

**PLANNING DEPARTMENT
STAFF ANALYSIS
CONDITIONAL USE**

DATE: March 2, 2020
CASE NUMBER: 2020-0012
APPLICANT: Girdwood Brewing Company
REQUEST: Amendment to a conditional use for general manufacturing
LOCATION: Alpine View Estates Subdivision, Phase 3, Tract B-2C per Plat 2014-38
SITE ADDRESS: 2700 Alyeska Highway
COMMUNITY COUNCIL: Girdwood Board of Supervisors
TAX NUMBER: 075-163-44
SITE: ±46,385 SF
CURRENT LAND USE: Brewery and Apartment
UTILITIES: Private well water and public sanitary sewer
TOPO: Slopes downhill to the southwest
VEGETATION: Birch, spruce, and undergrowth
COMPREHENSIVE PLAN
Classification: "Commercial" in the 1995 *Girdwood Area Plan* Land Use Plan Map

SURROUNDING AREA

	NORTH	EAST	SOUTH	WEST
Zoning:	gR-2	gC-10	gC-10	gC-10
Land Use:	Single-Family Residential	Church	Undeveloped	Undeveloped

REQUEST

The Girdwood Brewery Company is requesting an amendment to the existing conditional use approval to expand the brewery inside the building. The site plan shows new parking spaces, a different location for the on-site pedestrian pathway, and other minor changes to the site plan. The expansion of the tap room (bar) and outdoor beer garden will be reviewed by the Assembly with an amendment to the alcohol

special land use permit. To date, previously approved on-site improvements are still in progress. This conditional use amendment should have a condition of approval requiring improvements to be completed by a date certain.

AGENCY COMMENTS

The reviewing agencies provided comments which are attached.

The Traffic Department recommends several conditions of approval related to parking lot design details such as signage, curbing around parking lot islands, and the design of accessible parking spaces and accessible routes. The Traffic Department and Planning Department have agreed with the applicant to allow four employee parking spaces with reduced dimensions. This agreement must be formalized with the final site plan and recorded with approval of this conditional use amendment.

The Watershed Management Services Division expressed concern that the revised parking lot layout may encroach further into Class C wetlands. The Planning Department reviewed the wetlands permit and determined that the new parking lot layout is consistent with the approved wetlands permit, Opinion of Compliance Anchorage General Permit 93-10-M4/11-M4/12-M4.

The Watershed Management Services Division also requests an updated stormwater pollution prevention plan (SWPPP). Land Use Permit C20-1041 carries the requirement for approval of the SWPPP from the Watershed Management Services Division. Thus, it is unnecessary for it to be a condition of approval of this conditional use case.

PUBLIC COMMENTS

One-hundred and nineteen public hearing notices were mailed on January 10, 2020. No responses were received from the public. No comments were received from the Girdwood Board of Supervisors.

FINDINGS

AMC 21.03.080D. Conditional Uses - Approval Criteria. The planning and zoning commission may approve a conditional use application if, in the judgment of the commission, all of the following criteria have been met in all material matters:

- 1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;**

The standard is met.

The petition site is located in an area identified as “Commercial” in the 1995 *Girdwood Area Plan*. This classification is for areas “substantially developed for

commercial purposes and that are expected to remain so for the duration of the Plan, and for vacant areas best suited to commercial development.”

The site is developed with a mixed-use building containing a brewery, tap room, residential apartment, and vacant commercial space. The site conforms the “Commercial” land use designation in *Girdwood Area Plan*. The brewery plans to expand into a portion of the vacant commercial space.

2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;

The standard is met.

The intent of the gC-10 district is, “is to permit development of a limited range of non-retail commercial uses along with residential uses in a manner compatible with the surrounding residential land use.”

The original conditional use approval (PZC Resolution 2016-025) determined that all of the gC-10 dimensional standards are met. This amendment is required because of the expansion of the general manufacturing (brewery) use within the existing building.

3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;

The standard is met.

An analysis of compliance with AMC 21.09.070 *Site development and design standards* is below.

4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;

The standard is met.

The brewery is proposing to expand into vacant commercial space within the building. Since the expansion is internal to the building, there will be no new impacts that need to be addressed. The site continues to comply with site design requirements for the brewery. The site abuts the Alyeska Highway to the north, the Girdwood Chapel to the east, and vacant land to the south and west. There is plenty of distance and landscaping between the petition site and the Girdwood Chapel to mitigate any negative impacts from the indoor brewery.

5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of

surrounding properties for the permitted uses listed in the underlying zoning district;

The standard is met.

Beverage manufacturing is classified as “general manufacturing” which requires a conditional use permit in the gC-10 district.

The brewery and the associated tasting room were previously approved to occupy south half of the building, while two commercial spaces and an apartment were shown on the north half of the building. But these spaces on the north half of the building will be completely replaced with the brewery and tasting room as a result of this expansion. The second floor apartment will remain as previously approved. The changes to the tasting room and the outdoor beer garden require a separate approval by the Assembly of an alcohol special land use permit, in accordance with AMC 21.03.040.

- 6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);**

The standard is met.

The petition site is surrounded by gC-10 zoning on three sides. The Alyeska Highway runs along the north property boundary. The tract of land located west and south of this site is vacant. The only developed property abutting the site is the church to the east. The petition site generates more traffic during weekdays than the church, but the site remains compatible with the church.

- 7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;**

The standard is met.

No significant adverse impacts are anticipated to result from the proposed expansion of the brewery within the building. The brewery will continue to be completely enclosed within the building.

- 8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and**

The standard is met.

The existing driveway is not changing. The site plan shows new bicycle parking spaces on the east side of the building and the site is served by the Glacier Valley Transit bus route.

9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

The standard is met.

The Girdwood Volunteer Fire Department is located nearby. Girdwood is covered by police service from the Whittier Police Department. Public utilities and a private well are already installed.

AMC 21.09.070 Site development and design standards.

C. Hazard areas

The standard is met.

The property is not located in an avalanche zone.

D. Grading and drainage

The standard is met.

A new drainage analysis will be required with the land use permit.

E. Landscaping, vegetation and tree retention

The standard is met.

The site plan surpasses the minimum required amount of natural vegetation and total permeable surface.

The parking lot landscape islands should be protected by a Type I barrier curb. This should be a condition of approval.

F. Transportation and connectivity

The standard is met.

There are no changes proposed for the driveway.

G. Lighting

The standard is met.

Compliance with the exterior parking lot lighting requirements will be handled by

the Building Safety Division and the Traffic Department at the time of land use permitting. The parking area is adequately lit with parking lot light poles and building mounted lights.

H. Pedestrian circulations

The standard is met.

The site plan continues to show a pedestrian pathway from the Alyeska Highway to the residential apartment, the tap room, and the parking area. The Traffic Department request a condition of approval requiring the pathway to be 5 feet wide, unobstructed, from the primary entrance of the tap room to the ADA parking spaces. This should be a condition of approval.

I. Fences and walls

The standard is met.

There is a fence proposed along the east lot boundary, in accordance with the approved wetland permit.

J. Utilities and utility equipment standards

The standard is met.

No changes are proposed to existing utilities.

K. Snow management

The standard is met.

The site exceeds the 20% snow storage area requirement, as shown on Sheet A0.1.

L. Off-street parking standards

The standard is met.

The parking requirement is met with 41 spaces, of which two spaces are ADA accessible. The Traffic Department requests a condition of approval requiring the ADA spaces to be perpendicular. This should be a condition of approval.

Four of the parking spaces have been approved by the Municipal Traffic Engineer for employees only. The driveway and parking lot are required to be paved, in accordance with AMC 21.09.070L.8.

No off-street loading facilities are required.

M. Signage

The standard is met.

Signage will be reviewed at the time of land use permitting.

N. Driveway standards

The standard is met.

The site plan shows a 24-foot wide driveway, as required by this standard.

O. Trash management in the multi-family, commercial, industrial, and resort districts

The standard is met.

The site plan shows one dumpster with a 5-foot tall cedar fence enclosure on three sides. All refuse storage is required to be bear proof and screened with a three-sided structure.

DEPARTMENT RECOMMENDATION

The Department recommends APPROVAL of the amendment to an existing conditional use for general manufacturing in the gC-10 district, subject to the following conditions:

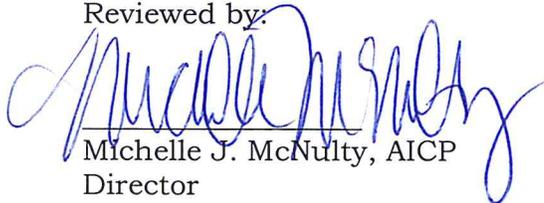
1. This approval is subject to the petitioner's application, narrative, and the following plans on file at the Planning Division, except as modified by these conditions of approval:

GBC Conditional Use Permitting; Sheets: A0.1 Site and Landscaping Plan and A0.2 Parking Area Plan; dated January 7, 2020; drawn by Connor Scher, Z Architects, LLC.

Girdwood Brewing Company, LLC, Sheets: A-2 Facility Expansion and A-2 Interior Elevation; dated July 10, 2019, drawn by Carel Nagata, Stantec Architecture, Inc.
2. A notice of zoning action and a final approved site plan shall be filed with the State Recorder's Office. Proof of such shall be submitted to the Planning Division.
3. This approval shall be revoked if a certificate of completion for all site improvements is not issued by October 30, 2021.
4. Obtain Traffic Engineering Department approval of the following:

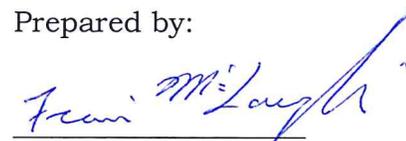
- a. Provide a 5-foot wide pedestrian pathway from the accessible parking spaces to the primary entrance, per AMC 21.07.060E.4.c., *On-Site Pedestrian Walkways – Walkway Clear Width*.
- b. Revise the angle of accessible spaces to provide two perpendicular spaces and an accessible aisle with proper signage and striping.
- c. Coordinate the traffic control signage with the Traffic Engineering Department.
- d. Provide diagonal striping in the separation area from the existing light pole on the west side of angle parking or relocate the light to the end island.
- e. Provide a stamped civil plan sheet showing design details by a registered professional engineer for the parking, driveway, and trail.
- f. Provide curbed end islands as required by AMC 21.07.090H.8.b., *Vehicular Access and Circulation – Circulation Patterns*, or an alternative plan for the rock areas.
- g. Provide approval from the Municipal Traffic Engineer and Planning Director for the employee parking locations. Reduced dimensions for employee parking is a parking reduction, which requires a recorded parking reduction agreement after the site plan is approved, per AMC 21.07.090F., *Parking Reductions and Alternatives*.

