. CAUSE OF DEATH - PART 51	
DISEASE		DISEASE		DISEASE	
117. CAUSE OF DEATH - PART 52		118. CAUSE OF DEATH - PART 53		119. CAUSE OF DEATH - PART 54	
DISEASE		DISEASE		DISEASE	
120. CAUSE OF DEATH - PART 55		121. CAUSE OF DEATH - PART 56		122. CAUSE OF DEATH - PART 57	
DISEASE		DISEASE		DISEASE	
123. CAUSE OF DEATH - PART 58		124. CAUSE OF DEATH - PART 59		125. CAUSE OF DEATH - PART 60	
DISEASE		DISEASE		DISEASE	
126. CAUSE OF DEATH - PART 61		127. CAUSE OF DEATH - PART 62		128. CAUSE OF DEATH - PART 63	
DISEASE		DISEASE		DISEASE	
129. CAUSE OF DEATH - PART 64		130. CAUSE OF DEATH - PART 65		131. CAUSE OF DEATH - PART 66	
DISEASE		DISEASE		DISEASE	
132. CAUSE OF DEATH - PART 67		133. CAUSE OF DEATH - PART 68		134. CAUSE OF DEATH - PART 69	
DISEASE		DISEASE		DISEASE	
135. CAUSE OF DEATH - PART 70		136. CAUSE OF DEATH - PART 71		137. CAUSE OF DEATH - PART 72	
DISEASE		DISEASE		DISEASE	
138. CAUSE OF DEATH - PART 73		139. CAUSE OF DEATH - PART 74		140. CAUSE OF DEATH - PART 75	
DISEASE		DISEASE		DISEASE	
141. CAUSE OF DEATH - PART 76		142. CAUSE OF DEATH - PART 77		143. CAUSE OF DEATH - PART 78	
DISEASE		DISEASE		DISEASE	
144. CAUSE OF DEATH - PART 79		145. CAUSE OF DEATH - PART 80		146. CAUSE OF DEATH - PART 81	
DISEASE		DISEASE		DISEASE	
147. CAUSE OF DEATH - PART 82		148. CAUSE OF DEATH - PART 83		149. CAUSE OF DEATH - PART 84	
DISEASE		DISEASE		DISEASE	
150. CAUSE OF DEATH - PART 85		151. CAUSE OF DEATH - PART 86		152. CAUSE OF DEATH - PART 87	
DISEASE		DISEASE		DISEASE	
153. CAUSE OF DEATH - PART 88		154. CAUSE OF DEATH - PART 89		155. CAUSE OF DEATH - PART 90	
DISEASE		DISEASE		DISEASE	
156. CAUSE OF DEATH - PART 91		157. CAUSE OF DEATH - PART 92		158. CAUSE OF DEATH - PART 93	
DISEASE		DISEASE		DISEASE	
159. CAUSE OF DEATH - PART 94		160. CAUSE OF DEATH - PART 95		161. CAUSE OF DEATH - PART 96	
DISEASE		DISEASE		DISEASE	
162. CAUSE OF DEATH - PART 97		163. CAUSE OF DEATH - PART 98		164. CAUSE OF DEATH - PART 99	
DISEASE		DISEASE		DISEASE	
165. CAUSE OF DEATH - PART 100		166. CAUSE OF DEATH - PART 101		167. CAUSE OF DEATH - PART 102	
DISEASE		DISEASE		DISEASE	
168. CAUSE OF DEATH - PART 103		169. CAUSE OF DEATH - PART 104		170. CAUSE OF DEATH - PART 105	
DISEASE		DISEASE		DISEASE	
171. CAUSE OF DEATH - PART 106		172. CAUSE OF DEATH - PART 107		173. CAUSE OF DEATH - PART 108	
DISEASE		DISEASE		DISEASE	
174. CAUSE OF DEATH - PART 109		175. CAUSE OF DEATH - PART 110		176. CAUSE OF DEATH - PART 111	
DISEASE		DISEASE		DISEASE	
177. CAUSE OF DEATH - PART 112		178. CAUSE OF DEATH - PART 113		179. CAUSE OF DEATH - PART 114	
DISEASE		DISEASE		DISEASE	
180. CAUSE OF DEATH - PART 115		181. CAUSE OF DEATH - PART 116		182. CAUSE OF DEATH - PART 117	
DISEASE		DISEASE		DISEASE	
183. CAUSE OF DEATH - PART 118		184. CAUSE OF DEATH - PART 119		185. CAUSE OF DEATH - PART 120	
DISEASE		DISEASE		DISEASE	
186. CAUSE OF DEATH - PART 121		187. CAUSE OF DEATH - PART 122		188. CAUSE OF DEATH - PART 123	
DISEASE		DISEASE		DISEASE	
189. CAUSE OF DEATH - PART 124		190. CAUSE OF DEATH - PART 125		191. CAUSE OF DEATH - PART 126	
DISEASE		DISEASE		DISEASE	
192. CAUSE OF DEATH - PART 127		193. CAUSE OF DEATH - PART 128		194. CAUSE OF DEATH - PART 129	
DISEASE		DISEASE		DISEASE	
195. CAUSE OF DEATH - PART 130		196. CAUSE OF DEATH - PART 131		197. CAUSE OF DEATH - PART 132	
DISEASE		DISEASE		DISEASE	
198. CAUSE OF DEATH - PART 133		199. CAUSE OF DEATH - PART 134		200. CAUSE OF DEATH - PART 135	
DISEASE		DISEASE		DISEASE	
201. CAUSE OF DEATH - PART 136		202. CAUSE OF DEATH - PART 137		203. CAUSE OF DEATH - PART 138	
DISEASE		DISEASE		DISEASE	
204. CAUSE OF DEATH - PART 139		205. CAUSE OF DEATH - PART 140		206. CAUSE OF DEATH - PART 141	
DISEASE		DISEASE		DISEASE	
207. CAUSE OF DEATH - PART 142		208. CAUSE OF DEATH - PART 143		209. CAUSE OF DEATH - PART 144	
DISEASE		DISEASE		DISEASE	
210. CAUSE OF DEATH - PART 145		211. CAUSE OF DEATH - PART 146		212. CAUSE OF DEATH - PART 147	
DISEASE		DISEASE		DISEASE	
213. CAUSE OF DEATH - PART 148		214. CAUSE OF DEATH - PART 149		215. CAUSE OF DEATH - PART 150	
DISEASE		DISEASE		DISEASE	
216. CAUSE OF DEATH - PART 151		217. CAUSE OF DEATH - PART 152		218. CAUSE OF DEATH - PART 153	
DISEASE		DISEASE		DISEASE	
219. CAUSE OF DEATH - PART 154		220. CAUSE OF DEATH - PART 155		221. CAUSE OF DEATH - PART 156	
DISEASE		DISEASE		DISEASE	
222. CAUSE OF DEATH - PART 157		223. CAUSE OF DEATH - PART 158		224. CAUSE OF DEATH - PART 159	
DISEASE		DISEASE		DISEASE	
225. CAUSE OF DEATH - PART 160		226. CAUSE OF DEATH - PART 161		227. CAUSE OF DEATH - PART 162	
DISEASE		DISEASE		DISEASE	
228. CAUSE OF DEATH - PART 163		229. CAUSE OF DEATH - PART 164		230. CAUSE OF DEATH - PART 165	
DISEASE		DISEASE		DISEASE	
231. CAUSE OF DEATH - PART 166		232. CAUSE OF DEATH - PART 167		233. CAUSE OF DEATH - PART 168	
DISEASE		DISEASE		DISEASE	
234. CAUSE OF DEATH - PART 169		235. CAUSE OF DEATH - PART 170		236. CAUSE OF DEATH - PART 171	
DISEASE		DISEASE		DISEASE	
237. CAUSE OF DEATH - PART 172		238. CAUSE OF DEATH - PART 173		239. CAUSE OF DEATH - PART 174	
DISEASE		DISEASE		DISEASE	
240. CAUSE OF DEATH - PART 175		241. CAUSE OF DEATH - PART 176		242. CAUSE OF DEATH - PART 177	
DISEASE		DISEASE		DISEASE	
243. CAUSE OF DEATH - PART 178		244. CAUSE OF DEATH - PART 179		245. CAUSE OF DEATH - PART 180	
DISEASE		DISEASE		DISEASE	
246. CAUSE OF DEATH - PART 181		247. CAUSE OF DEATH - PART 182		248. CAUSE OF DEATH - PART 183	
DISEASE		DISEASE		DISEASE	
249. CAUSE OF DEATH - PART 184		250. CAUSE OF DEATH - PART 185		251. CAUSE OF DEATH - PART 186	
DISEASE		DISEASE		DISEASE	
252. CAUSE OF DEATH - PART 187		253. CAUSE OF DEATH - PART 188		254. CAUSE OF DEATH - PART 189	
DISEASE		DISEASE		DISEASE	
255. CAUSE OF DEATH - PART 190		256. CAUSE OF DEATH - PART 191		257. CAUSE OF DEATH - PART 192	
DISEASE		DISEASE		DISEASE	
258. CAUSE OF DEATH - PART 193		259. CAUSE OF DEATH - PART 194		260. CAUSE OF DEATH - PART 195	
DISEASE		DISEASE		DISEASE	
261. CAUSE OF DEATH - PART 196		262. CAUSE OF DEATH - PART 197		263. CAUSE OF DEATH - PART 198	
DISEASE		DISEASE		DISEASE	
264. CAUSE OF DEATH - PART 199		265. CAUSE OF DEATH - PART 200		266. CAUSE OF DEATH - PART 201	
DISEASE		DISEASE		DISEASE	
267. CAUSE OF DEATH - PART 202		268. CAUSE OF DEATH - PART 203		269. CAUSE OF DEATH - PART 204	
DISEASE		DISEASE		DISEASE	
270. CAUSE OF DEATH - PART 205		271. CAUSE OF DEATH - PART 206		272. CAUSE OF DEATH - PART 207	
DISEASE		DISEASE		DISEASE	
273. CAUSE OF DEATH - PART 208		274. CAUSE OF DEATH - PART 209		275. CAUSE OF DEATH - PART 210	
DISEASE		DISEASE		DISEASE	
276. CAUSE OF DEATH - PART 211		277. CAUSE OF DEATH - PART 212		278. CAUSE OF DEATH - PART 213	
DISEASE		DISEASE		DISEASE	
279. CAUSE OF DEATH - PART 214		280. CAUSE OF DEATH - PART 215		281. CAUSE OF DEATH - PART 216	
DISEASE		DISEASE		DISEASE	
282. CAUSE OF DEATH - PART 217		283. CAUSE OF DEATH - PART 218		284. CAUSE OF DEATH - PART 219	
DISEASE		DISEASE		DISEASE	
285. CAUSE OF DEATH - PART 220		286. CAUSE OF DEATH - PART 221		287. CAUSE OF DEATH - PART 222	
DISEASE		DISEASE		DISEASE	
288. CAUSE OF DEATH - PART 223		289. CAUSE OF DEATH - PART 224		290. CAUSE OF DEATH - PART 225	
DISEASE		DISEASE		DISEASE	
291. CAUSE OF DEATH - PART 226		292. CAUSE OF DEATH - PART 227		293. CAUSE OF DEATH - PART 228	
DISEASE		DISEASE		DISEASE	
294. CAUSE OF DEATH - PART 229		295. CAUSE OF DEATH - PART 230		296. CAUSE OF DEATH - PART 231	
DISEASE		DISEASE		DISEASE	
297. CAUSE OF DEATH - PART 232		298. CAUSE OF DEATH - PART 233		299. CAUSE OF DEATH - PART 234	
DISEASE		DISEASE		DISEASE	
300. CAUSE OF DEATH - PART 235		301. CAUSE OF DEATH - PART 236		302. CAUSE OF DEATH - PART 237	
DISEASE		DISEASE		DISEASE	
303. CAUSE OF DEATH -					

Hello,

I Cindy Renner executor of the estate of
Darrell Renner give Jamar Hill authorization
to act on the owners behalf in petitioning
for a varience for the property located at
0000 N Pine St. Anchorage Alaska 99508

A handwritten signature in black ink, appearing to be 'Cindy Renner', written over a horizontal line.

Cindy Renner

IN THE SUPERIOR COURT FOR THE STATE OF ALASKA

THIRD JUDICIAL DISTRICT AT ANCHORAGE

IN PROBATE

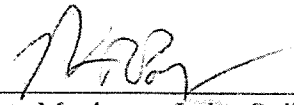
In the Matter of the Estate of,)
)
DARREL ROYCE RENNER,)
)
Deceased.)
_____)

Case No. 3AN 17-1698 PR

LETTERS TESTAMENTARY AND ACCEPTANCE
IN A FORMAL PROCEEDING

CINDY S. RENNER is hereby appointed Personal Representative of the Estate of Darrel Royce Renner, deceased, in a formal proceeding. The Personal Representative's authority shall extend to accessing all of the records of the decedent with the IRS. The Personal Representative shall perform her duties under supervised administration as described in AS 13.16.215 *et. seq.* The Personal Representative shall have all of the powers of a personal representative under AS 13.06 – AS 13.36, but shall not make any distribution of the estate to any heir without prior order of the court.

DATED this 4th day of April, 2018.