Reviewed by:



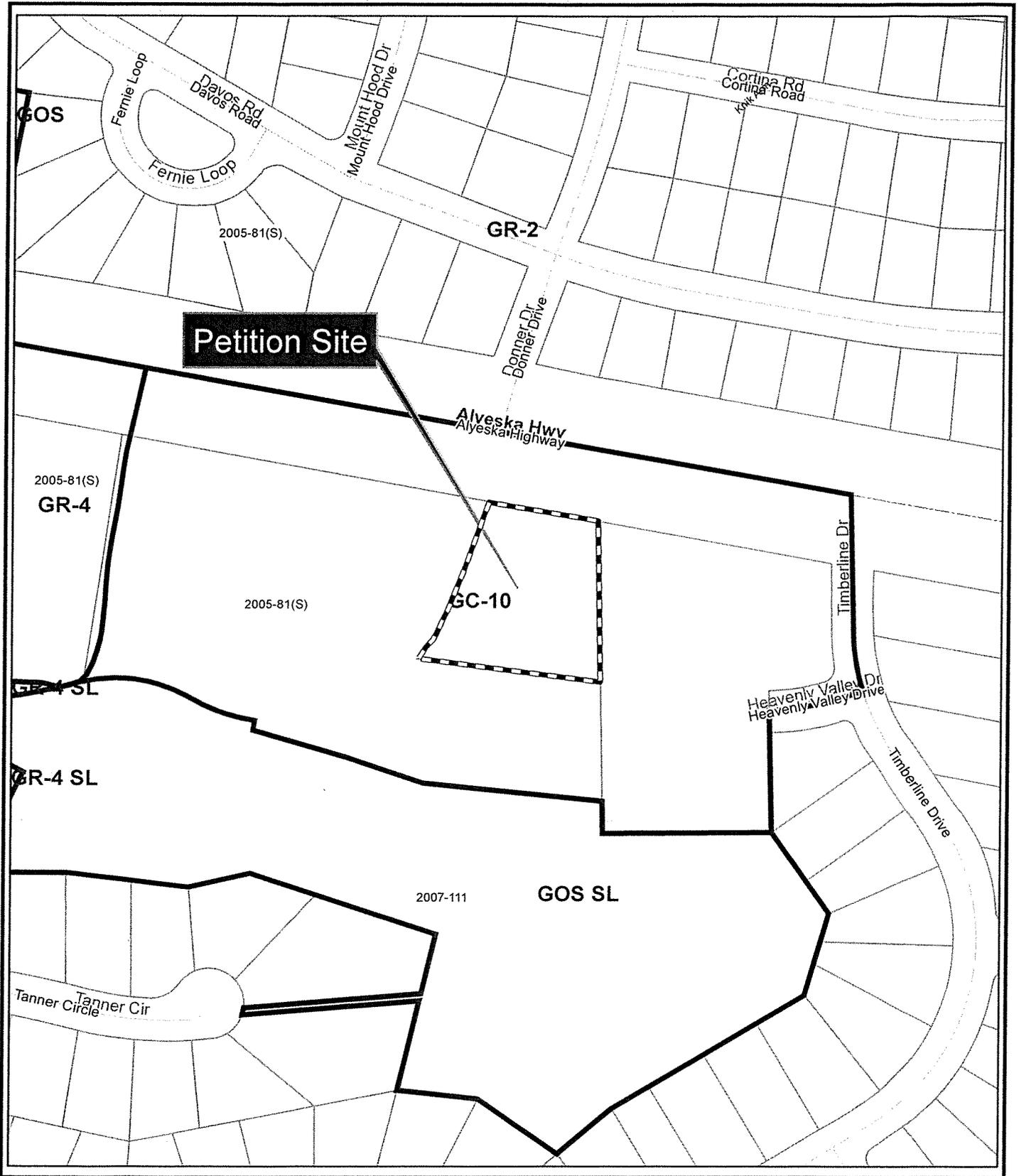
Michelle J. McNulty, AICP
Director

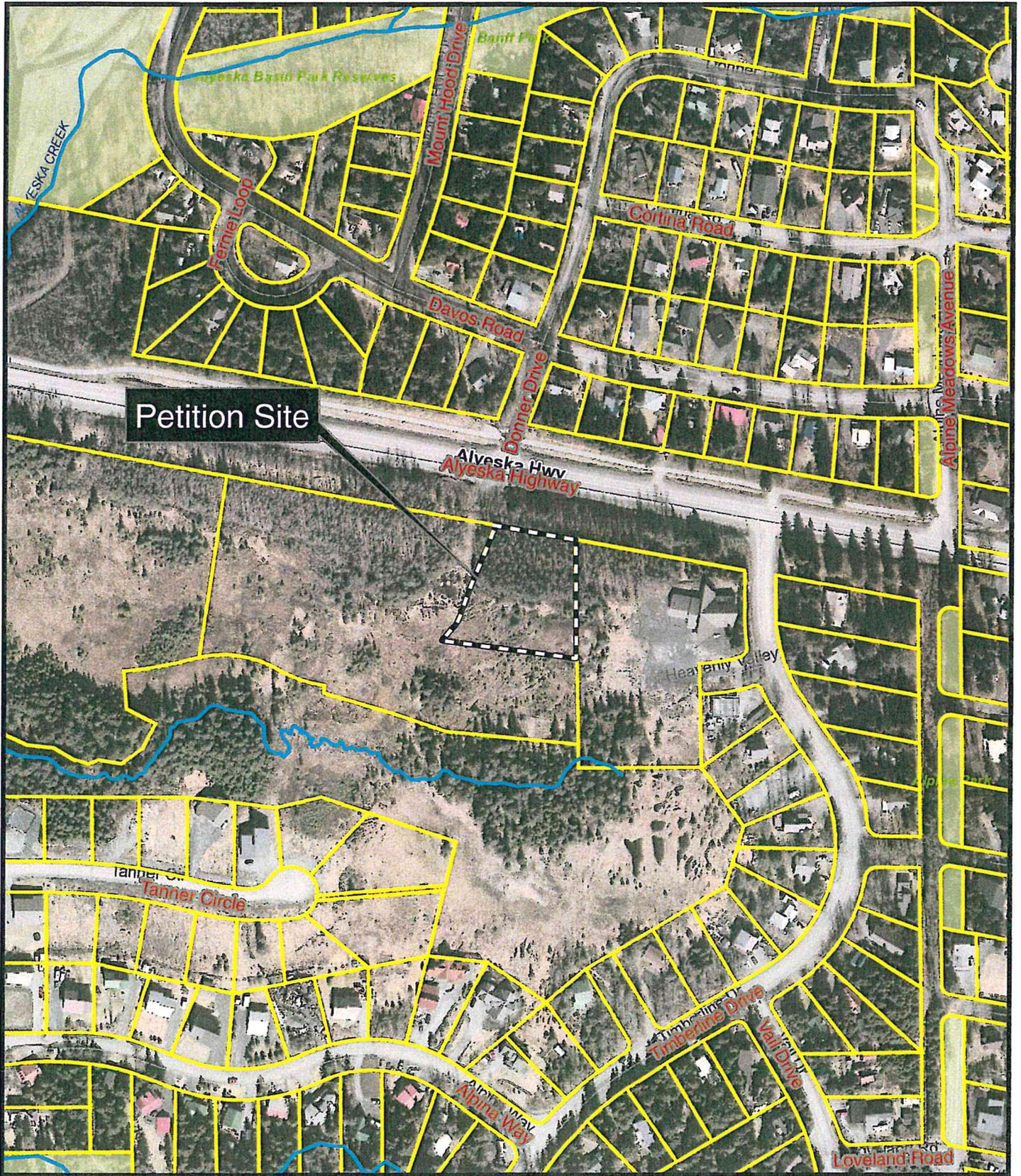
Prepared by:



Francis McLaughlin
Senior Planner

(Case 2020-0012; Parcel ID No. 075-163-44)





Application

Application for Conditional Use

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650

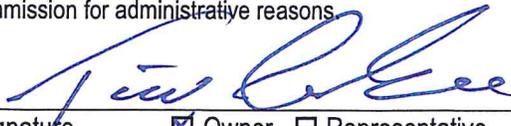
PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) GIRDWOOD BREWING COMPANY		Name (last name first)	
Mailing Address PO BOX 58		Mailing Address	
GIRDWOOD, AK 99587			
Contact Phone - Day (907) 830.6982	Evening	Contact Phone - Day	Evening
Fax		Fax	
E-mail INFO @ GIRDWOOD BREWING.COM		E-mail	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000):	075-163-44-000	
Site Street Address:	2700 ALYESKA HIGHWAY	
Current legal description: (use additional sheet if necessary) ALPINE VIEW ESTATES PH3 TR B-2C		
Zoning: gC-10	Acreage: 1.065 (46,385 SF)	Grid #: SE 4815

CONDITIONAL USE APPROVAL REQUESTED	
Use:	CONDITIONAL USE OF COMMERCIAL PROPERTY (gC-10) FOR INDUSTRIAL USE (GENERAL MANUFACTURING)
<input type="checkbox"/> New conditional use	<input checked="" type="checkbox"/> Amendment to approved conditional use Original Case #: 2016-0053

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a conditional use permit in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Planning and Zoning Commission for administrative reasons.


11-18-19
 Signature Owner Representative Date
(Representatives must provide written proof of authorization)

Print Name: Tim Cabang

Accepted by: <u>FM</u>	Poster & Affidavit: <u>1 + affidavit</u>	Fee: <u>\$4,720</u>	Case Number: <u>2020-0012</u>	Requested Meeting Date: <u>3-2-20</u>
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COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: Urban Rural

Anchorage 2020 Major Elements – site is within or abuts:
 Major employment center Redevelopment/mixed use area Town center
 Neighborhood commercial center Industrial reserve
 Transit - supportive development corridor District/area plan area: _____

Chugiak-Eagle River Land Use Classification:
 Commercial Industrial Parks/open space Public lands/institutions Town center
 Transportation/community facility Alpine/slope affected Special study area Development reserve
 Residential at _____ dwelling units per acre Environmentally sensitive area

Girdwood- Turnagain Arm Land Use Classification
 Commercial Industrial Parks/open space Public lands/institutions Resort
 Transportation/community facility Alpine/slope affected Special study area Reserve
 Residential at _____ dwelling units per acre Mixed use Rural homestead

ENVIRONMENTAL INFORMATION (All or portion of site affected)

Wetland Classification: None "C" "B" "A"
Avalanche Zone: None Blue Zone Red Zone
Floodplain: None 100 year 500 year
Seismic Zone (Harding/Lawson): "1" "2" "3" "4" "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

Rezoning - Case Number:
 Preliminary Plat Final Plat - Case Number(s):
 Conditional Use - Case Number(s): 2016-0053
 Zoning variance - Case Number(s):
 Land Use Enforcement Action for
 Building or Land Use Permit for C16-1041
 Wetland permit: Army Corp of Engineers Municipality of Anchorage POA-2016-240 ; GLACIER CREEK 16-B

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

1 copy required: Signed application (original) Ownership and beneficial interest form
 Watershed sign off form Underlying plat
 Special limitations from the underlying zoning, if applicable

35 copies required: Signed application (copies)
 Map of area surrounding petition site within 500 feet, including zoning and existing uses
 Map of existing conditions, to scale, including:
 land uses structures utilities vegetation soils
 natural features drainage topography site access pedestrian facilities
 vehicle circulation and driveways easements and/or reservations
 Project narrative explaining:
 the project planning objectives facility operations
 an analysis of how the proposal meets the standards on page 3 of this application
 construction and operation schedule final ownership
 gross and net density (PUDs only)
 Site plan(s) to scale depicting, with dimensions:
 building footprints parking areas vehicle circulation and driveways
 pedestrian facilities lighting grading landscaping
 loading facilities fences drainage required open space
 snow storage area or alternative strategy trash receptacle location and screening detail
 easements significant natural features freestanding sign location(s)
 Building plans to scale depicting, with dimensions:
 floor plans building elevations exterior colors and textures
 Summary of community meeting(s)

(Additional information may be required.)

GENERAL CONDITIONAL USE STANDARDS (AMC 21.03.080D.)

The Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** of the approval criteria are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;
2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;
3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;
4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;
5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;
6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);
7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;
8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and
9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

SPECIFIC CONDITIONAL USE STANDARDS (AMC 21.05)

Certain conditional uses have detailed standards that relate only to that type of conditional use. When there are detailed standards, the Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** general standards listed in the previous section and detailed standards listed for that conditional use in AMC 21.05 are satisfied. Each detailed standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

Supplemental Form: OWNERSHIP AND BENEFICIAL INTEREST DISCLOSURE

PETITIONER: CORPORATE OFFICERS OR PARTNERS

Applicants for an entitlement that will be in possession and the responsibility of more than one individual, such as a co-owner, joint venture, partnerships, corporations, company, or other similar form of ownership, are required to disclose a full and complete list of the name and address of each principal. (use additional paper if necessary)

Name	Title or Office(if any)	Address
RORY MARENCO		PO BOX 145 GIRDWOOD, AK 99587
BRETT MARENCO		PO BOX 58 GIRDWOOD, AK 99587
JOSH HEGNA		PO BOX 1664 GIRDWOOD, AK 99587
AMY SHIMEK		570 E. BENSON BLVD STE 16 ANCHORAGE, AK 99503
KARL M. LAUGHLIN		5813 YUKON CHARLIE LOOP ANCHORAGE, AK 99502

PROPERTY OWNER: CORPORATE OFFICERS OR PARTNERS

The petitioner of a property owned by more than one individual that will benefit from an entitlement is required to disclose a full and complete list of the name and address of each partner, officer, or co-owner. The other owner interest to be reported is co-owner, joint venture, partnership, corporation, company, or other similar form of ownership. (use additional paper if necessary)

Name	Title or Office(if any)	Address
TIM CABANA		PO BOX 201 GIRDWOOD, AK 99587

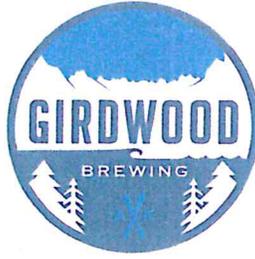
Attach this sheet to your application form

Accepted by: _____

Date _____

Application for _____

Case Number _____



I commit to make all improvements or permit the owners of Girdwood Brewing Company, LLC to make all improvements required by P&Z Resolution 2016-025 for CUP case 2016-0053 and any changes proposed in CUP case 2020-0012.

Signed 

Print Tim Cabang

Date 12-18-19

This application is for approval of an amendment to the previously approved Conditional Use Permit of gC-10 Commercial District use for a brewery in Girdwood (case # 2016-0053). The brewery currently occupies 3040sqft but the proposed amendment would allow the brewery to expand into the other half of the building. The adjacent space would be divided into Taproom overflow occupying 433sqft with the remaining 2,729 sqft devoted to manufacturing. An upstairs office will add another 569sqft to the floor plan and an outdoor beer garden will be permitted for 760sqft. This expansion w/in the footprint of the existing structure will provide space for GBC to add tanks and a canning line to increase production and expand distribution.

General Conditional Use Standards:

- 1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;**
This amendment is in line with the goals & objectives of the Girdwood Area Plan, it stands to increase the socioeconomic benefits the brewery has brought to the area since opening in 2017. The expansion fits into the Land Use Regulations and extends the mountain resort aesthetic to the other half of the structure. The use is consistent with all applicable provisions of this title as well as applicable state and federal regulations.
- 2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district specific standards set forth in chapter 21.04;**
This project meets all the requirements of Title 21 Chapter 9 of the Anchorage Municipal Code Girdwood Land Use Regulations for the applicable GC-10 zoning requirements.
- 3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;**
Chapter 21.09.050 is the Girdwood specific regulations that set forth the use-specific standards. This amendment does not change the building envelope, therefore the building conforms to the site specific standards that it was constructed to under the initial CUP.
- 4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;**
As stated in the initial CUP application: the proposed development will suite the intended use and allow for future expansion without the need to construct additional infrastructure.
- 5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;**
The gC-10 district is undeveloped except for a Church to the East. The brewery expansion will further strengthen the community vibe of this district and promote future responsible development.
- 6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);**
The building was constructed to the Girdwood Commercial Design Standards to the greatest extent feasible and provides a visually appealing structure. The building is not close enough to any adjacent properties to limit views or solar exposure. The brewery

does not generate any substantial noise, air or water pollution. The operating hours of noon-8pm ensure that we aren't open early or late enough to create a nuisance.

7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;

Girdwood Brewing Company LLC operates within all laws and regulations to ensure that we are good neighbors; Girdwood is our home and we want it to stay a beautiful mountain town. No significant adverse impacts have resulted from our operation and we don't expect any. However, should such issues arise, they will be mitigated or offset to the maximum extent possible.

8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes;

With the expansion, the onsite parking capacity will increase to meet the municipality requirements based on the changes in occupancy. GBC has first right of refusal per the lease agreement and will ensure that no other uses of the adjacent space occur so that parking requirements remain constant. Additionally, bike parking is supplied and Glacier Valley Transit has a stop at the brewery driveway or will make stops at the front door upon request. With its central location, GBC attracts a significant amount of pedestrian traffic which helps offset the parking needs. There is a walking trail between the church parking lot and the brewery so that local residents can avoid crossing the Alyeska Highway.

9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

Girdwood Brewing Company LLC takes advantage of Alaska's pristine water and uses a well for water supply purposes. The parking lot is laid out to provide ample access for emergency vehicles. The brewery is connected to the municipality sewer system and converses regularly with AWWU to ensure that our waste stream isn't adversely affecting their operations.

Girdwood Brewing Company Parking Requirements

Parking Calculation:

Per the AMC 21.07.090:

41 spaces required

- 2.5 for residential mixed dwelling (2 bedroom)
- 5.2 for 4211sf of industrial general manufacturing ($0-3000/750=4$, $3001-4211=1.2$)
- 1.62 for 569sf of office ($569/350 = 1.62$)
- 16.88 for 1688sf of interior taproom ($1688/100 = 16.88$)
- 15.2 for 1520sf of outdoor beer garden ($1520/100=15.2$)

TOTAL = 41.4

41 spaces provided

Per Table 21.07-4

Residential 1 for each residence + .5 for each additional bedroom + minimum of 1 guest space

Restaurant 1/ 100sf gfa and outdoor seating area

General Manufacturing 1/ 750sf for 1000-3000sf 1/ 1000sf for 3001-5000sf

Office 1/ 350sf



Girdwood Brewing Company – LUC Community Council Meeting Summary

- a. A community meeting was held on Monday November 11th, 2019 @ 7pm in the Girdwood Community Room, 250 Egloff Drive. See Land Use Committee meeting minutes for a detailed summary.
- b. Informational Letters were mailed on Wednesday October 9th, 2019 to all properties within 500 ft of the brewery (2700 Alyeska Highway). In total, 58 letters were mailed.
- c. 12 citizens of Girdwood attended the meeting.
- d. No major concerns were expressed. Girdwood Brewing Company representatives informed the community that an updated parking plan is being developed and ample parking will be provided.

Girdwood Land Use Committee
Notice of Meeting on November 11, 2019
7PM
Minutes Draft

The following items have been submitted as agenda items for consideration at the meeting of the Girdwood Land Use Committee. A voting member is any person eighteen (18) years of age or older who has been a resident and/or property owner, business owner or designated representative of a non-profit association who has resided in, owned property in, owned a business located in, or operated as a non-profit association for ninety (90) days or longer in Girdwood Valley.

The Girdwood Board of Supervisors, its committees, and subcommittees are subject to the Alaska Open Meetings Act as found in Alaska Statute 44.62.310 and Anchorage Municipal Code 1.25 - Public Meetings.

Agenda Item LUC 1911-01:

Call to order 7:03PM Brian Burnett

Agenda Approved for November 11, 2019 Regular Meeting

Minutes Approved from October 14, 2019 Regular Meeting

LUC Officer reports

M. Edgington/K. McDermott

K. McDermott/M. Edgington

None

Announcements & Presentations:

Girdwood Trails Committee and Girdwood Land Use Committee are scheduled hold elections to designate officers at their January 2020 regular meetings.

Girdwood Brewing Company presentation regarding amendment to the brewery's Conditional Use Permit to expand operations to the entire building. No action required. This meeting will serve the community meeting requirement. Josh Hegna and Rory Marengo present that public notice of this meeting was sent to neighbors 32 days ago. Parking is being addressed at the brewery with new parking plan, which includes bike racks and service by Glacier Valley Transit. Brewery plans to have the full packet submitted to the MOA Planning dept by the end of the month and anticipate review by Planning and Zoning and Assembly starting in February.

Agenda Item LUC 1911-02: Public Comment (3 minutes each)

Brian Burnett announces that snowmaking preparations have begun on Alyeska and the mountain is closed for uphill traffic until spring.