Probate Magistrate Judge Polley

STATE OF TENNESSEE)

Decatur) SS.
COUNTY)

I hereby accept the duties and responsibilities of the office of personal representative of the estate of Darrel Royce Renner, which I will perform as required by law:

a) take possession and control of the decedent's property as required by AS 13.16.380, determine the liabilities of the estate, and complete an inventory as required by AS 13.16.365;

b) provide notice to heirs and devisees as are required by AS 13.16.360, except as provided by AS 13.16.690;

c) provide notice to creditors as required by law, publish notice when required, and review and either accept or reject claims as required by AS 13.16.455 -- 13.16.515;

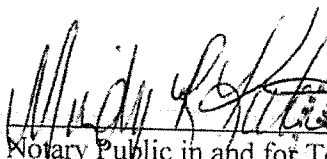
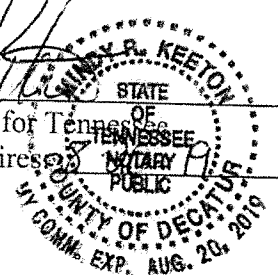
d) advise the court in writing of my address and telephone number as required by Probate Rule 8;

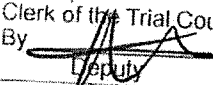
e) pay homestead, exempt property and family allowances as required by AS 13.12.401 -- AS 13.12.412, costs of administration and other claims as required by AS 13.16.470. I understand that I am not to make any distribution of this estate to any heir without prior court approval.

g) close the estate as soon as appropriate as required by AS 13.16.620 -- 13.16.670.
No bond has been required.


CINDY S. RENNER

SUBSCRIBED TO AND SWORN before me by CINDY S. RENNER this 28 day of March, 2018.


Notary Public in and for Tennessee
My Commission expires 08/20/2019


I certify that this is a true and correct copy of the original on file in my office.
ATTEST:
Clerk of the Trial Courts at Anchorage
By  4/11/18
Deputy Date

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

Variance Documentation

Request: Variance to allow Community Center in R-3 district on an undersized lot and access from other than a Collector Street.

Location: Fairview Subdivision, Lot 6A, Block 1

Community Council: Mountain View

Site Address: NA Pine Street

Tax Identification: 005-022-06-000

Site:

Acres: 12,824 Sq. Ft.

Zoning: R-3

Topography: Generally, Level

Existing Use: Vacant Land, undeveloped

Public Water and Sewer onsite

2020 Comprehensive Plan/2040 Land Use Map Designation:

Classification: Compact Mixed Residential Low, within a Traditional Neighborhood Development area

Surrounding Area:

	NORTH:	EAST:	SOUTH:	WEST:
Zoning:	R-3	Park	B-3	R-3
Land Use:	Residential	MT View Lions Park	Commercial	Residential

AMC 21.04.020 G R-3: Mixed Residential District

1. Purpose

The R-3 district is a multifamily residential district with gross densities between 15 and 40 dwelling units per acre, provided, however, that housing allowed in the R-1, R-1A, R-2A, and R-2D are a permitted use. It is intended primarily for multifamily and townhouse dwellings characterized by low-rise multistory buildings. It allows a higher percentage of lot coverage than the R-2M zone, while also maintaining the residential living environment with landscaping, private/common open spaces, and other amenities for residents. This district provides greater housing opportunities and efficient use of residential land near commercial, community activity centers, town centers, and areas well served by transit.

2. District-Specific Standard

The maximum length of a townhouse-style building elevation shall be 250 feet.

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

AMC 21.05.040.2 Community Center

a. Definition

A facility that is intended primarily to serve the meeting, cultural, social services, administrative, athletic, or entertainment needs of the community as a whole, operated by the government or as a non-profit facility, and generally open to the public.

b. Use-Specific Standards (also apply to "Religious Assembly")

- i. *Applicability*
The standards of this subsection shall apply to all community centers and religious assemblies within a residential zoning district.
- ii. *Minimum Lot Area and Width*
Notwithstanding any smaller minimum lot area required by tables 21.06-1 and 21.06-2, community centers and religious assemblies subject to this subsection shall have a minimum lot area of 14,000 square feet and a minimum lot width of 100 feet.
- iii. *Traffic Access*
Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Highways Plan. All ingress and egress traffic shall be directly onto such street.
- iv. *Buffering Standards*
L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.
- v. *Vegetated Open Space*
In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.
- vi. *Parking and Setbacks*
In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

Dimensional Standards for the Community Center use:

Minimum Lot Dimension:	Area: 14000 SF	Actual Area: 12,824 Sq. ft
	Width: 100 ft	Actual Width: 102.32 ft

Setbacks:	Front: 20 ft	Side: 10 ft	Rear: 20 ft
-----------	--------------	-------------	-------------

Actual:	Existing building
	Front: 20 ft Side: 30.07 and 15 ft
	Rear: 30 ft

Traffic Access: **Requires Access** to be 50 ft minimum along a Collector,
Actual Access is through alleys off Pine Street and off of N Bliss St.
Mountain View Drive is nearest Collector and it is approximately 180 ft to
the South along Pine Street, lot width is over 50 ft.

SITE DESCRIPTION AND PROPOSAL:

We are working to develop an indoor baseball softball training facility (list address) that is designated as a Community Center. The location of this project is ideal as it is across the street from Lions Park in Mountain View offering young people in the Mountain View area a year-round option to participate in athletic activity. The lot that we are proposing this project (List address) on will not meet code based on the Community Center standards subsections listed below:

ii) Minimum required lot size of 14,000 square feet. (List address) is 12,824 square feet, which is 9% under the required lot size

iii) N Pine Street, the adjacent ingress and egress street leading to the property. Does not have collector or greater designation. Mountain View Drive is located to the North 180 ft and after discussing with the Traffic Department they stated they would support that this location could be allowed a variance for this access requirement as it is very close to a collector.

We are requesting a variance that allows use to a) design a community center on a lot that is less the require size and b) to have this property off of Pine St. despite it not being designated a collector or greater.

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

Variance Standards and Responses

- a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard;

We are able to meet the code for this project in each of the standards except ii) 14,000 square feet and iii) Pine St. being a collector a greater.

Justification for item ii) Lot Size of 14,000 Sq ft.

We are able to design for all of the required property features of this project with less than the minimum 14,000 square feet required area for a Community Center on this lot. We have shown adequate parking and have met all the landscaping, pedestrian access, trash dumpster, open space etc... on the 12,824 sq ft lot. See the attached Site plan and Architectural plans. We have worked with the Traffic Department and Planning Department to meet their needs and expectations of delivering a Community Center that works in the area and also meets our needs to provide the community a space to learn baseball and softball. This site is convenient for the community as it is directly across the street from an outdoor baseball softball park. Therefore inclement weather allows the community to have a place to practice indoors as well. Since we can meet all the required Title 21 requirements on the lot size of 12824 we feel we are justified in asking for a variance to have a slightly smaller lot then the Use Specific Requirements require.

Justification for item iii)

This road currently dead ends to the 100 spaces parking lot supporting Lions park and the Mountain View Little League fields. With this established, it is assumed that the street design and traffic patterns are already set up for typical volume of baseball related traffic. The owner met with the Traffic Department to discuss the close proximity to Mountain View Drive and received their concurrence that they would support a variance to the Use Specific Standard of requiring this Community Center to be actually located on a Collector. Based upon these meeting and the existing condition of the street and the low traffic impact of our Baseball Community Center we feel we are justified in our request for a variance to allow the Community Center to be located off a Collector street.

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

- b. The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;

Policy 7: Avoid incompatible uses adjoining one another.

POLICY 7 RESPONSE:

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to a already existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy.

Policy 45: Connect local activity centers such as neighborhood schools and community centers with parks, sports fields, greenbelts, and trails, where feasible.

POLICY 45 RESPONSE:

This project will provide greater infrastructure supporting organized sports programs that utilize Lions park which is across Pine street. This project being in close proximity to the existing park will promote positive use of the existing park, while providing a gathering place that is within walking distance for residence of the Mountain View Neighborhood. (collaboration with Lions club/Mountain View Little League). In fact, there is an existing walkway that leads from the sports fields to the building site of this project. We feel our design and location definitely meet the requirements of policy 45.

Policy 46: The unique appeal of individual residential neighborhoods shall be protected and enhanced in accordance with applicable goals, policies and strategies.

POLICY 46 RESPONSE:

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to an existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy and keep the residential feel of the neighborhood.

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

OVERALL RESPONSE to b:

In addition to the policies being met we believe our redevelopment of this property meets the intent of the Anchorage 2020 and 2040 plans because we are designing a Community Center that is in a great location adjacent to a park with the similar outdoor baseball/softball facilities. We will provide the buffering between the community use and the residential use to smooth the transition as well as provide a nice transition from the Commercial uses to the South and the residential uses to the West and North.

- c. The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;**

c.(response) This project will provide greater infrastructure supporting organized sports programs that utilize Lions park during the summer months by providing a safe indoor practice space during the winter months. This project being in close proximity to the existing park will promote positive use of the existing park, while providing a gathering place that is within walking distance for residence of the Mountain View Neighborhood. (collaboration with Lions club/Mountain View Little League). In fact, there is an existing walkway that leads from the fields to the building site of this project.

- d. The variance if granted will not adversely affect the use of adjacent property as permitted under this code;**

d.(response)The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site and a place for neighborhood family members to gather and play baseball/softball. This site has remained undeveloped because of the residential zoning and be adjacent to a gas station to the South. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Based upon our landscaping design and the make up of a new Community Center will help develop this area into a safer and cleaner neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we are justified in this category and will definitely not adversely affect the adjacent properties as we will only enhance the area.

- e. The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property is located, is in**

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies.

e.(response) A Community Center is an approved conditional use pending an administrative site plan review. With that established, it is assumed that this is the type of project that was intended for this zoning designation. In addition, the neighborhood has an existing baseball complex that is currently in use. This baseball complex visually defines the current character of the neighborhood. Our proposed indoor facility project enhances the current interest in this area. Additionally, nothing has ever been built on this land. A community center would make for a more attractive residential neighborhood transition from the businesses to the South. We have worked for over a year with the Planning Department to make sure our use is compatible and will continue to be compatible with the surrounding neighborhoods. We have submitted a Use Determination in which the designated our use as one that would be considered a Community Center and have encouraged us to proceed with providing this within Anchorage. The lot we are proposing works very well based upon it being across the street from baseball and softball fields that currently exist. This use therefore does not change the feel or the intent of the R-3 zoning district of which currently exists. Community Centers are allowed in the R-3 so approving this variance does not impact the future uses of lots in this area for what the code intended. We feel based upon this that our variance is justified for this category.

- f. Persons with disabilities are provided with access as required by the American with Disabilities Act (ADA) and reasonable accommodation; and.**

f.(response) (See Design Plans) As always all designs will be required to meet ADA standards and our is no different. Please see the Architectural plans and the site plan both of which show the ADA requirements of Title 21 and Title 23. We are definitely justified in meeting this category for our variance.

- g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.**

g.(response) This design meets all aspects of Title 21 and Title 23 except for the two provisions we are seeking a variance on. Both of which if approved do not adversely affect health, safety or welfare of people of Anchorage. We are creating a safer and productive Community Center that will enhance the safety, health and welfare of people of Anchorage. We are a Sport activity based Community Center that will definitely make kids more healthy and with a new cleared up and landscaped area we feel we are also enhancing the neighborhood. This will in turn not adversely affect the

GAMERS COMMUNITY CENTER

Variance Narrative

October 9, 2019

health, safety or welfare of citizens of Anchorage so we feel our variance is justified for this category.

- h. In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.**

h.(response) If we decide to do a sign it will meet all aspects of Title 21 and we will not be seeking a variance for sign height or sign size.

Sheet List	
Sheet Number	Sheet Name
A0.0	Title Sheet
A0.3A	Perspectives
A1.1	Site Plan
A1.2	Typical Civil Details
A1.3	Typical Civil Details
A2.1	Floor Plan
A2.2	Roof Plan
A3.1	Exterior Elevations
A3.2	Exterior Elevations
A4.1	Building Sections
A4.2	Building Sections
A5.3	Toilet Room Mounting Heights
A6.4	Roof Access Details
A6.6	Wall Type Notes
A6.7	Wall Types
A7.1	Door Schedule

Gamers

Indoor Training Facility

Anchorage, AK 99508

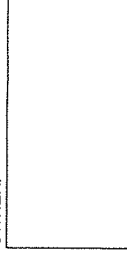
Lot 6A Block 1
Fairview Subdivision

PERMIT # n/a

ARCHITECT:



OWNER:



FVA Project #
2019_69
Project Start Date:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

COPYRIGHT 2019 FAULKENBERRY & ASSOC. INC.

10/03/2019
12:12:45 PM

FAULKENBERRY
& ASSOCIATES, INC.
ARCHITECTS
Alaska Authorization #720303
P.O. Box 20003 - Anchorage, Alaska 99520-0003 • (907)522-9193

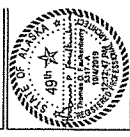


Gamers
Indoor Training Facility
Lot 6A Block 1
Fairview Subdivision
Anchorage, AK 99508
Sheet Name
Title Sheet
Sheet Number
1

Drawings at 11x17 are 1/2 scale indicated

A0.0

Printed on: 10/03/2019 12:12:45 PM



FINISH NOTES

1. FINISHES IN GENERAL SHALL COMPLY WITH IBC CHAPTER 8. THIS FACILITY IS NOT SPRINKLERED.
2. PER IBC 803 INTERIOR WALL AND CEILING FINISHES SHALL HAVE CLASS B FINISHES WITH A MINIMUM FLAME SPREAD INDEX (28-75) AND SMOKE DEVELOPMENT INDEX (10-450).
3. PER IBC 804 FLOOR FINISHES SHALL BE A MINIMUM OF CLASS II.