Agenda Item LUC 1911-03: Committee reports, 3 minutes each:

Trails Committee Report (Carolyn Brodin): Meeting in November discussed Trail Towns; vote to recommend GBOS resolution of support for RTP grant application and Huddle AK Sole Source contract for the Girdwood Trail Plan. Acknowledged volunteers who worked on trails projects in the summer. Review of proposed adjustments to the hand tram, which includes larger fall netting, railings, striping. Continued discussion of the maintenance and operation of the hand tram will be on-going. Discussion of work on the Virgin Creek Falls trail

HLB Commission Report (Ron Tenny): No report.

Little Bears Re-build project (Kyle Kelley): GBOS passed resolution for bonding language of \$2.2M to be drafted for removal of existing buildings and construction of modern community building. Preservation of the history of activities of the current buildings to be discussed later in this agenda.

GBOS Report (Mike Edgington): GBOS met with the Fire Dept Board regarding budget, AFD contract, level of service based on budget, and funding capital projects. GBOS meet with the MOA and discussed dedication of the ball field in memory of Sladen Mohl; temporary impound lot for large events in Girdwood; regulation of Short Term rentals; Fire Dept budget; Closure of Silvertip station on the Seward Highway, and MOA effort to ensure egress with secondary routes in neighborhoods. GBOS regular meeting passed resolution regarding Community building bond and approval of the Whittier Police Services contract. Non profit grant awards were made, liquor license Letter of Non-Objection passed. Request for support for no upgrades to Gunnysack Mine Road was not approved, as recommended by LUC. Meeting with Fire Dept finalized resolution of support for purchase of breathing apparatus along with AFD purchase of equipment.

Title 21, Chapter 9 Review Committee (Mike Edgington): Discussion later in this agenda.

Housing Working Group (Mike Edgington): Meeting WED at 7PM will focus on Community Land Trust.

Imagine! Girdwood (Girdwood Area Plan) (Mike Edgington): Meetings are currently focusing on trails and recreation. Next meeting is Dec 4 at 6PM in the Girdwood Community Room.

Old Business:

Agenda Item LUC 1907-05: Discussion of Short Term rental impacts on community (Echo Ridge Road).

Regulation of short term rentals has been brought forward, in particular parking, which is discussed separately under new business. Seward has model for regulation/registration that may be helpful. Anchorage B&B Association may be interested in supporting Short Term rental regulation. It is still to be determined if regulation will be applied as Muni-wide topic or Girdwood only.

Girdwood Land Use Committee Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>



Agenda Item LUC 1905-05: Update on current status of proposed changes to T21C9 related to commercial parking requirements. Mike Edgington presents draft ordinance language, which includes a table scaling back required parking as discussed in May and earlier in the year. Businesses that are 100% local use, such as child care are scaled back by 50%; visitor industry businesses stay the same. Businesses with mix of local and visitor population are scaled back by 30%. Landscaping is removed from parking lots as it conflicts with snow and ice mitigation. Setbacks are scaled back to 10'. Paving is not longer required. If parking lot connects to paved road, 20' of adjacent access is to be paved. Permeable surface required between paving and raw land. T21C9 group will continue to work on language and will present next month with request for LUC to recommend GBOS resolution supporting approval by the Anchorage Assembly.

New Business:

Agenda Item LUC 1911-04: Historic Preservation

Little Bears Project: 30 year old buildings to be sold or demolished to make room for new community building. History of the uses of those buildings is to be preserved through a variety of efforts. Ideas include: recording and transcribing oral histories through JukeBox at UAF; architectural features could be incorporated in the new building design; 1% for art projects can be required to address history of child care and fire dept; interpretive displays; outdoor mural.

Girdwood Historic Preservation overall: Girdwood is initiating conversation regarding preservation of historic features of the community with help from our Historic Preservation Commissioners, Connor Scher and Julie Raymond-Yakoubian. Evidence of Native uses of the area, trails, mining, etc should be preserved. Commissioners are planning to have a booth at the Holiday Bazaar at the school on Dec 7 to collect ideas. Jason Jeffers recommends that the group look at the artwork in new AFD Station 3 in Mountainview, which commemorates the old station.

Agenda Item LUC 1911-05: Review of language defining LUC membership. Language in LUC membership doesn't require current residency and is vague in describing the geographic area discussed at LUC. Mike Edgington presents recommended language for consideration and review.

Agenda Item LUC 1911-06: Initial Presentation by Girdwood Brewing Company. Request for LUC Recommendation for GBOS Resolution of support for code change to allow food concessions in area zoned gC10. Josh Hegna presents that as part of the Conditional Use Permit process to extend brewery to the entire building, it was discovered that gC-10 does not allow for food trucks. Food trucks are allowed in other commercial areas throughout the MOA. Planning department will meet internally to discuss this on TUE Nov 12. This is a big impact to the 5 small food truck businesses that set up at the Brewery; changing code can be a long process. Brewery and food truck owners are trying to find an interim agreement that will work while code is being changed. Food and alcohol are a positive combination; no complaints have been received regarding the businesses being there for the 1.5 years they've operated. Strange zoning of gC-10 was a carryover from prior anticipated use of the area for a hotel. Mike Edgington asks if this should be more of a universal change, allowing food trucks in all commercial areas. Brewery is seeking only for their parcel and do not want to complicate the issue and risk having it take longer. Informal poll of those attending the LUC meeting shows unanimous support (13-0) for allowing food trucks in gC-10.

Agenda Item LUC 1911-07: Discuss parking restrictions in Girdwood; in particular related to Echo Ridge Dr. and Garmish Rd. Kyle Kelley presents that parking on Echo Ridge has been discussed in the context of short term rentals. Garmish Road also has parking issues, based on access to the Daylodge and lower mountain lifts. MOA Traffic Engineer has reviewed the maps of these areas and support signage to limit parking to one side of the road to ensure emergency vehicle access. There may be some other areas that request this as well. Starting in 2020, WPD contact includes parking enforcement.

Other: Ann Kaiser brings up that there is no buffer between her property line on Timberline and the road's right of way. She disagrees with the survey completed by The Boutet Company this summer and wants another professional surveyor to mark the corners and lot line. Staff states that GVSA paid for a professional surveyor, if a second opinion is required, the property owner should hire them. MOA right of way officer will come to meet with the surveyor to review the findings. Currently this is at an impasse because the property owner has not hired a surveyor, and the information from the professional who previously surveyed at the cost of the GVSA, has not been accepted by the property owner. Roads in Girdwood are typically not centered in the platted Right of Way and are also not as wide as the Right of Way. Ann Kaiser is encouraged to hire a surveyor and let staff know when to have the Right of Way officer meet.

Pending Business:

Agenda Item LUC 1905-05: Request for LUC recommendation for GBOS Resolution of Support for change to T21C9 related to commercial parking requirements (Mike Edgington)

Agenda Item LUC 1905-06: Request for LUC recommendation for GBOS Resolution of Support for Dimensional Variance request 159 Aspen Mountain Road (Kristian Sieling, presenting)

Agenda Item LUC 1906-04: Second presentation of Alyeska Nordic Spa project (Marco Zaccaro, Z Architects, presenting). Group is seeking LUC recommendation for GBOS Resolution of Support for the project's Development Master plan.

Request for GBOS/LUC Joint Meeting (2 of 2 in 2019): no

Adjourn 8:20PM

**Girdwood Land Use Committee
Regular Meeting
Date: 11.11.19**

Name (please print)	e-mail address and/or phone number
Tom Johnson	tomjohnson@girdwood.com
Mandy Thomas	472-21314
Cindy Becker	
Jason Yaffee	(907) 764-5031
Josh Agn	907-880-2549
Mike E. Livingston	231-6819
RORY MARENLO	810 6182
Stu Greene	907 782 7276
KEVIN McDRUGGET	KEVIN.MCDRUGGET@GIRDWOOD.COM
CENNAC SCHULZ	
LARISSA VERRA	
JERRY FOX	



October 9, 2016

Hello Neighbors,

Girdwood Brewing Company has grown to the point where we need additional production space in order to keep up with demand. As part of this expansion, the Municipality of Anchorage is requiring that we amend our Conditional Use Permit.

The building envelope will not expand; we will simply be leasing more of the existing building space at 2700 Alyeska Highway. Our goal is to purchase a professional level canning machine which requires more manufacturing space. Additionally, we will be expanding our cold storage and creating some taproom overflow space.

As part of the Municipality of Anchorage permitting process, we are required to give written notice 21 days prior to having a public meeting for our closest neighbors. The public meeting will take place at 7:00 on Monday, November 11, 2019 at the Girdwood Land Use Committee meeting in the Girdwood Community Room. If you have any questions or concerns, please feel free to call Josh Hegna or Rory Marengo.

Girdwood Brewing Company is committed to being responsible neighbors, giving back to our community, and providing a safe, family friendly environment.

Sincerely,

Josh Hegna 907-830-2549

Rory Marengo 907-830-6982



**OPINION OF COMPLIANCE
ANCHORAGE GENERAL PERMIT 93-10-M4/11-M4/12-M4**

File Number: POA-2016-240

Municipal Reference Number: Glacier Creek 16-B

Permittee (LANDOWNER): Tim Cabana

Expiration Date: OCTOBER 31, 2020

Project Location: Alpine View Estates, Tract B2C, Girdwood AK

Anchorage Wetland

Management Plan Map #: 113 Girdwood

Wetland Unit #: 213

Wetlands Fill Amounts: 2,300 cyds in .53 acres of C wetlands (.53 Acres)

Work Description: Fill and clearing for driveway, utilities, building site, parking lot & snow storage

All work will be performed in accordance with the attached plans submitted with application dated:

May 20, 2016

The permittee will perform work in waters of the U.S. (wetlands) in accordance with the terms and conditions of the Anchorage General Permit, as specified below:

Anchorage General Permit Conditions:

GENERAL CONDITIONS OF THESE GENERAL PERMITS

All activities identified and authorized by these GPs shall be consistent with the special conditions listed above, as well as the general conditions listed below. The Corps can also add site-specific special conditions to a GP verification, as applicable.

Obtain GP verification prior to activity: No work shall be done under these GPs without first obtaining an Opinion of Compliance (OC) from the MOA Planning Division or General Permit Verification from the Corps. A copy of the Municipal building permit application and grade/fill permit application or Land Use permit application must be included with the GP application. Compensatory mitigation, if required, must be acquired before proceeding with authorized jurisdictional activities.

Time limit: Verification under these GPs is valid until **October 31, 2020**, unless the GPs are modified, reissued or revoked. It is incumbent upon the applicant to remain informed of

Tim Cabana
POA-2016-240; Glacier Creek 16-B

1

changes to the GPs.

Mitigation: The activity must be designed and constructed to avoid and minimize adverse effects, both temporary and permanent, to waters of the U.S. to the maximum extent practicable at the project site. Mitigation in all its forms (avoiding, minimizing, rectifying, reducing, or compensating for resource losses) will be required to the extent necessary to ensure that the adverse effects to the aquatic environment are minimal.

Compensatory mitigation will be required for all wetland losses greater than 0.1-acre unless the District Commander determines in writing that either some other form of mitigation would be more environmentally appropriate or the adverse effects of the proposed activity are minimal, and provides a project specific waiver of this requirement. The applicant may seek this determination by written request to the Corps. The Corps' determination on compensatory mitigation will be returned, in writing, to the MOA Planning Division for inclusion into the OC. If applicable, compensatory mitigation must be completed prior to conducting work authorized under these GPs. Compensatory mitigation projects provided to offset losses of aquatic resources must comply with the applicable provisions of 33 CFR 332.

Setback: Where there are wetlands along or around a stream or water body, the project shall include and maintain a non-disturbance setback, measured horizontally from the ordinary high water mark, as specified in Attachment A. Applicants shall contact the MOA Planning Division or Corps to obtain or confirm delineation of the setback. The setback extends only as far as the outer edge of the adjacent wetland boundary. Setbacks greater than 25 feet wide do not extend into non-wetlands. No Setbacks Required

Buffer: The project shall include and maintain a non-disturbance buffer area, as specified in Attachment A. Applicants shall contact the MOA Planning Division or Corps to obtain or confirm delineation of the buffer.

Delineation of project boundary: Project boundaries shall be staked, flagged or otherwise clearly delineated prior to the commencement of the authorized activity to prevent inadvertent encroachment of adjacent wetlands.

Endangered Species: Activities authorized under these GPs must not adversely affect a federally listed threatened or endangered species, or destroy or adversely modify its designated critical habitat.

Historic properties: No cultural resources shall be adversely affected by activities authorized by these GPs. If the permittee discovers any previously undiscovered archeological, paleontological, or historic resource, while conducting activities authorized by these GPs, the DC must be immediately notified by calling (800) 478-2712. The Corps will notify the Alaska State Historic Preservation Office of what has been found. The Corps or the appropriate federal land manager will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

Inspection: The applicant shall allow the DE or their authorized representative(s) and/or a representative from the MOA Planning Division to inspect authorized work at any time deemed necessary to assure that on-going and completed work is in compliance with the terms and conditions of these GPs.

Transfer of General Permit: If the applicant sells or wishes to transfer the property associated with the authorized activity, the applicant must obtain the signature of the new property owner or lessee in the appropriate space on the verification/OC and submit a copy of that page to the MOA Planning Division and/or Corps, along with appropriate documentation of the transaction. All information must be submitted within 30 days of the property transfer to validate the transfer of the GP authorization to the new party.

Modification by other authorization: If the work proposed under these GPs is subsequently

modified by any other Federal, State, or local governmental authorization, a modification of the GPs, MOA Planning Division's Opinion of Compliance, and any verification by the Corps to perform activities under these GPs may need to be obtained.

Use of multiple general permits, including Nationwide Permits: The use of more than one GP or Nationwide Permit (NWP) for a single and complete project is prohibited, except when the acreage loss of waters of the United States authorized by the GPs and/or NWPs does not exceed the loss of more than one acre of wetlands.

Project site restrictions and design criteria:

1. For residential developments, the aggregate total loss of waters of the United States authorized by GP-1993-10-M4 shall not exceed one acre. For residential subdivisions, the aggregate total loss of waters of United States authorized by this GP cannot exceed one acre. This includes any loss of waters of the United States associated with development of individual subdivision lots.
2. Erosion Control: Prior to the initiation of any fill discharge authorized in accordance with GP- 1993-10-M4, the Permittee shall install erosion control measures along the perimeter of all work areas to prevent the displacement or erosion of fill material outside the authorized work areas. The erosion control measures shall remain in place and be maintained until all authorized work is completed and the work areas are stabilized. Immediately after completion of the final grading of the land surface, all slopes, land surfaces, and filled areas shall be stabilized using sod, degradable mats, barriers, or a combination of similar stabilizing materials to prevent erosion.
3. Fill Material: Only clean fill material shall be used for this project. The fill material shall be free from items such as trash, debris, automotive parts, asphalt, construction materials, concrete blocks with exposed reinforcement bars, and soils contaminated with any toxic substance, in toxic amounts in accordance with Section 307 of the Clean Water Act.
4. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete **EITHER** the attached "Self-Certification Statement of Compliance" form (Attachment D), **OR** the attached "As-Built Certification By Professional Engineer" form (Attachment E), and submit it to the Corps. These are further described below.

Self-Certification Statement of Compliance: In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

As-Built Certification: Within 60 days of completion of the work authorized by this permit, the Permittee shall submit as-built drawings of the authorized work and a completed "As-Built Certification By Professional Engineer" form to the Corps. The as-built drawings shall be signed and sealed by a registered professional engineer and include the following:

- a. A plan view drawing of the location of the authorized work footprint, as shown on the permit drawings, with transparent overlay of the work as constructed in the same scale as the permit drawings on 8½-inch by 11-inch sheets or PDF. The plan view drawing should show all "earth disturbance," including wetland impacts and water management structures.
- b. A list of any deviations between the work authorized by this permit and the work as constructed. In the event that the completed work deviates, in any manner, from the authorized work, describe on the attached "As-Built Certification By

Professional Engineer” form the deviations between the work authorized by this permit and the work as constructed. Clearly indicate on the as-built drawings any deviations that have been listed. Please note that the depiction and/or description of any deviations on the drawings and/or “As-Built Certification By Professional Engineer” form does not constitute approval of any deviations by the Corps.

- c. Include the Department of the Army permit number on all sheets submitted.

Project-specific conditions:

1. **Time Limit.** GP authorization of this project expires on: **October 31, 2020**. If you need more time to complete the authorized activity, submit a request for extension under these GPs to the Municipal Planning Department prior to the expiration date. You may not continue work beyond the expiration date until receiving notification to that effect from the Municipal Planning Department or the Corps Regulatory Branch.

Note: Permittee should allow at least one month for processing of extension requests.

2. **Setback** Where there are wetlands along or around a stream or waterbody, the project shall include and maintain a non-disturbance setback, measured horizontally from the ordinary high water mark. The setback extends only as far as the outer edge of the adjacent wetland boundary. Setbacks greater than 25 feet wide do not extend into nonwetlands. For previously unplatted residential subdivisions, the setback area shall be tracted out, rather than being included in individual lots.

65' from streams that are neither anadromous nor headwaters, as defined above; and,

3. **Other Approvals Required Before Starting Work.** You must not disturb wetlands for this project until you have obtained all applicable Municipal and State approvals required for the work. These approvals may include, but are not limited to:

Municipality of Anchorage:

- Land Use Permit
- Clearing Permit
- Grading & Fill Permit
- Building Permit
- Right-of-Way Permit
- Flood Hazard Permit
- Utility Agreement(s)
- Rezoning Approval
- Preliminary Plat Approval
- Subdivision Agreement
- Stormwater Treatment Plan
- Parks Right-of-Entry Permit
- Wastewater Disposal
- Urban Design Commission
- Geotechnical Commission

Alaska Department of Environmental Conservation:

- Stormwater Treatment Plan
- Wastewater Disposal
- Soil Remediation Plan

If any of these—or other—approvals result in a change to the attached plans, you must provide a description of the change and a revised plan(s) to either Municipal Planning Department Staff or the Corps Regulatory Branch, and may not proceed with the project until the change is authorized.

4. **Offset Unavoidable Impacts.** To offset the unavoidable adverse impacts of the project to the aquatic environment, the permittee:

- Mitigation required; For .53 debits; Provided by applicant with fee-in-lieu

5. **Limits on Work Area.** You must not conduct any of the following activities in wetlands or waterbodies beyond the approved project footprint (or in any other avoidance area identified above) during either construction or operation of the project/facility:
- Discharge of fill material (even temporarily), including stockpiles; or,
 - Excavation and sidelaying/backfilling; or,
 - Mechanized landclearing; or,
 - Operation, parking/storage or servicing of equipment.
6. **Construction Runoff.** You must employ runoff control measures necessary to preclude or minimize both erosion and the transport of sediment, pollutants, and solid waste beyond the approved project footprint. These measures shall include, but are not limited to:
- Phasing of Site Preparation (to minimize the extent of exposed soil);
 - Silt Fence;
 - Reroute Offsite Runoff around Disturbed Soils (e.g., dike/ditch)
 - Mulching (e.g., wood chips, straw, grass clippings, gravel);
 - Matting (e.g., jute, straw, coir);
 - Sheeting for Stockpiles, Temporarily Exposed Slopes (e.g., plastic, geotextile fabric);
 - Check Dams in Ditches/Drainageways (e.g., hay bales, sand bags, gravel berms);
 - Surface Roughening (to slow runoff down slope);
 - Terracing of Slopes;
 - Sediment Trap(s);
 - Temporary Sediment Basin;
 - Storm Drain Inlet Protection (e.g., hay bales, sand bags, and gravel berm)
 - Outlet Filtering/Stabilization for Construction Dewatering;
 - Revegetation of Fills and Disturbed Soils
 - Onsite petroleum spill/leak response equipment and supplies and provision for their proper disposal
7. **Contaminated Soil.** If contaminated soils are discovered during construction, you must immediately cease all work in the vicinity of the contamination, contact the Alaska Department of Environmental Conservation for instructions, and defer any further activity until you receive ADEC approval to continue.
8. **Endangered Species.** The activity must not jeopardize the continued existence of a threatened or endangered species, as identified under the Endangered Species Act, nor endanger the critical habitat of such species.

Special Conditions, as required by the Watershed Management Services (WMS) of the Municipality of Anchorage:

No special conditions were required by the MOA WMS section.

Special Conditions, as required by the Planning Division of the Municipality of Anchorage:

Fencing shall be placed at southern edge of snow disposal area to limit snow placement encroachment beyond lot into adjacent wetlands.

Special Conditions, as required by the Corps of Engineers:

No special conditions were required by the Corps GPAC review.

Your signature below, as permittee, confirms that you accept and agree to comply with the terms and conditions of Anchorage General Permit **93-10-M4** as supplemented in this document.

Tim Cabana *6-1-16*
SIGN _____ DATE

Owner
Tim Cabana *6-1-16*
PRINT _____ DATE

Owner
DATE

Opinion of Compliance

The signature below confirms the Municipality of Anchorage's opinion that the project described above meets the terms and conditions of Anchorage General Permit 93-10-M3.