PARKING REQUIREMENTS (PER AMC 21.07.060 E OFF-STREET PARKING)

- REQUIRED PARKING CALCULATIONS:**
1. COMMUNITY USES: COMMUNITY SERVICE - COMMUNITY CENTER (6,748) 1 PER 5 OCCUPANTS
 2. PARKING CALCULATIONS OCCUPANT LOAD
 3. OCCUPANT LOAD: 79 OCCUPANTS (SEE A0.1A CODE STUDY)
 4. PARKING CALCULATION: 79 OCCUPANTS / 5 = 15.8 - 16 TOTAL PARKING SPACES REQUIRED
- PARKING PROVIDED: 16
1. TOTAL PARKING: 16
 - A. PARKING BREAKDOWN:
 - a. HC ACCESSIBLE (8'20" x 8'20" ASLE) 15
 - b. HC ACCESSIBLE (8'20" x 8'20" ASLE) 1
 - c. HC TYPICAL (8'20" x 8'20" ASLE) 0

LANDSCAPE REQUIREMENTS (PER AMC 21.07.060)

- REQUIRED:
1. SEE SITE PLAN FOR TYPES AND LOCATIONS

PROVIDED: LANDSCAPE DRAWINGS TO BE PROVIDED BY OTHERS

PRIVATE OPEN SPACE (PER AMC 21.07.030)

- REQUIRED:
1. NOT REQUIRED AS THE BUILDING IS LESS THAN 5,000 SF.

PROVIDED: N/A

PRE-RESISTANCE REQUIREMENTS (PER IBC TABLES AND SECTIONS AS NOTED)

BUILDING TYPE: TYPE III-B

NOTE: BUILDING IS A NEW PRE-ENGINEERED METAL BUILDING

HAVING DIRECT CONNECTIONS TO THE COLUMNS, INCLUDING GIRDERS, BEAMS, TRUSSES AND SPANDRELS • (MEMBERS OF THE FLOOR AND ROOF CONSTRUCTION HAVING DIRECT CONNECTIONS TO THE COLUMNS) • BRACING MEMBER CARRIES GRAVITY LOADS;

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

REQUIRED RATING: 2-HOUR PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 704.5.1. RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON THE SEPARATION DISTANCE PER IBC TABLE 602.

PLUMBING REQUIREMENTS

PER IBC TABLE 2002.1

THIS PROJECT		WATER CLOSETS		URINALS		LAVATORIES		TUBS/SHW.		D.F.		OTHER	
BUILDING TYPE OR OCCUPANCY	A-3 (GYM)	MALE	FEMALE	MALE	FEMALE	FIXTURES	FIXTURES	FIXTURES	FIXTURES	FIXTURES	FIXTURES	FIXTURES	FIXTURES
PER IBC 2002.1	1 PER 125	1 PER 65	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200	1 PER 200
PER IBC 2002.1	30.5 OCC/ 125 = 0.24	30.5 OCC/ 65 = 0.47	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15
CALCULATIONS	30.5 OCC/ 125 = 0.24	30.5 OCC/ 65 = 0.47	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15	30.5 OCC/ 200 = 0.15
TOTAL REQD	0.31	0.08	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31	0.31
TOTAL PROVIDED	2*	2*	2*	2*	2*	2*	2*	2*	2*	2*	2*	2*	2*

PLUMBING NOTES:

1. PER IBC 2002.1 TABLE 2002.1: "WHERE WATER IS SERVED IN RESTAURANTS, DRINKING FOUNTAINS SHALL NOT BE REQUIRED. IN OTHER OCCUPANCIES WHERE DRINKING FOUNTAINS ARE REQUIRED, BOTTLED WATER DISPENSERS SHALL BE PERMITTED TO BE SUBSTITUTED FOR THE REQUIRED DRINKING FOUNTAINS. NOTE: A BOTTLED WATER DISPENSER IS PERMITTED TO BE SUBSTITUTED FOR THE REQUIRED DRINKING FOUNTAINS.
2. PER IBC 2002.1: SEPARATE FACILITIES ARE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 16 OR LESS. NOTE: THE TOTAL OCCUPANT LOAD FOR THIS OCCUPANCY IS 79 -- SEPARATE FACILITIES ARE REQUIRED FOR THIS OCCUPANCY.

FIRE PROTECTION SYSTEMS

SPRINKLER NOTES

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

FIRE ALARM SYSTEMS

1. PER IBC 907.2.1 GROUP A-3: A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

SMOKE DETECTOR NOTES

1. NOT APPLICABLE FOR THIS PROJECT

CARBON MONOXIDE ALARM NOTES

1. NOT APPLICABLE FOR THIS PROJECT

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

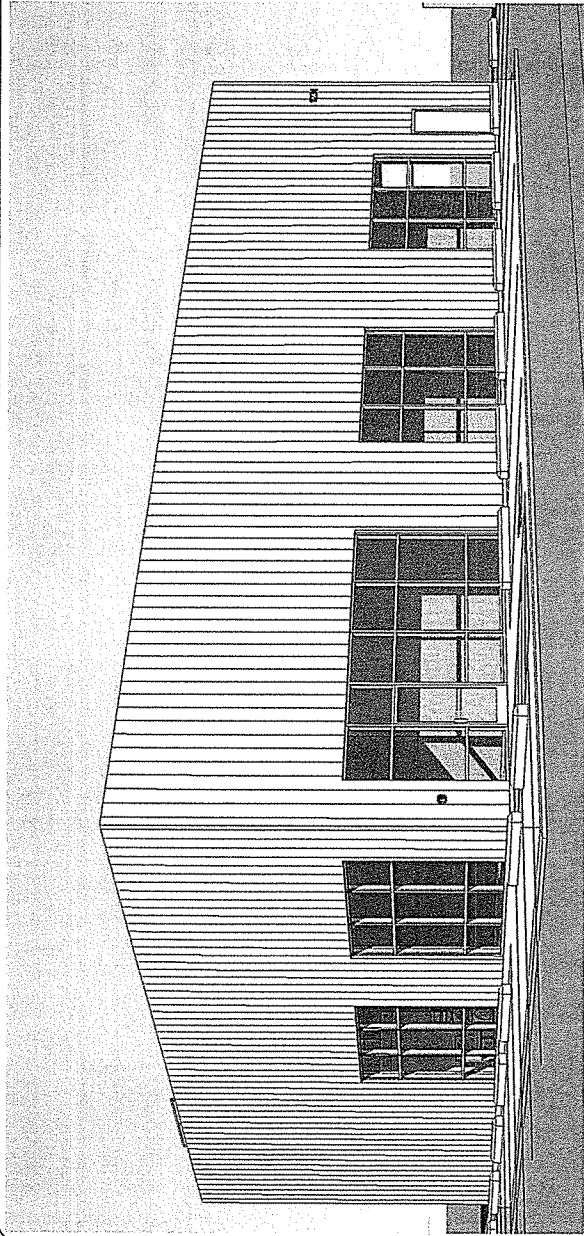
1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

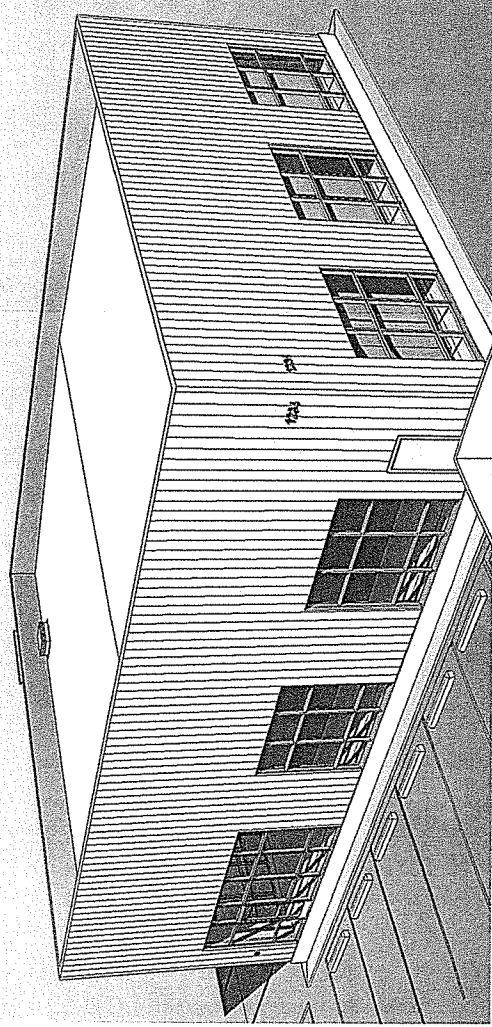
1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

LOCATIONS FOR THIS PROJECT

1. PER IBC 903.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.



① Front Left Perspective View



② Front Right Perspective View

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FMA Project #:
2019-65
Project Start Date:
08-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

COPYRIGHT 2019 FAULKENBERRY & ASSOCIATES, INC.



FAULKENBERRY
& ASSOCIATES, INC.
ARCHITECTS
Alaska Authorization #72090
P.O. Box 220283 - Anchorage, Alaska 99522-0283 - (907) 522-9193



Permit # 1719

Gamers
Indoor Training
Facility
Lot 6A Block 1
Parkview Subdivision
Anchorage, AK 99508

Project
Perspectives

A0.3A

Printed on: 10/04/2019 12:12:53 PM

FWA Project # 2019-0001
 Project Start Date 09-17-19
 Release Date 10-03-19
 Released for Preliminary Set 3

Copyright 2019 Falkenberry & Associates, Inc.



ALASKA ARCHITECTS & ASSOCIATES, INC.
 Alaska Architecture #122020
 P.O. Box 200083 - Anchorage, Alaska 99523-0083 - (907) 522-9133



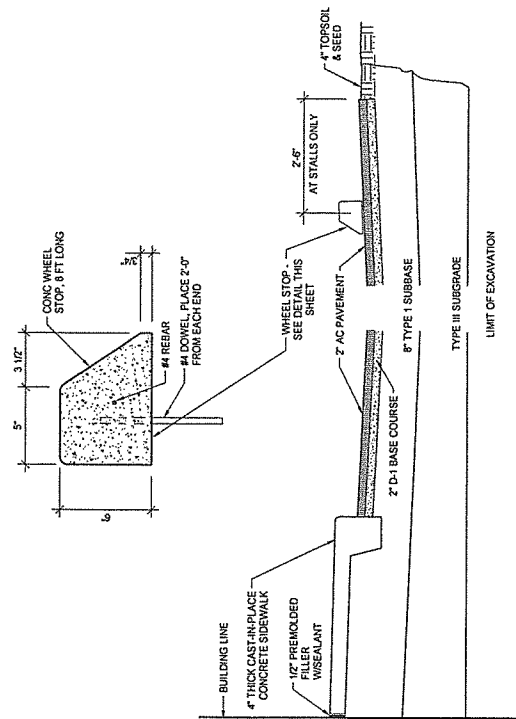
Permit # 179

Anchorage, AK 99508
 Facility Indoor Training
 L&M Block 1
 Facility Subdivision

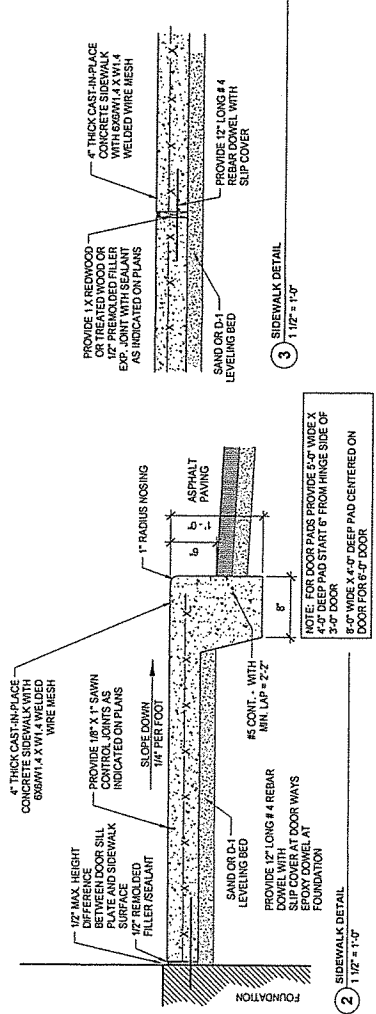
Typical Civil Details
 SHEET 000001

A1.2

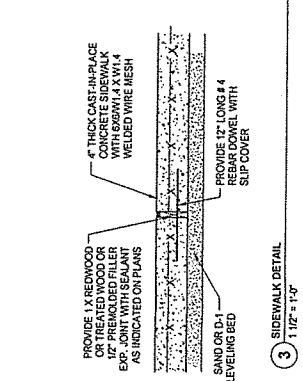
Printed on 10/04/2019 13:13:31 PM
 Project 2019-0001