Thede Tobish *6/1/16*
SIGN _____ DATE

Thede Tobish, Senior Planner
Thede Tobish *6/1/16*
PRINT _____ DATE

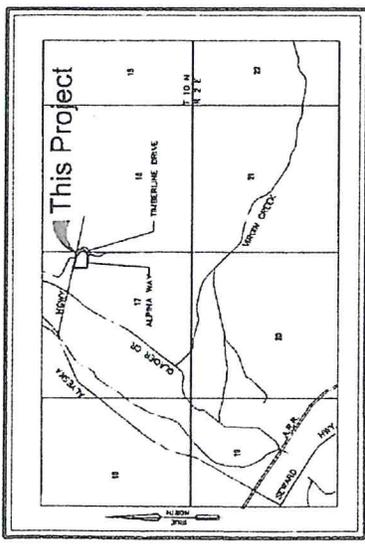
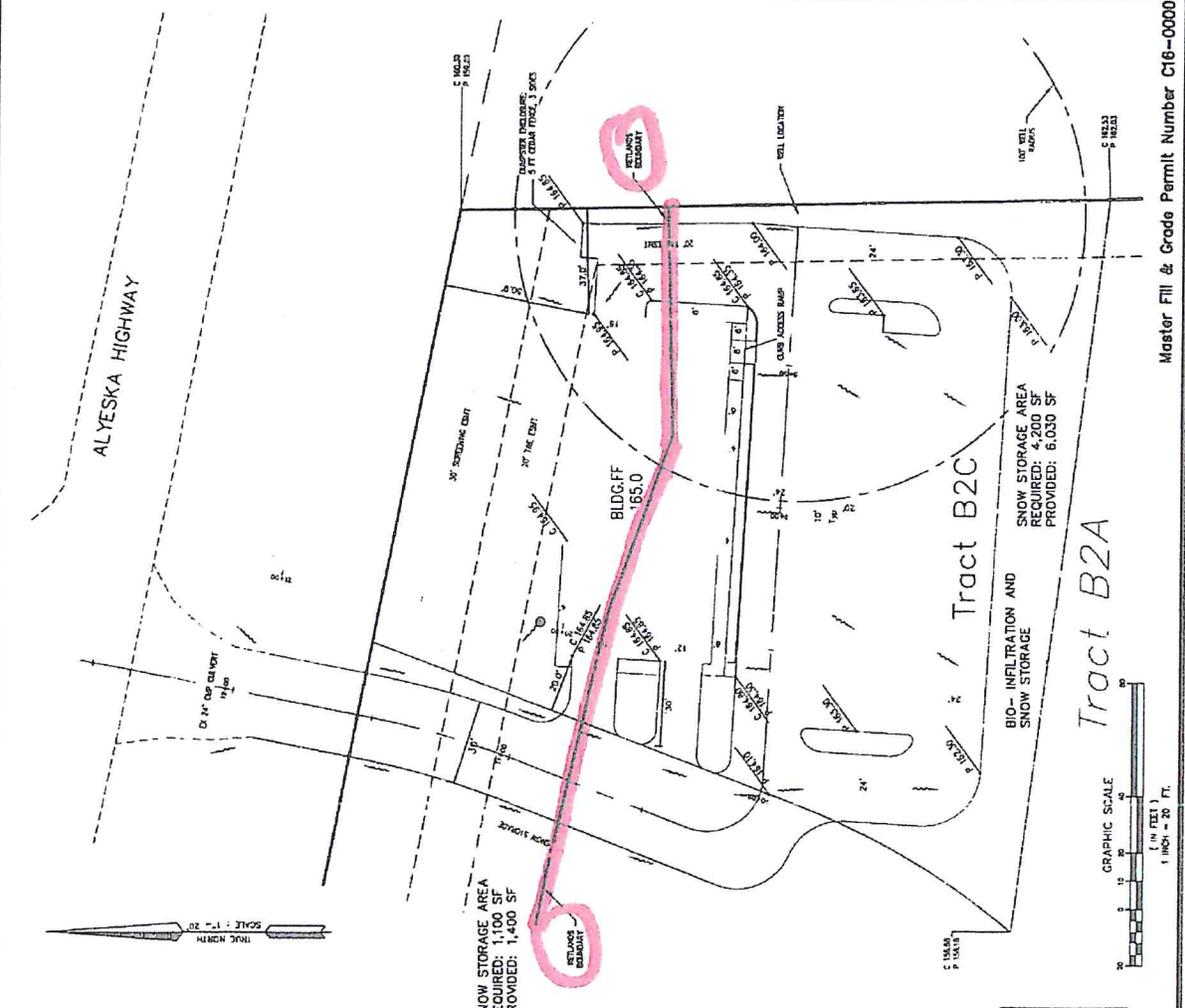
Thede Tobish, Senior Planner
DATE

When the work authorized by the Anchorage General Permit is still in existence at the time the property is transferred the terms and conditions of the permit will continue to be binding on the new owner(s) of the property. To validate the transfer of the permit and the associated liabilities associated with compliance with its terms and conditions have the transferee sign and date below.

(TRANSFEEE)

(DATE)

Attachments: Final Project Plans (sheets , dated)



- FILL & GRADING NOTES**
1. SLOPES TO BE STABILIZED WITH VEGETATION, NO LATER THAN 10-15-2011.
 2. ALL FILL SHALL BE PLACED IN ONE FOOT LIFT, UNBANKED, AND COMPACTED TO 95% UNIFORMITY WITH THE SUBGRADE. ALL EXISTING AND NEW MATERIAL SHALL BE COMPACTED TO 95% UNIFORMITY WITH THE SUBGRADE. ALL EXISTING AND NEW MATERIAL SHALL BE BUILT TO THE FINISHED GRADE WITH A MAXIMUM SLOPE OF 1:1. ALL EXISTING AND NEW MATERIAL SHALL BE BUILT TO THE FINISHED GRADE WITH A MAXIMUM SLOPE OF 1:1.
 3. FOR EACH 20% SLOPE, THE USE OF FULL SLOPES SHALL BE MADE NOT LEASER TO THE SITE BOUNDARY LINE THAN ONE-HALF THE HEIGHT OF THE SLOPE WITH A MINIMUM OF TWO (2) FEET AND A MINIMUM OF ONE (1) FOOT.
 4. THE CONTRACTOR SHALL PROVIDE INSPECTIONS AT THE START OF WORK, FIFTY PERCENT (50%) COMPLETION, AND NINETY PERCENT (90%) COMPLETION AND AT SOCCER STAGES OUTLINED BY THE ENGINEER.
 5. ALL SLOPES SHALL NOT BE CONSTRUCTED ON NATURAL SLOPES STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). WHERE SLOPES ARE STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL, THE SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 6. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 7. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 8. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 9. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 10. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 11. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 12. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 13. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 14. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 15. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 16. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 17. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 18. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 19. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.
 20. ALL SLOPES SHALL BE STABILIZED AT LEAST TO 1:1.

SPECIAL INSPECTION NOTES

1. ITEMS MARKED WITH AN "X" REQUIRE INSPECTION BY A SPECIAL INSPECTOR.
2. BUILDING OFFICIAL ORDER AND CONTRACTOR.

SPECIAL INSPECTION AND TESTING SCHEDULE (SEE TRACT & TABLE TRACT)	CONTRACTOR INSPECTION	SPECIAL INSPECTION
1. VERIFY MATERIALS AND INSPECTION TESTS TO BE USED TO DETERMINE THE DESIGN BEARING CAPACITY.	1	1
2. VERIFY DIMENSIONS ARE EXTENDED TO PROPER DEPTH AND ARE CORRECT PROPER MATERIAL.	2	2
3. VERIFY FOUNDATION CLASSIFICATION AND TESTING OF FOUNDATION MATERIALS.	3	3
4. VERIFY USE OF PROPER MATERIALS, DIMENSIONS AND LIFT TECHNIQUES DURING PLACEMENT AND COMPLETION OF FOUNDATION FILL.	4	4
5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBTAIN SURVEY AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	5	5



IRVING
ENGINEERING
P.O. Box 110880
Anchorage, Alaska 99511
(907) 361-8337

RECORD DRAWING

1. DATA PROVIDED

By: _____
This will serve to certify that these Record Drawings are a true and accurate representation of the project as constructed.

CONTRACTOR:

By: _____
TITLE: _____ DATE: _____

2. DATA TRANSFERRED

By: _____
COMPANY: _____

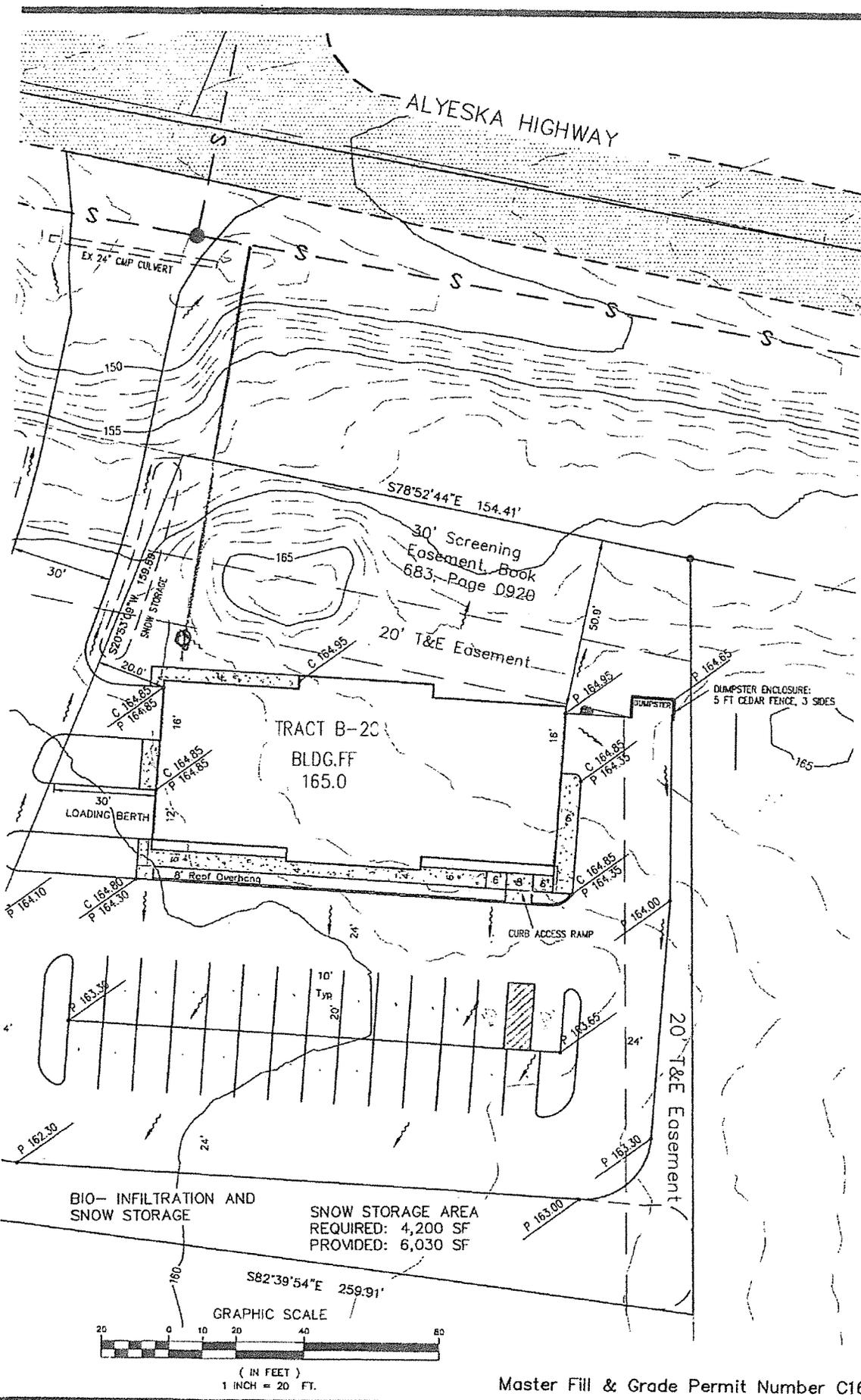
3. DATA TRANSFER CHECKED

Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.