1 SIDEWALK PAVING DETAILS
 1 1/2" = 1'-0"

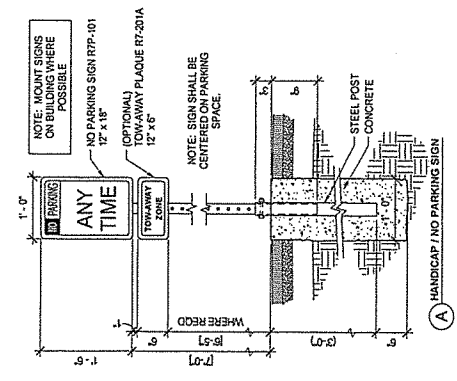
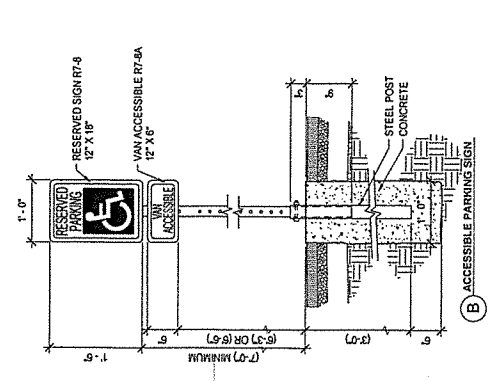
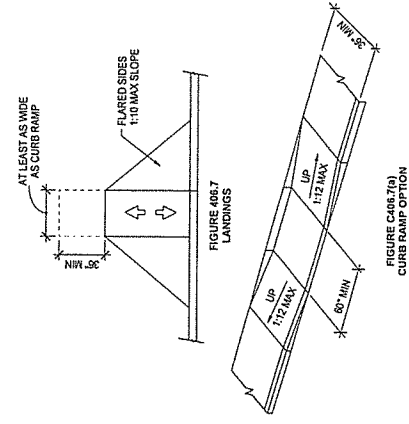
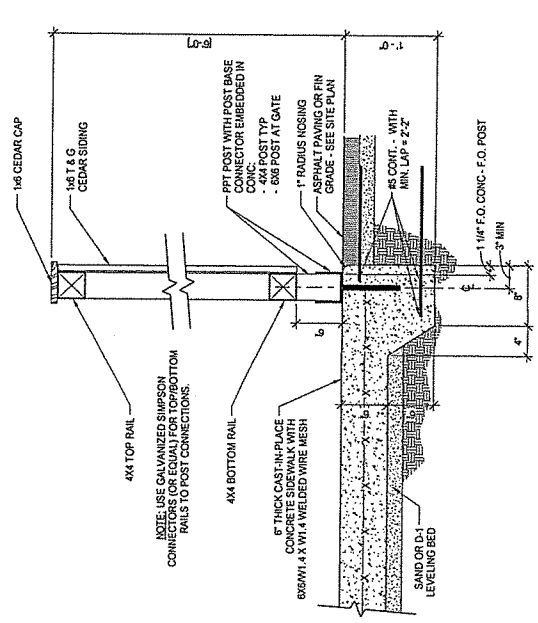
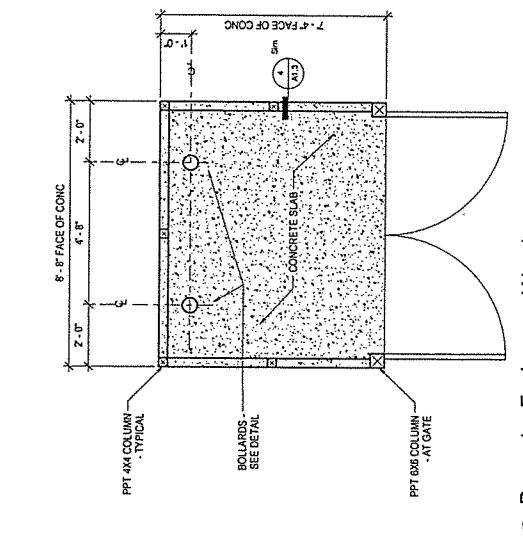
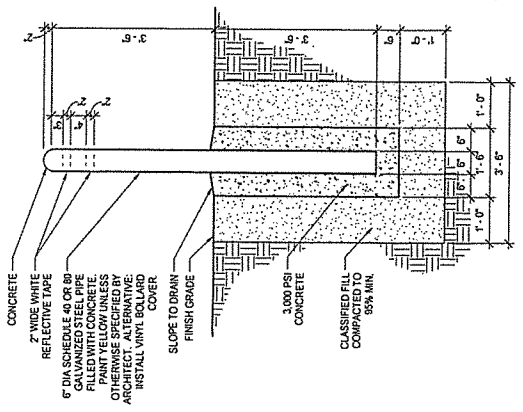
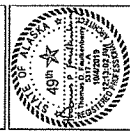


2 SIDEWALK DETAIL
 1 1/2" = 1'-0"



3 SIDEWALK DETAIL
 1 1/2" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



FMA Project #:
 2019-09
 Project Start Date:
 09-17-19
 Release Date: 10-03-19
 Released for:
 Preliminary Set 3



FAULKENBERRY
 & ASSOCIATES, INC.
 ARCHITECTS
 Alaska Authorization #728280
 P.O. Box 20000 - Anchorage, Alaska 99502-0000 - (907) 252-9193

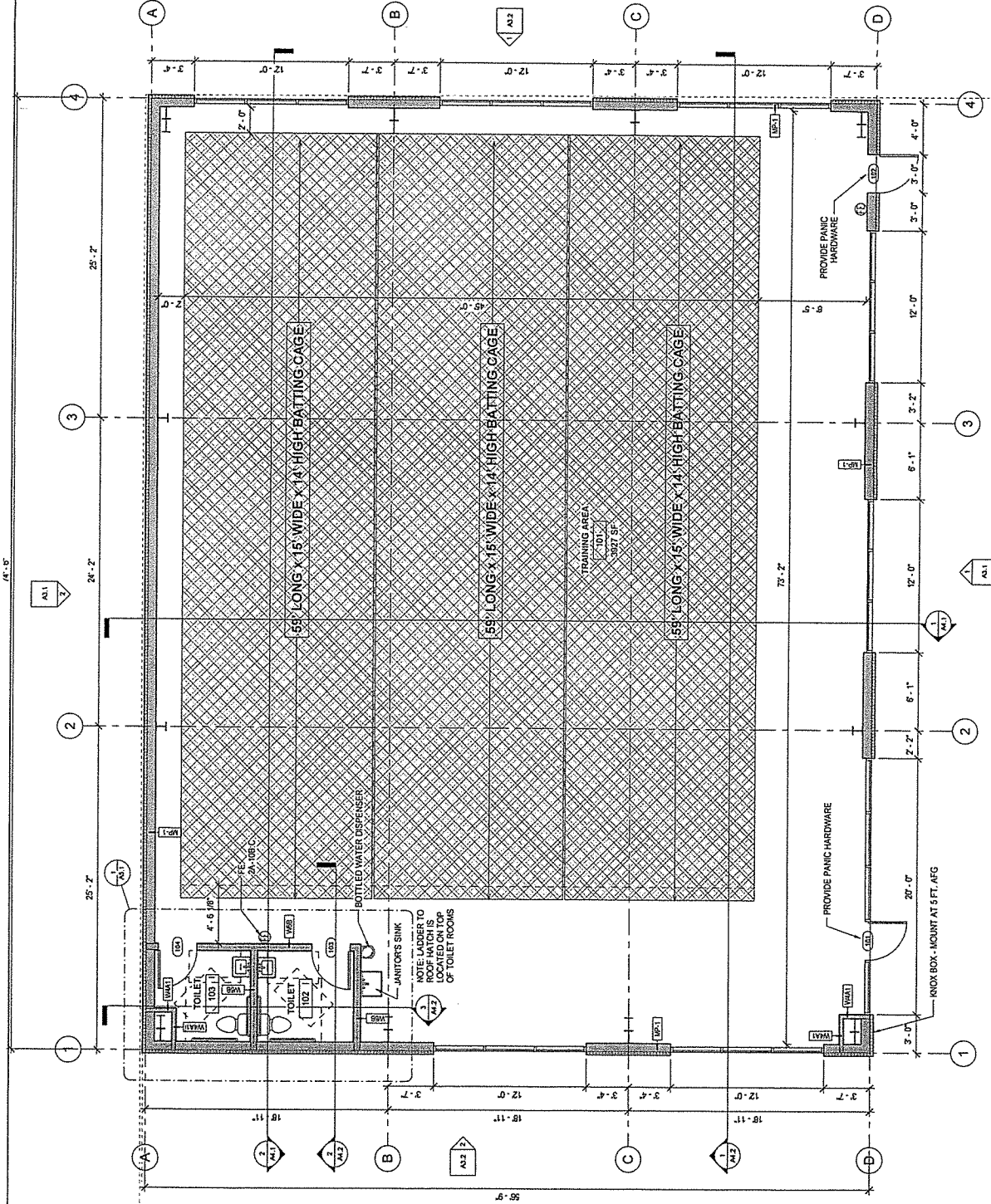


Anchorage, AK 99508
 Facility
 Indoor Training
 Gamers
 Floor Plan

A2.1
 Sheet Name

THE CONTRACTOR IS RESPONSIBLE TO
 CHECK THE PLANS AND IS TO NOTIFY THE
 ARCHITECT OF ANY ERRORS OR OMISSIONS
 PRIOR TO THE START OF CONSTRUCTION.

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



1 Floor Plan
 1/4" = 1'-0"



Printed on 10/04/2019 12:13:03 PM
 Permit # A14

RMA Project #:
 2019-05
 Project Start Date:
 05-17-19
 Release Date: 10-03-19
 Released for:
 Preliminary Set 3

Copyright 2019 Faulkenberry Architects, Inc.
 All Rights Reserved



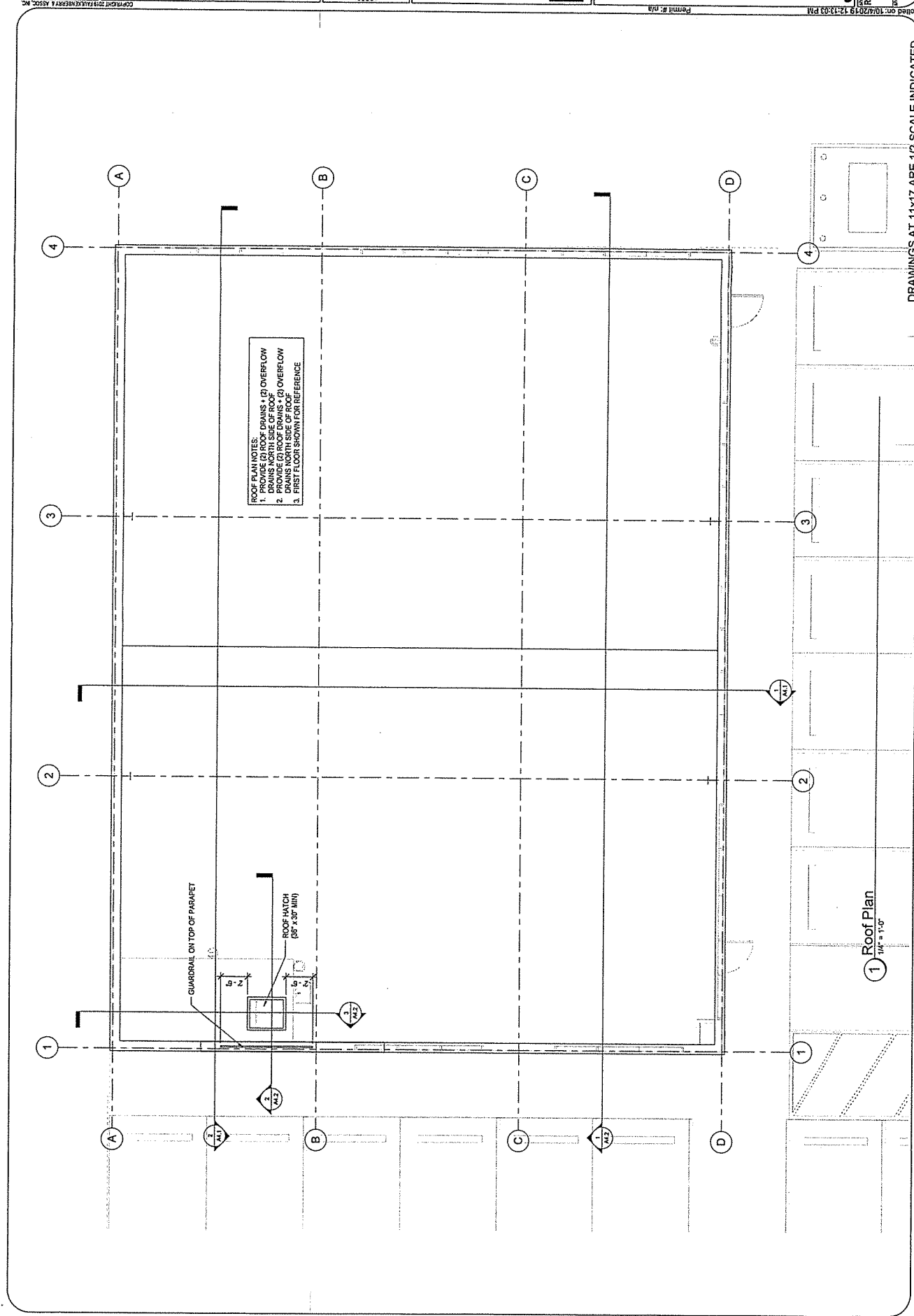
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907) 222-8193
 Alaska Authorization #120080
ARCHITECTS
 & ASSOCIATES, INC.
 FAULKENBERRY



Permit # 19A
 Project Name: Gamers Indoor Training Facility

Anchorage, AK 99508
 Lot 64 Block 1
 Facility
 Indoor Training
Gamers
 Roof Plan

A2.2
 Roof Plan



1 Roof Plan
 1/4" = 1'-0"

Drawings at 11x17 are 1/2 scale indicated

Printed on 10/24/2019 12:13:03 PM

File # 2019-03-18
 Project Start Date: 03-17-19
 Release Date: 03-17-19
 Released for: Preliminary Set 3



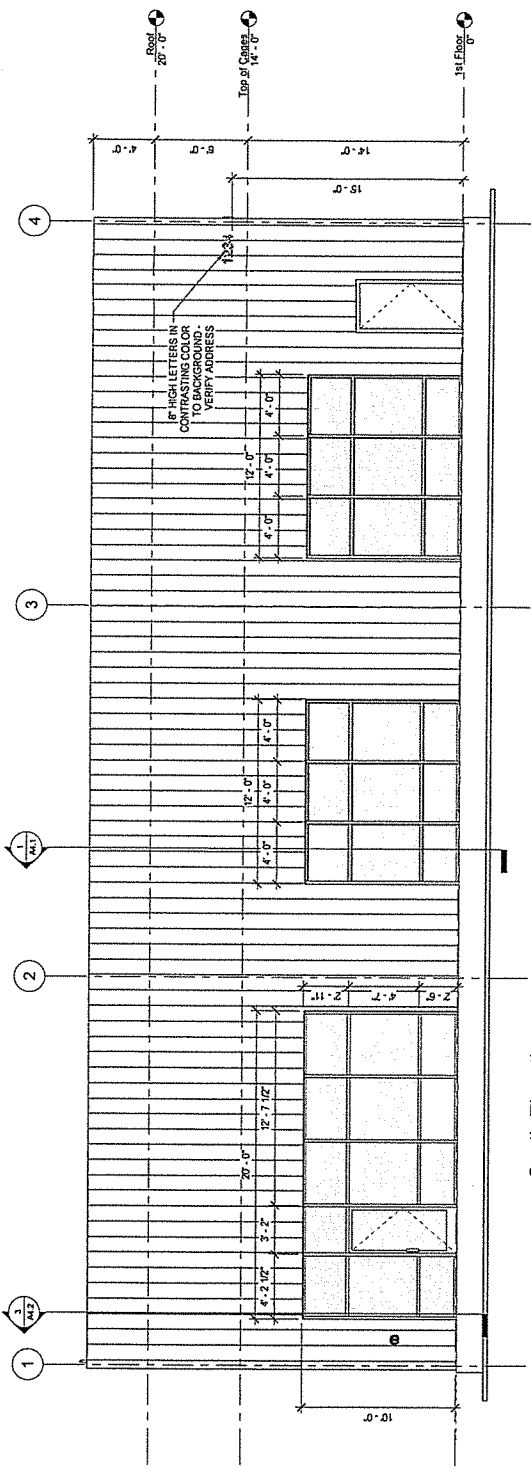
FAULKENBERRY & ASSOCIATES, INC.
 ARCHITECTS
 4000 S. 10th St.
 Raleigh, NC 27605
 (919) 872-9153



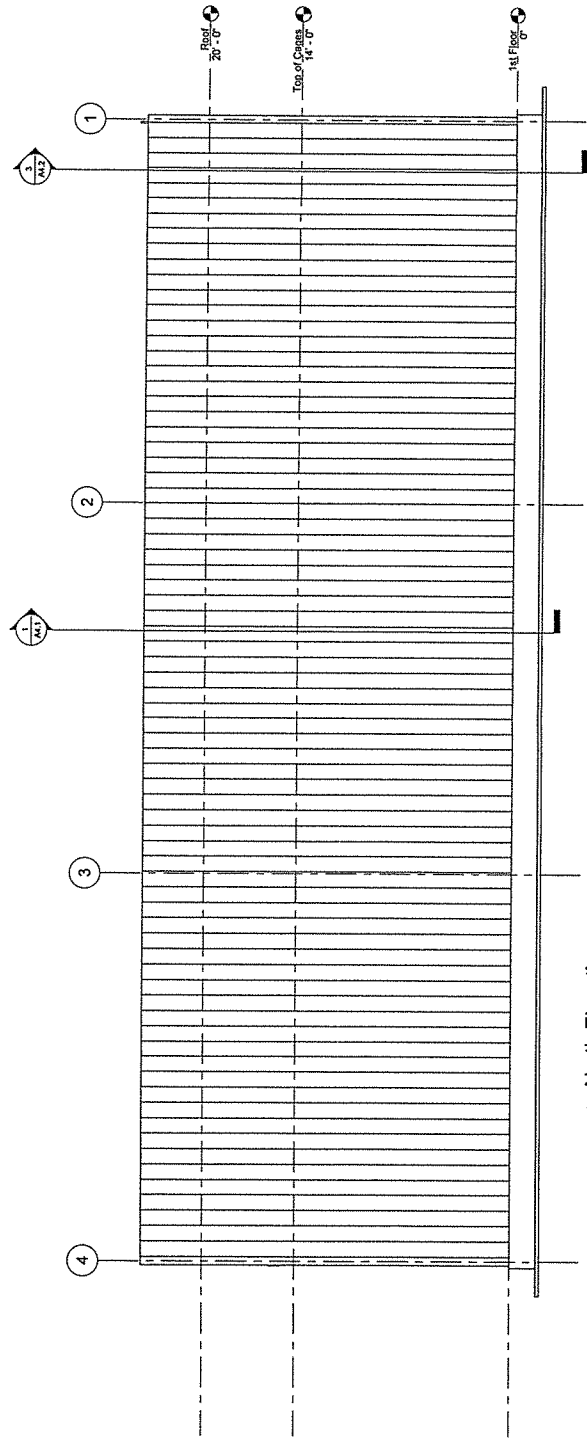
P.O. Box 22008 - Raleigh, NC 27608

Gamers
 Indoor Training Facility
 Lot 64 Block 1
 Review Subdivision
 Raleigh, NC 27608

A3.1



1 South Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FMA Project #:
2019-29
Project Name:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

COPYRIGHT 2019 FAULKENBERRY & ASSOCIATES, INC.

19/02/2019
12:13:13 PM

ARCHITECTS
& ASSOCIATES, INC.
Faulkenberry
P.O. Box 220083 - Anchorage, Alaska 99522-0083 - (907) 225-9183
C03101001



P.O. Box 220083 - Anchorage, Alaska 99522-0083 - (907) 225-9183

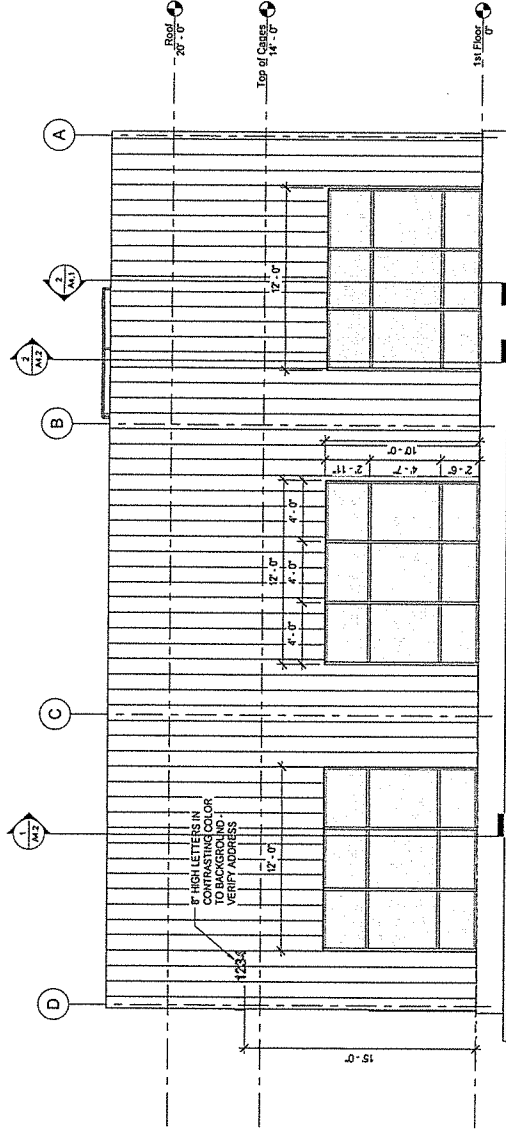
Permit #, if A

Indoor Training
Facility
Lea Block 1
Fairview Subdivision
Anchorage, AK 99508

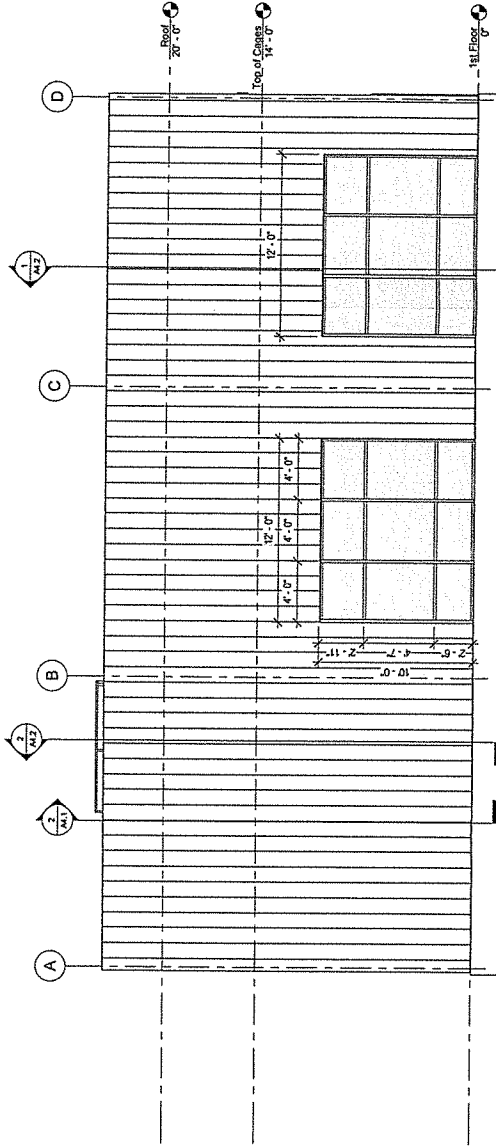
FAULKENBERRY & ASSOCIATES, INC.

A3.2

Drawings at 11x17 are 1/2 scale indicated



1 East Elevation
1/4" = 1'-0"



2 West Elevation
1/4" = 1'-0"

FMA Project #
 19-08
 Project Start Date:
 09-17-19
 Release Date: 10-03-19
 Released for:
 Preliminary Set 3

Copyright 2019 Faulkenberry & Associates, Inc.



FAULKENBERRY
 & ASSOCIATES, INC.
 ARCHITECTS
 Alaska Authorization #729520
 P.O. Box 230053 - Anchorage, Alaska 99523-0053 - (907) 522-9193



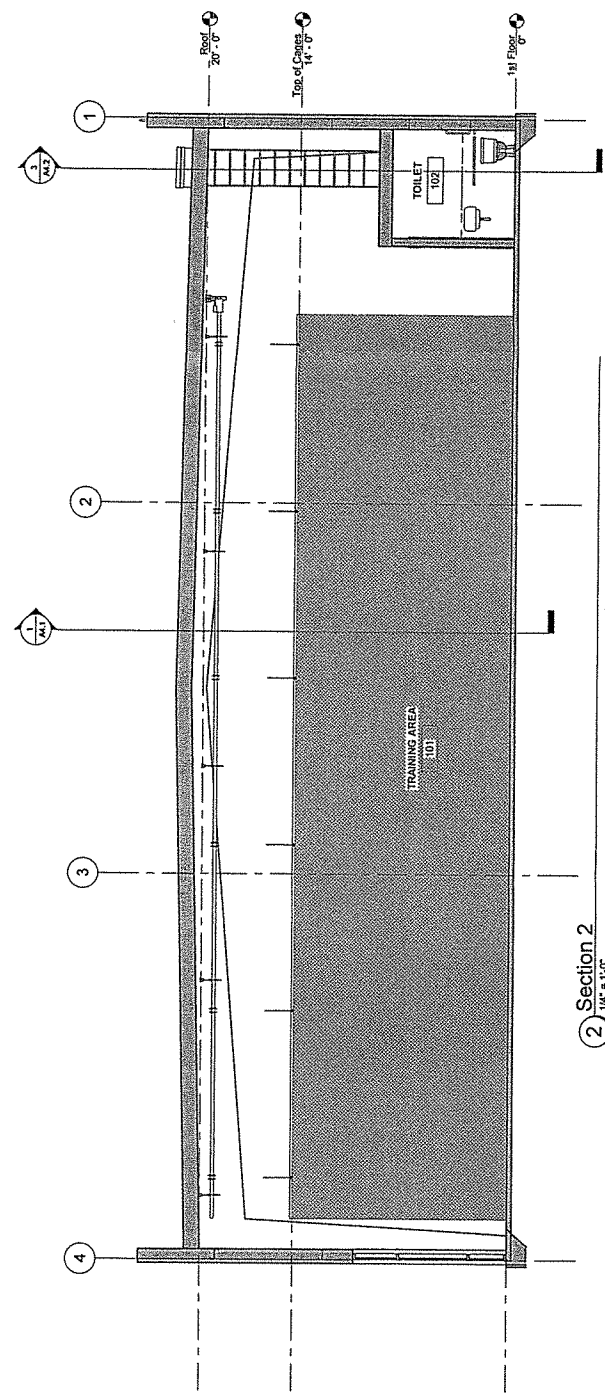
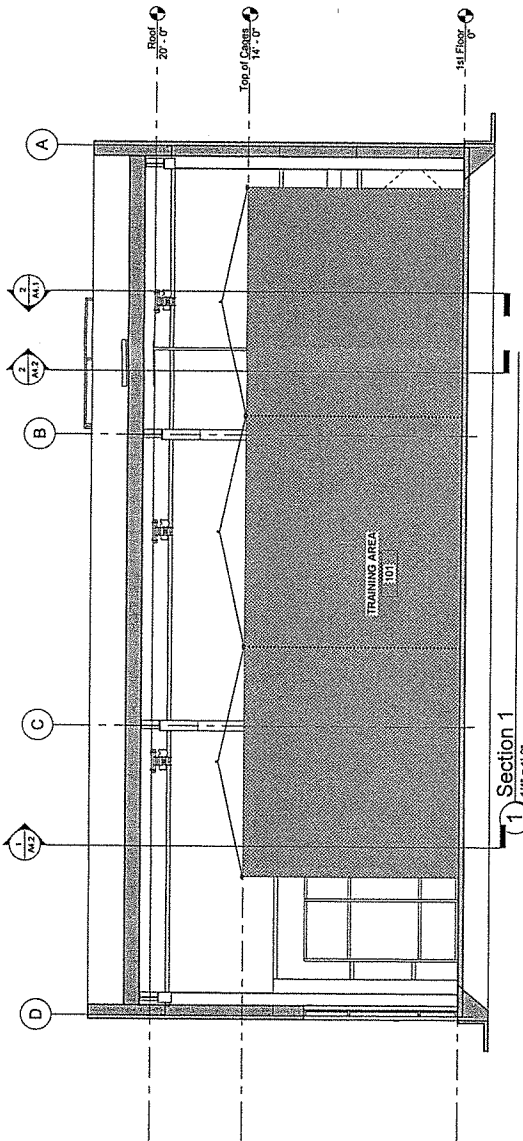
Gameers
 Indoor Training
 Facility
 Lot 6A Block 1
 Fairview Subdivision
 Anchorage, AK 99508