By:

By: _____
TITLE: _____ DATE: _____

**TRACT B-2C
ALPINE VIEW ESTATES, PHASE 3
GRADING PLAN**



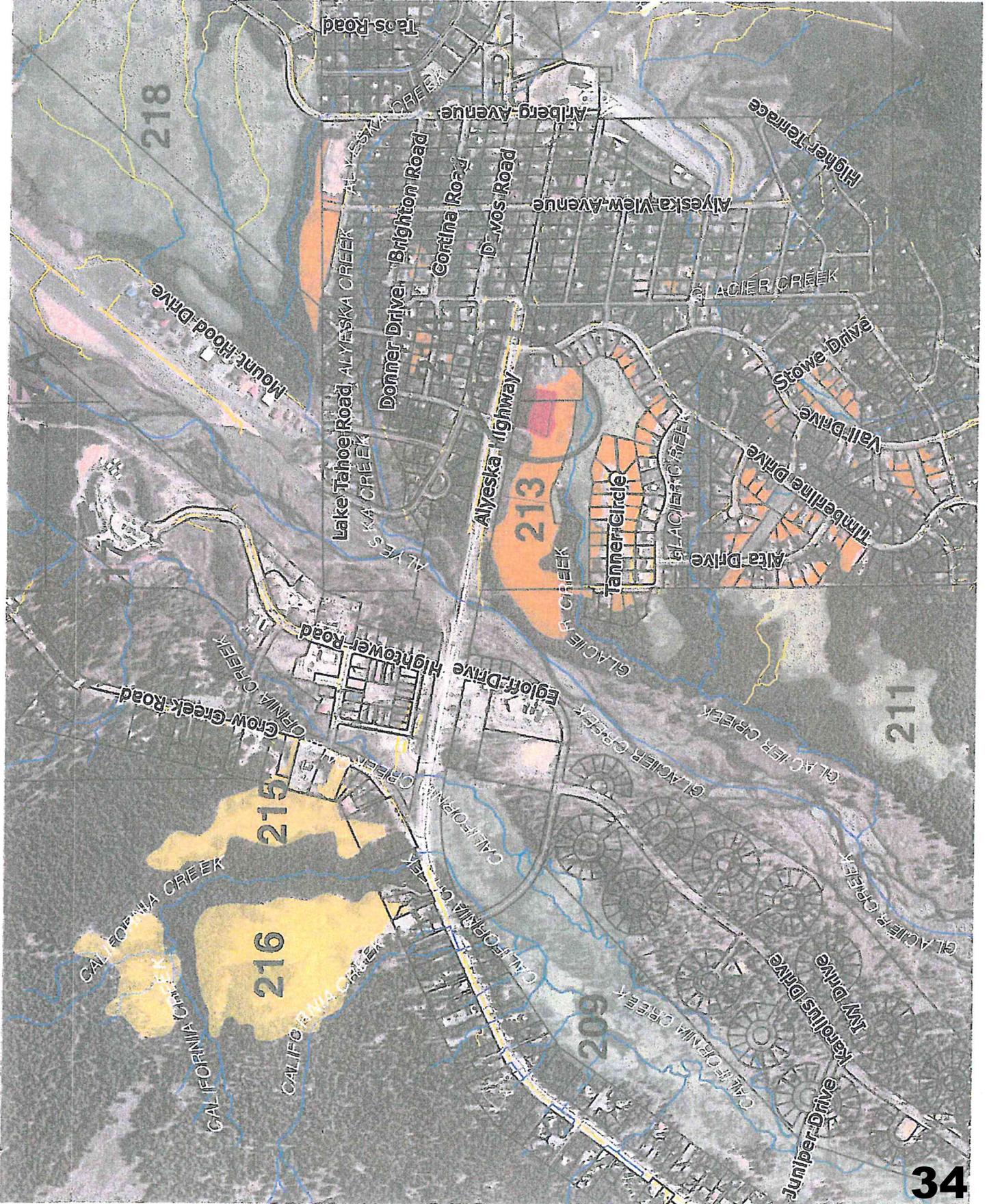
DESIGNED	DWG	DWG/CHK	DATE	FILED	CHECKED	DATE	BY

REVISIONS	DATE	BY	CHKD

FILED	CASE#	DATE	SCALE	GRID
FILED	16-105	N/A	1"=20'	SE 4615

SHEET **C1** OF 1

birdhead
Project
Site



Harmony Ranch Mitigation Per 5/31/16
This receipt is for Tim CASHMAN
for purchasing 0.07 Class 3 units
from the Bank for his Greenwood
Brewing project.

If you have any questions you
can reach me at 520-820-3189.

Jessy M. Haman
OWNER

RECEIVED

MAY 31 2016

PLANNING DEPARTMENT



GREAT LAND TRUST
S U P P O R T I N G A L A S K A

May 31, 2016

CEPOA-RD Compensatory Mitigation Policy Specialist
P.O. Box 6898
JBER, Alaska 99506-0898

BOARD OF DIRECTORS

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Re: Statement of Credit Sale for 0.19 credits

Statement of Credit Sale for 0.19 credits sold in the Municipality of Anchorage Service Area for POA-2016-240, sold to:

Tim Cabana
P.O. Box 201
Girdwood, AK 99587
907-632-8467
timcabana@yahoo.com

GLT has an In-Lieu Fee Program Agreement with the U.S. Army Corps of Engineers to establish and operate an In-Lieu Fee Program. This letter confirms the sale of 0.19 credits for use as compensatory mitigation, as authorized by POA-2016-240, Glacier Creek 16-B. By selling the credits to Mr. Tim Cabana, GLT is now the party responsible for fulfilling the mitigation obligation listed above.

Sincerely,

--AQD--

STAFF

Pat Pourchot
Interim Executive Director

Kim Sollien
Mat-Su Program Director

Dave Mitchell
Conservation Director

Austin Quinn-Davidson
Legal Affairs & Land Transactions Director

Shannon Kuhn
Philanthropy & Communications Director

Amanda Hults
Lands Manager

Libby Kugel
Grants Administrator & Office Manager

Matt McMillan
Stewardship Coordinator

Austin Quinn-Davidson
Legal Affairs & Land Transactions Director

CC:
Tim Cabana
Dave Mitchell, Great Land Trust
Sheila Newman, USACE
Amanda Whittier, USACE
Heather Dean, EPA
Thede Tobish, MOA

CONTACT US

P.O. Box 101272
Anchorage, AK 99510
(907) 278-4998
www.greatlandtrust.org
Tax ID #: 92-0155014

ALYESKA HIGHWAY

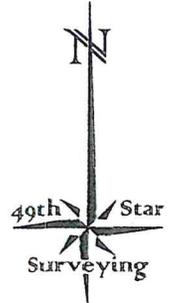
200'
ROW

N 79°37'31" W 154.41'

30' Screening Ease.

20' T&E Ease.

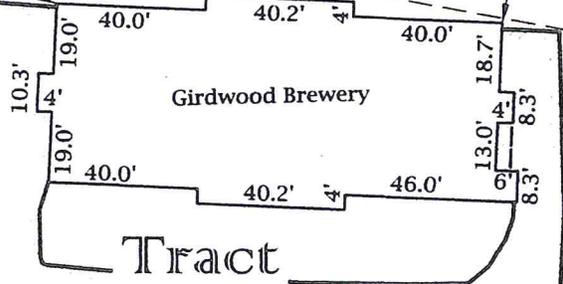
Tract
A-2A,
Phase 1



Tract
B-2,
Phase 3

A87.72'
R255.00'
Δ19°42'35"

S 20°08'22" W 159.89'



Tract
B-2C

20' T&E Ease.

S 01°54'56" E 227.86'



N 83°24'41" W 259.91'



NOTES

- All dimensions shown are grid bearings and ground distances. Record boundaries are per Plat No. 2014-38.
- 49th Star has conducted a physical survey of the property and all details shown on this Asbuilt Survey are correct. Under no circumstances should any data hereon be used for establishment of property lines.
- It is the owners responsibility to determine the existence of any easements, covenants, or restrictions which do not appear on the recorded subdivision plat.