Building Sections

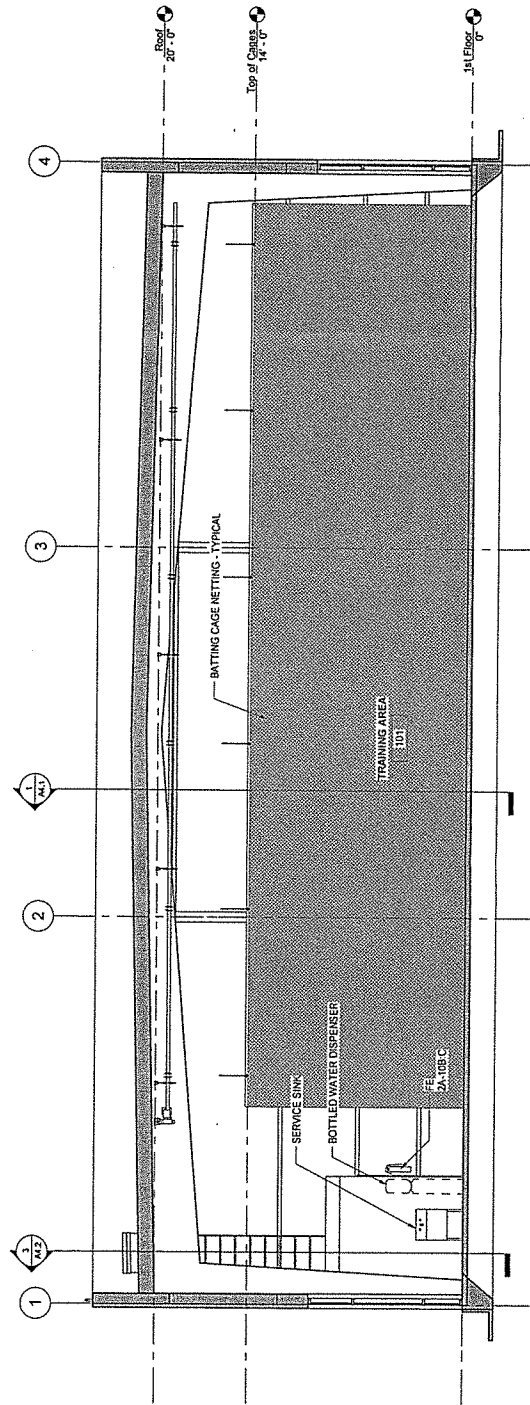
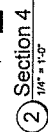
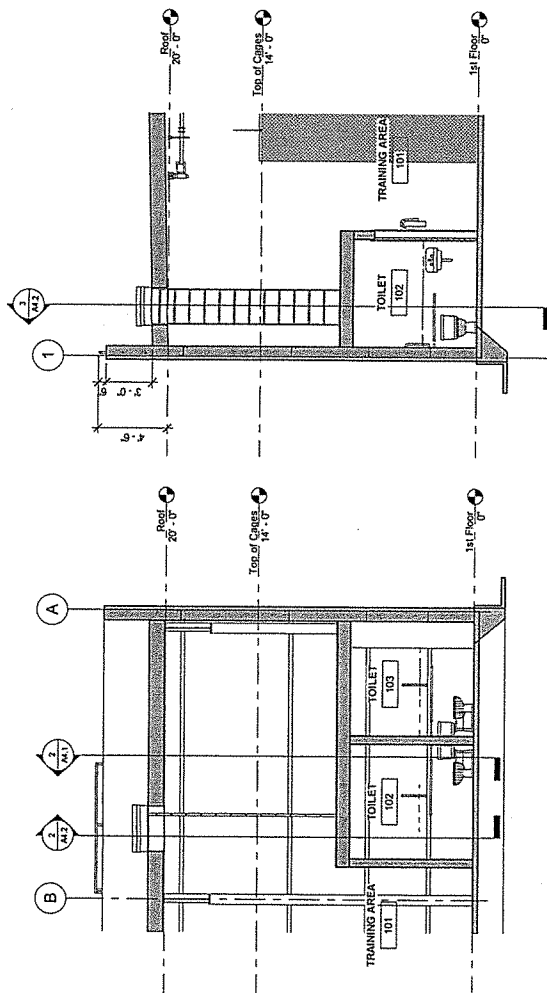
A4.1

Printed on: 10/04/2019 12:13:16 PM

Permit # n/a



DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED





Door Schedule

Room	From	To	Operatio	n / Type	Size	Width	Height	Material	Door	Frame	Glazing	Fire Rating	Sill	Height	Comments	Mark
1st Floor																
101						3'-0"	7'-0"									101
102						3'-0"	6'-0"									102
103						3'-0"	6'-0"									103
104						3'-0"	6'-0"									104

DOOR NOTES:

- SEE CODE STUDY FOR ADDITIONAL DOOR HARDWARE NOTES
- SEE CODE STUDY FOR ADDITIONAL DOOR HARDWARE NOTES
- ALL DOORS SHALL BE ARRANGED TO BE OPENED FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE OR EFFORT
- ALL DOORS SHALL HAVE LEVER-OPERATED MECHANISMS UNLESS OTHERWISE NOTED
- ENTRY DOOR WHICH RECEIVES EXTERIOR PULL AND INTERIOR PUSH SHALL HAVE 3 HINGES PER DOOR
- ALL DOOR HARDWARE SHALL MEET ADA REQUIREMENTS
- ALL DOOR GLAZING TO BE TEMPERED
- ALL EXTERIOR DOORS TO BE INSULATED AND HAVE SWEEP
- SEE PLAN FOR DOOR SWING DIRECTION (LEFT / RIGHT)
- ALL HINGED ALUMINUM STOREFRONT DOORS SHALL HAVE CONTINUOUS GUM RINGS
- STOREFRONT SLIDERS SHOULD PROVIDE ALL DOOR HARDWARE INCLUDING CLOSERS, CYLINDERS, PUSH / PULLS AND ECONOMY EXIT DEVICES
- CONCRETE TO MEET MINIMUM REQUIREMENTS
- DOOR HARDWARE TO BE PROVIDED BY STOREFRONT CONTRACTOR IF REQUIRED

Door Types

1/4" = 1'-0"

TYPE OP
- CASED OPENING
- NO DOOR

TYPE SP
- SINGLE
- POCKET

TYPE DP
- DOUBLE
- POCKET

TYPE DS
- DOUBLE
- BY-PASS SLIDER

TYPE C
- SINGLE
- COOLER/FREEZER
- HARDWARE
- GLAZING MAY NOT BE PRESENT - VERIFY WITH MFG

TYPE SH
- SINGLE
- HINGED

TYPE SH2
- SINGLE
- HINGED
- DOUBLE ACTING

TYPE SH2 II
- DOUBLE
- HINGED
- DOUBLE ACTING

TYPE SHFG
- SINGLE
- HINGED
- FULL GLAZED

TYPE SH2L
- SINGLE
- HINGED
- HALF LITE

TYPE SHVL
- SINGLE
- HINGED
- VISION LITE

TYPE SBD
- SINGLE
- SURFACE MOUNT BARN DOOR
- HARDWARE MAY VARY

TYPE DH
- DOUBLE
- HINGED

TYPE DH2L
- DOUBLE
- HINGED
- HALF LITE

TYPE DHFG
- DOUBLE
- HINGED
- FULL GLAZED

TYPE DHVL
- DOUBLE
- HINGED
- VISION LITE

TYPE P
- PARTIAL DOOR
- 1 SLIDING PANEL
- 1 FIXED PANEL
- FULL GLAZED

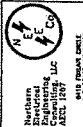
TYPE SF-SS
- SINGLE
- STOREFRONT
- SLIDER

TYPE SF-DH
- DOUBLE
- STOREFRONT
- HINGED

TYPE SF-SH
- SINGLE
- STOREFRONT
- HINGED

TYPE B4
- BIFOLD
- 4-PANEL

TYPE SF-DS
- DOUBLE
- STOREFRONT
- SLIDER



DESIGN	JGC
DRAWN	JGC
APPROVED	JGC
DATE	10/1/2018
REVISIONS	
NO.	DATE
1	10/1/2018

GAMERS
PINE STREET, ANCHORAGE

ELECTRICAL
SITE PLAN

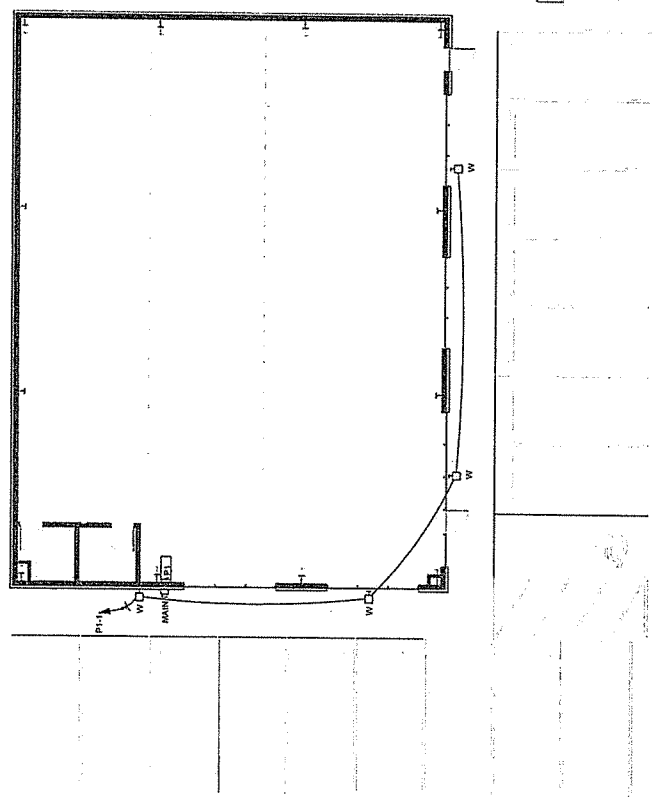
E100

SHEET 1 OF 4

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	MODEL	DESCRIPTION	MOUNTING	LAMP	BALLAST	INPUT VOLTS	TOTAL LUMENS	QUANTITY
A		800-3000-HEF-AFL-VO 800-3000-HEF-AFL-VO 800-3000-HEF-AFL-VO	HIGH BAY	CEILING	(1) LED	ELECTRONIC	240	29377	12
B		LITHONIA ZL1D-L48 LITHONIA ZL1D-L48 LITHONIA ZL1D-L48	LIGHT STRIP	CEILING	(1)	ELECTRONIC	120	0	2
W		LITHONIA ZL1D-L48 LITHONIA ZL1D-L48 LITHONIA ZL1D-L48	WALL PACK	WALL	(1)	ELECTRONIC	120	712	4

CONTRACTOR TO VERIFY FIXTURE COUNT

General Photometric Schedule	
AVERAGE FOOT-CANDLES	2.45
MAXIMUM FOOT-CANDLES	3.88
MINIMUM FOOT-CANDLES	1.17
MINIMUM TO MAXIMUM FC RATIO	0.33
MAXIMUM TO MINIMUM FC RATIO	3.09
AVERAGE TO MINIMUM FC RATIO	2.10



SITE LIGHTING ANALYSIS
ACTIVITY LEVEL: MEDIUM
PARKING LOT: 12
REQUIRED: 0.2
DESIGNED: 0.2
UNIFORMITY: 0.2
2.45
3.88
1.17
0.33
3.09
2.10

THE PARKING AREA LIGHTING MEETS THE LEVEL OF ILLUMINATION, UNIFORMITY RATES AND MINIMUM LUMEN INTENSITIES SPECIFIED IN THE ILLUMINATION GUIDELINES FOR THE DESIGN OF THE PARKING AREA. THE DESIGN OF THE PARKING AREA LIGHTING IS IN ACCORDANCE WITH THE ILLUMINATION GUIDELINES FOR THE DESIGN OF THE PARKING AREA, 8TH EDITION, CURRENT EDITION AND THE MUNICIPALITY OF ANCHORAGE TITLE 21, SECTION 21.05.010. THE DESIGN OF THE PARKING AREA LIGHTING IS IN ACCORDANCE WITH THE ILLUMINATION GUIDELINES FOR THE DESIGN OF THE PARKING AREA, 8TH EDITION, CURRENT EDITION AND THE MUNICIPALITY OF ANCHORAGE TITLE 21, SECTION 21.05.010. THE DESIGN OF THE PARKING AREA LIGHTING IS IN ACCORDANCE WITH THE ILLUMINATION GUIDELINES FOR THE DESIGN OF THE PARKING AREA, 8TH EDITION, CURRENT EDITION AND THE MUNICIPALITY OF ANCHORAGE TITLE 21, SECTION 21.05.010.

JAMES GWYNN, PE

SCOPE OF WORK:
THIS DRAWING IS FOR A SITE VARIANCE FOR A NEW BASEBALL TRAINING BUILDING. POWER WILL COME FROM THE NEW BUILDING. LOAD CALCULATIONS, ONELINE, AND SCHEDULES WILL BE A SEPARATE SUBMITTAL.

1 SITE PLAN

SCALE: 1" = 8' 0"

SCALE: 1" = 8' 0"

SCALE: 1" = 8' 0"



Title 21 Master Table (New Code)

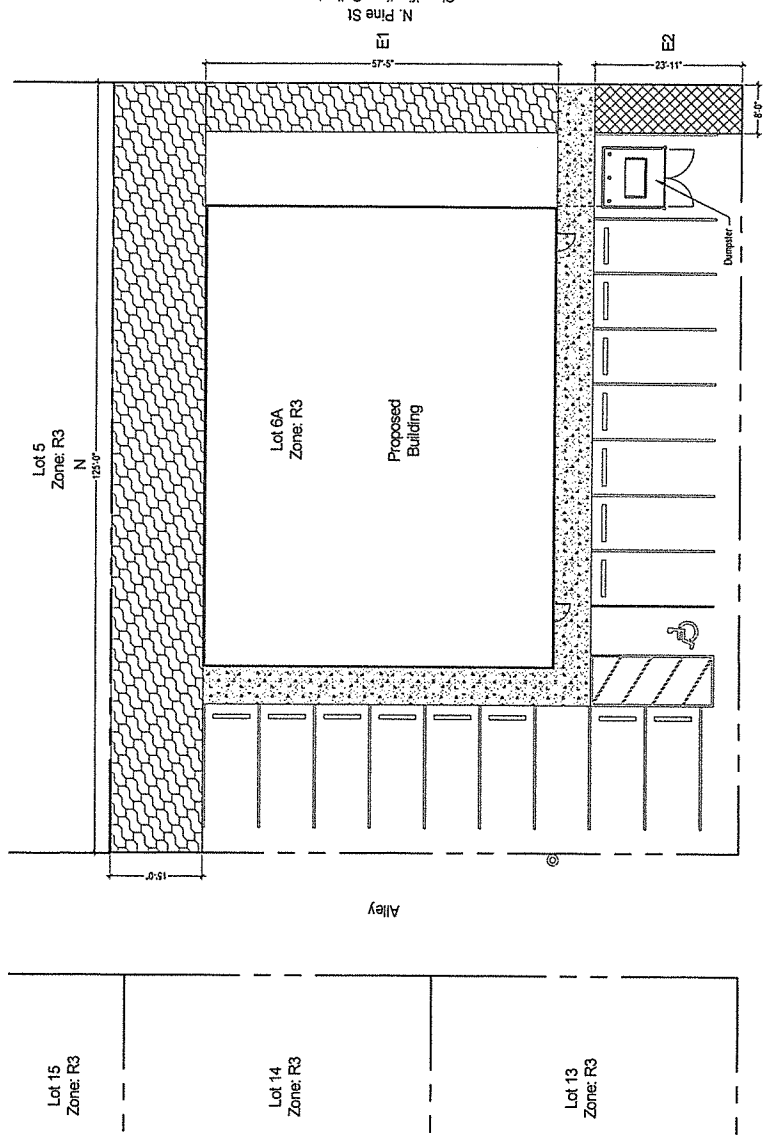
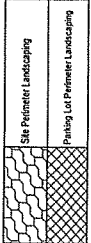
Site Perimeter Landscaping	Required. See table this sheet.
Parking Lot Landscaping: Perimeter	Required. See table this sheet.
Parking Lot Landscaping: Interior	Not required. Fewer than 40 vehicular parking spaces.
Bicycle Parking Spaces	Not required. Fewer than 40 vehicular parking spaces.
Open Space Requirements	Not required. Non-residential building with less than 5,000 SF of gross floor area.
Site Distance Triangle	None. No street access.
Dumpster Screening	Provided with dumpster enclosure.
Landscape Warranty	See below.

Perimeter Landscaping Requirements

CODE BASIS	Landscaping Type	Size Per	N	E1	E2
	Landscaping Level	L3	125'-0"	31'-5"	23'-11"
	Length of Perimeter (L.F.)				
CODE REQUIREMENTS	Required Trees	14	3	3	2
	Required Shrubs	42	18	12	12
LANDSCAPE PROVIDED	Total Trees Provided	14	3	3	2
	Total Shrubs Provided	42	18	12	12
CODE COMPARISON	Trees Above Code	0	0	0	0
	Shrubs Above Code	0	0	0	0

Code Tables
2
SCALE: 1/8" = 1'-0"

Code Legend



Title 21 Code Analysis
SCALE: 1/8" = 1'-0"



Classification: Collector
N. Pine St

Alley

Alley



Planting Schedule

Deciduous Trees - See Detail: **(L51)** Deciduous Tree Planting - Staked
 (L51) Means: Plantation

Qty	Symbol	Label	Latin Name	Common Name	Size	Furnisher	Notes
6		BPG	Betula papyrifera 'Gracilis'	Cutleaf Weeping Birch	2" CAL	B&B	Single stem
6		PT	Populus tremuloides	Quaking Aspen	2" CAL	B&B	Single stem

Evergreen Trees - See Detail: **(L52)** Evergreen Tree Planting - Staked
 (L52) Means: Plantation

Qty	Symbol	Label	Latin Name	Common Name	Size	Furnisher	Notes
7		PC	Pinus contorta	Swiss Stone Pine	6" HT	B&B	

Shrubs - See Detail: **(L53)** Shrub Planting
 (L53) Means: Plantation

Qty	Symbol	Label	Latin Name	Common Name	Size	Furnisher	Notes
21		CL	Cornus alternifolia	Hedge Cornus	#2(18" MIN)	CG	
10		PA	Picea canadensis 'Nidiformis'	Bird's Nest Spruce	18" Spread	CG	
15		RSA	Rosa rugosa	Rugosa Rose	#2(18" MIN)	CG	
20		SB	Spiraea japonica 'Goldflame'	Goldflame Spirea	#2(18" MIN)	CG	

Miscellaneous

	Type A Seed Mix		Gravel
	Drip Slope		Drip Slope
	Drip Slope		Drip Slope

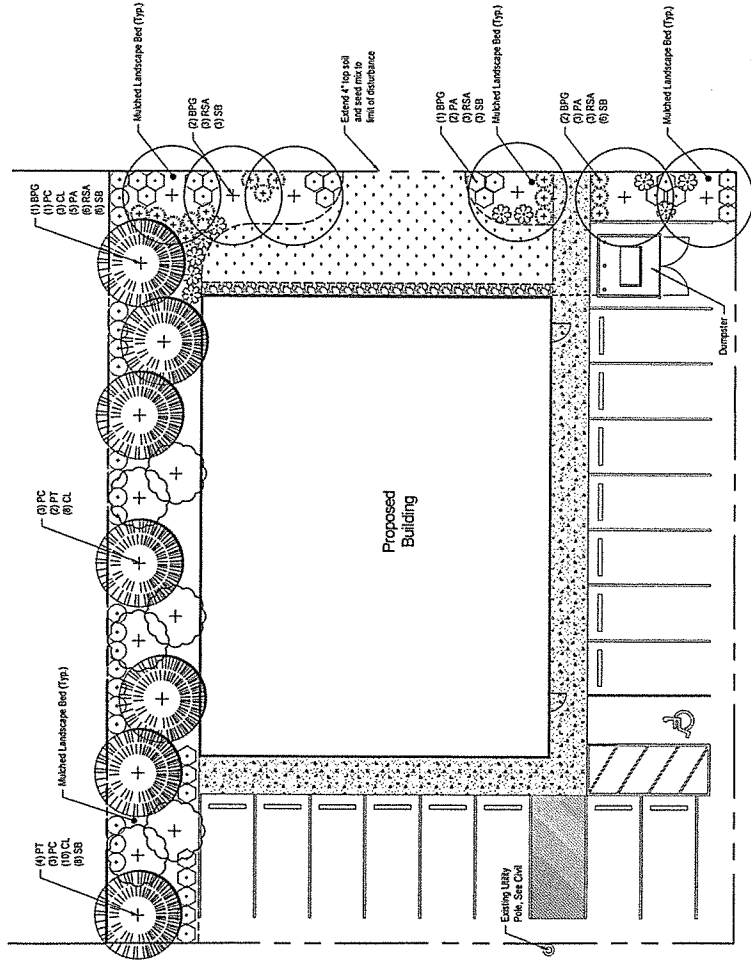
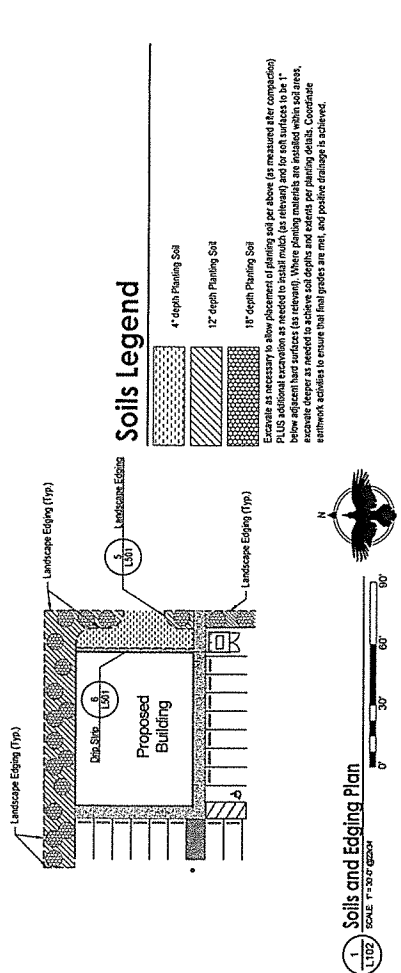
- General Notes:**
1. Contained project to meet Municipality of Anchorage Standard Specifications (MASS). For more information see 7A.501.
 2. All plantings shall be installed in accordance with the City of Anchorage Department of Public Works and Engineering (DPEW) standards.
 3. Where planting materials are installed within a planting hole, the hole shall be excavated to the depth and width of the planting material, plus additional excavation as needed to install the material (as indicated) and for soil surfaces to be 1" below adjacent final surface (as indicated). Coordinate with utility companies to ensure that final grades are met, and positive drainage is achieved.
 4. Apply 4" depth planting soil and seed to all disturbed areas not indicated on plans.
 5. All plantings shall be installed in accordance with the City of Anchorage Department of Public Works and Engineering (DPEW) standards.
 6. Landscape contractor shall coordinate with the general or prime contractor for installation of all disturbed areas (disturbed soils) in accordance with Local, State, and Federal requirements for storm water pollution prevention plans.

Soils Legend

	4" depth Planting Soil
	12" depth Planting Soil
	18" depth Planting Soil

Excavate to existing grade and install planting soil as shown (as measured after compaction) PLUS additional excavation as needed to install much (as indicated) and for soil surfaces to be 1" below adjacent final surface (as indicated). Where planting materials are installed within soil areas, excavate deeper as needed to achieve soil depths and extents per planting details. Coordinate with utility companies to ensure that final grades are met, and positive drainage is achieved.

1
L102
SCALE 1" = 30' 0"



2
L102
SCALE 1" = 30' 0"



MASS Notes:

1. Confirmed project to meet Municipality of Anchorage Standard Specifications (MASS).
2. Any reference to "planting lot" is equivalent to "topsoil" as defined in MASS.
3. Landscape Architect will provide role of Engineer for Landscape Efficacy.
4. Materials:
 - a. All materials shall be new unless otherwise noted.
 - b. Comparable products by other manufacturers may be considered provided supporting data from the manufacturer is submitted to the engineer.
 - c. Comparable products must be architecturally and functionally similar in size, type, and grading of materials, dimensions, finishes, and textures.
5. Preparation:
 - a. Prepare the area to depth and size specified and meet with the engineer for inspection of subgrade and planting bed area. Do not compact planting soil during installation. All plant materials and installation must comply with section 4.4.1.
 - b. Subgrade and planting bed area shall be prepared and installed as described herein. Prepare the area to depth and size specified and meet with the engineer for inspection of subgrade and planting bed area. Do not compact planting soil during installation. All plant materials and installation must comply with section 4.4.1.
 - c. The planting lot must be tested by the contractor and inspected by the engineer in accordance with the following requirements, as tested using the procedures included in ASTM D1527, ASTM D2027, and AASHTO T207.
6. Landscaping:
 - a. Landscaping edging: Aluminum CURVITE 3000 series, 3/16" x 1/2", with mill finish. Fasten all corners with 3000 series corner modules.
 - b. All stakes must be twelve inch (12") aluminum stakes with mill finish. Connect: Fasten with CURVITE 3000 series corner module.
 - c. Do not bore or create edging at corners or at changes of direction.
7. Inspection:
 - a. Inspection schedule is provided below. Notify landscape architect at least (5) business days prior to delivery of plant material.
 - b. Submit inspection schedule to the engineer for review.
 - c. Submit inspection schedule is provided below. Follow dates in table.

MASS Notes

SCALE: NTS 0200/24

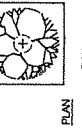
Submittals Checklist		
Submittal Type	Submittal Number	Submittal Approval Date
Plant Material		
Shrub Planting		
Tree Planting		
Landscaping Edging		
Landscaping Fabric		
Mixed Shrub and Tree		

Inspection Checklist		
Inspection Type	Inspection Date	Inspection Approval
Plant Material Inspection (prior to installation)		
Subgrade Inspection (upon completion of all subgrade work)		
Planting Inspection (upon completion of all planting work)		
Final Planting Inspection (upon completion of all planting work)		
Final Planting Inspection (upon completion of all planting work)		
Final Planting Inspection (upon completion of all planting work)		

Construction Checklist

SCALE: NTS 0200/24

ENLARGEMENT - NTS



PLAN

7'0" between planting pits

ELEVATION

2' 10" between planting pits

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Moose Protection

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Landscaping Edging

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Shrub Planting

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

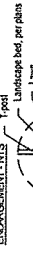
For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

ENLARGEMENT - NTS



PLAN

7'0" between planting pits

ELEVATION

2' 10" between planting pits

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Moose Protection

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Landscaping Edging

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Shrub Planting

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

ENLARGEMENT - NTS



PLAN

7'0" between planting pits

ELEVATION

2' 10" between planting pits

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Moose Protection

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Landscaping Edging

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

Set post in grade, see enlargement

Notes:

1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.

Shrub Planting

SCALE: NTS 0200/24

1'0" length steel 1/2" x 1/2" x 1/2" (color: green)

1/2" x 1/2" x 1/2" (color: green)

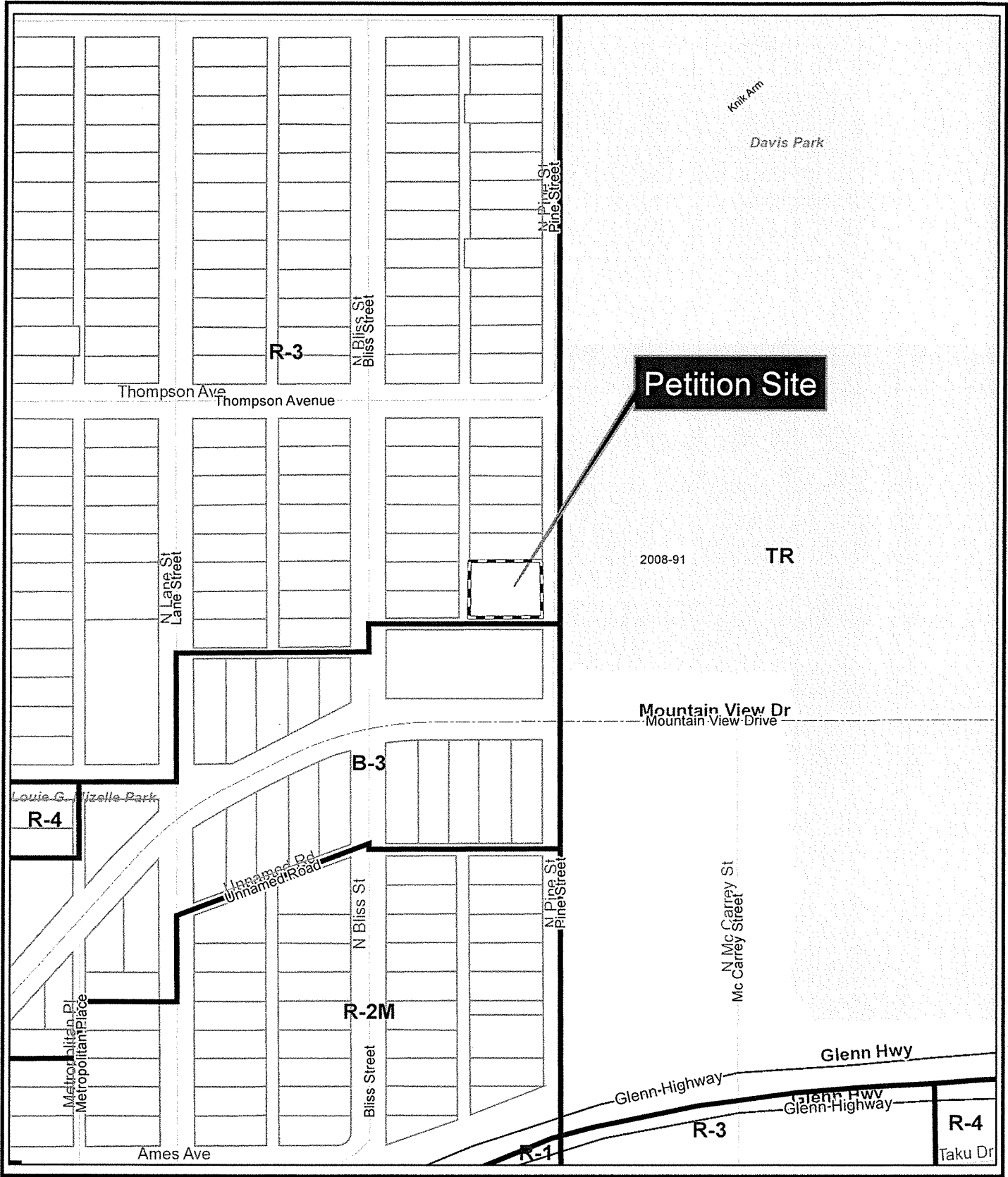
Four posts required per tree

For tree groupings, place poles as necessary so that setting does not touch branches

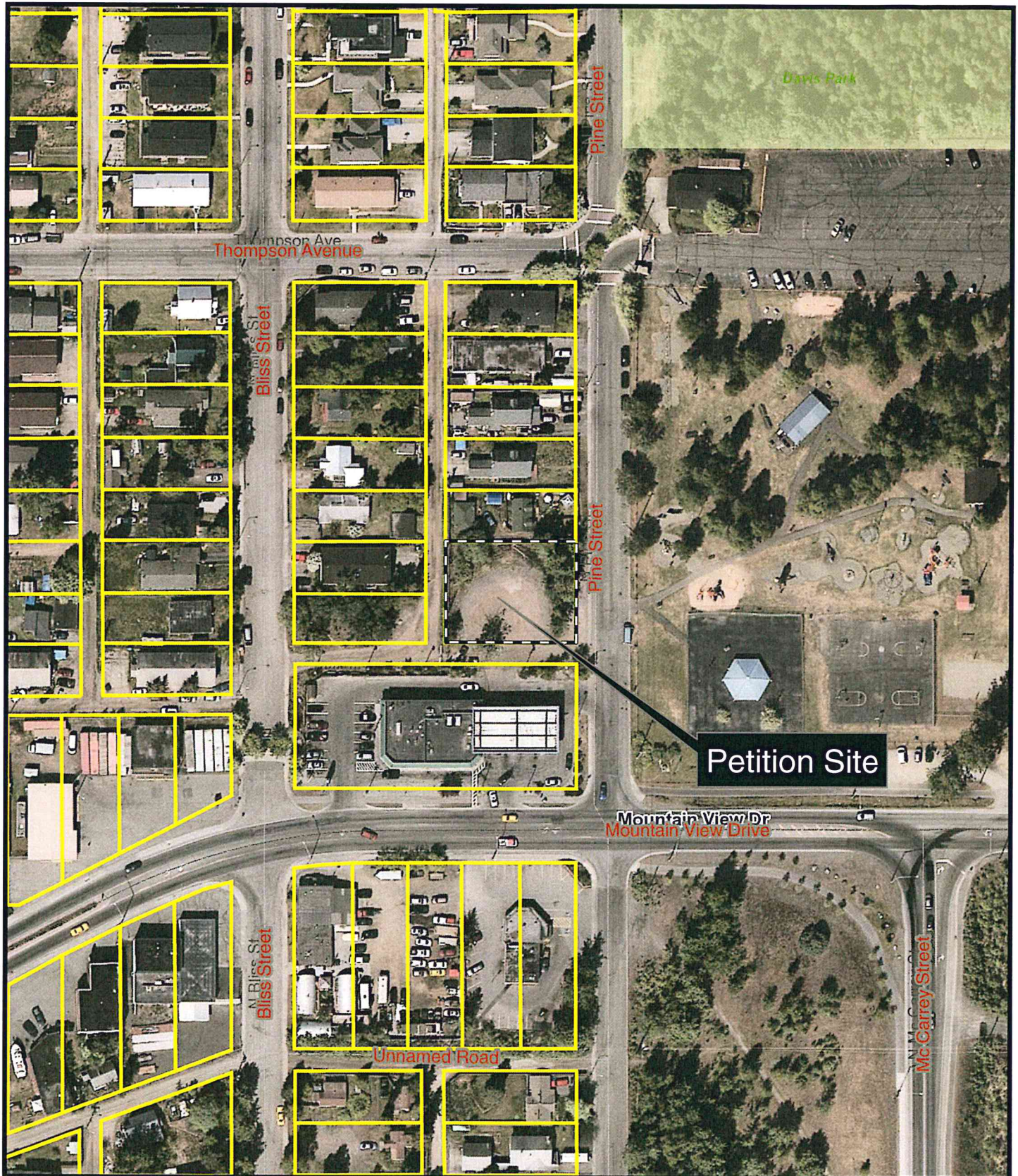
Set post in grade, see enlargement

Notes:

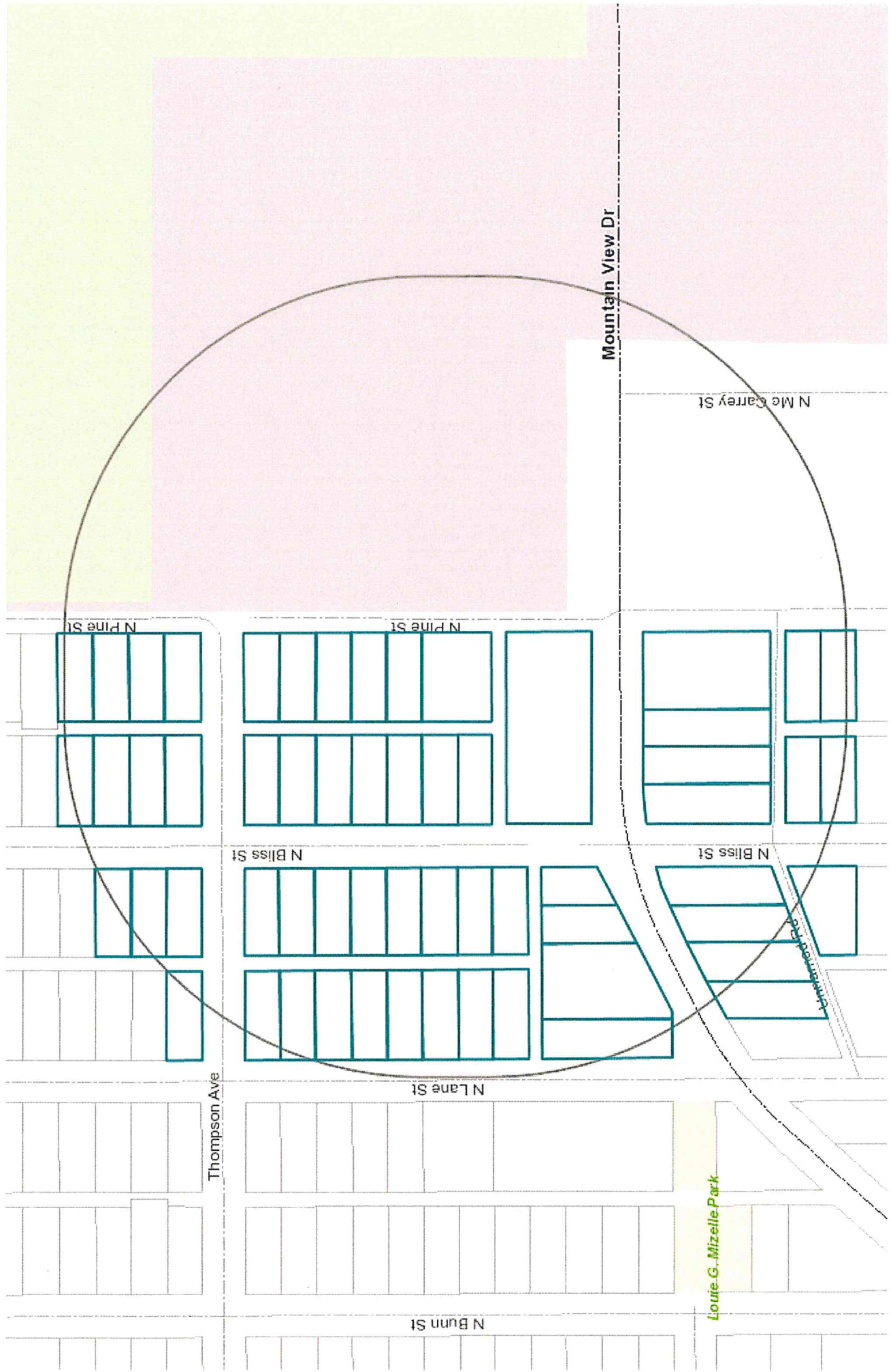
1. Moose protection fencing required around all new trees.
2. Four posts required per tree.
3. For tree groupings, place poles as necessary so that setting does not touch branches.



2019-0162



Anchorage



2019-0162 PHN map
Distance = 500' (59 parcels)