AS BUILT SURVEY

Tract B-2C
Alpine View Estates, Phase 3,
Girdwood, AK

LEGEND

- (W) Well
- ☀ Light Pole
- Exiting Asphalt

49th Star Surveying LLC

321 Fireoved Drive
Anchorage, AK 99508
(907)891-6111
Jeremy@49thStarSurveying.com

W.O. 19035

DATE: 12/16/19

SCALE: 1" = 50'

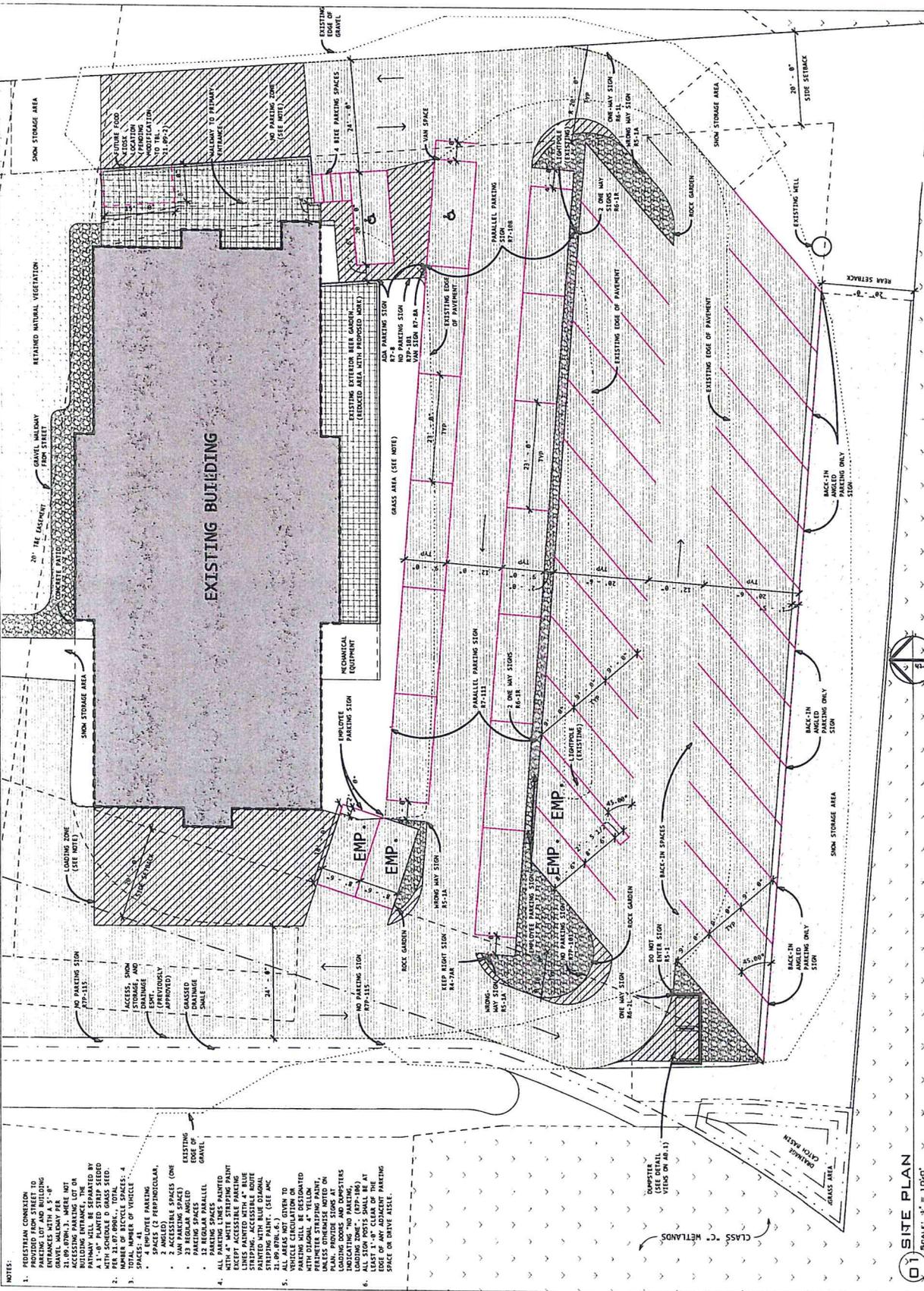


GBC CONDITIONAL USE PERMITTING
 2700 AYESKA HWY
 GIRDWOOD, AK 99587
 PERMIT DRAWINGS

SUBMITTAL: 01.07.2020
 CHECKED BY: MAZ

REVISION NUMBER	REVISION DESCRIPTION	DATE

COPYRIGHT: 2019
AD.2
 PARKING AREA PLAN



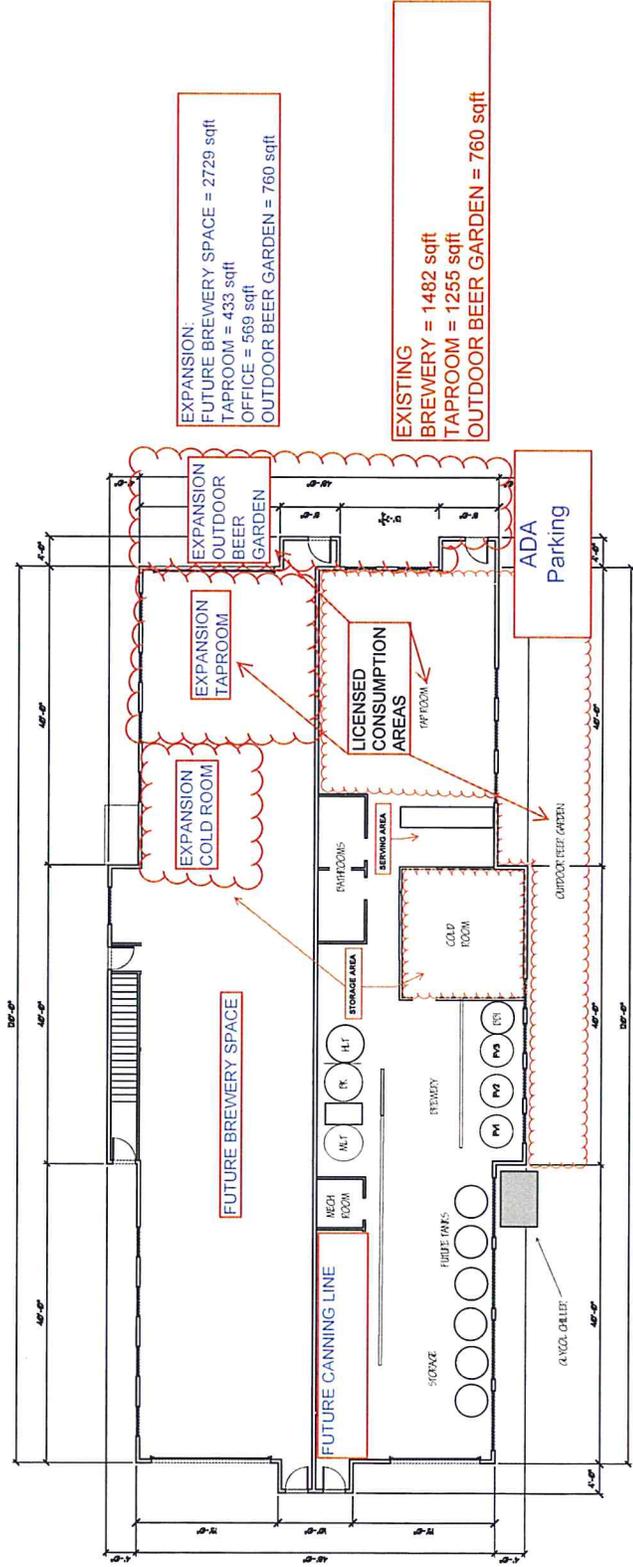
- NOTES:**
1. PEDESTRIAN CONNECTION PROVIDED FROM STREET TO BUILDING ENTRANCES WITH A 5'-0" GRAVEL WALKWAY FOR ACCESSIBLE PARKING LOT ON BUILDING ENTRANCE. THE WALKWAY SHALL BE SET BY A 1'-0" PLANTED STRIP SEED WITH SCHEDULE D GRASS SEED.
 2. TOTAL NUMBER OF VEHICLE SPACES: 4
 3. 4 EMPLOYEE PARKING SPACES (2 PERPENDICULAR, 2 ACCESSIBLE SPACES) (ONE VAN PARKING SPACE)
 4. 13 REGULAR PARALLEL PARKING SPACES
 5. ALL PARKING LINES PAINTED WITH 4" WHITE STRIPPING PAINT UNLESS OTHERWISE NOTED ON PERMETER STRIPPING PAINT, UNLESS OTHERWISE NOTED ON PERMETER STRIPPING PAINT. (SEE A/C 21-09-09(R), 6.)
 6. ALL SIGN POSTS SHALL BE AT LEAST 3'-0" CLEAR OF THE PARKING SPACE OR DRIVE AISLE.

COND. USE PERMIT

DRAWN ON ANSI D (22X34). SCALE 50% IF PRINTED ON TABLOID (11X17); DRAWINGS AT HALF SCALE.



SITE PLAN
 SCALE: 1/4" = 1'-0"



EXPANSION:
 FUTURE BREWERY SPACE = 2728 sqft
 TAPROOM = 433 sqft
 OFFICE = 569 sqft
 OUTDOOR BEER GARDEN = 760 sqft

EXISTING:
 BREWERY = 1482 sqft
 TAPROOM = 1255 sqft
 OUTDOOR BEER GARDEN = 760 sqft

First Floor Plan

Scale: 1/8" = 1'-0"

Olen Associates, Inc.
 Construction Management Engineering Inspection
 1402 Lagoon Drive
 Eagle River, AK 99577
 Phone: (907) 644-0961
 Fax: (907) 644-0968
 with drawings.com

Girdwood Brewery
 Girdwood, Alaska

NO.	REVISION	DATE

JOB NO. 19-0000
 DATE 8/1/2019
 DRAWN BY JLS
 CHECKED BY JLS
 SHEET TITLE: FIRST FLOOR PLAN
 SHEET NO. A1.1

Departmental and Public Comments

Kimmel, Corliss A.

From: Wilson, Karleen K.
Sent: Tuesday, February 4, 2020 2:04 PM
To: Blake, Lori A.; Kimmel, Corliss A.; Whitfield, David R.
Subject: Case 2020-0012

No comments regarding the conditional use of 2700 Alyeska Highway.

Regards,

Karleen Wilson
Addressing Official
907.343.8168 (desk)
907.343.8466 (shared Addressing)
[Official Address Map](#)

RECEIVED

FEB 04 2020

PLANNING DEPARTMENT



MUNICIPALITY OF ANCHORAGE

Traffic Department



MEMORANDUM

DATE: January 30, 2020

TO: Current Planning Division Supervisor.
Planning Department

THRU: Kristen A. Langley, Traffic Safety Section Supervisor,
Traffic Department

FROM: Randy Ribble, Assistant Traffic Engineer

SUBJECT: **2020-0012 Amendment to Conditional Use Permit for Girdwood Brewing Co.
2700 Alyeska Highway, Girdwood Alaska**

Traffic recommends approval of this amendment to conditional use for expansion of the Girdwood Brewing Company with the following comments and conditions of approval.

Girdwood Brewery never completed the required site improvements from previous conditional use and land use permits (C16-1041) prior to submitting this amendment. The proposed site plan provides references to uncompleted site improvements but does not provide detail information for construction of these improvements. This same site plan was provided for a new Land Use permit (C20-1041) related to expansion of the brewery. The department has provided similar comments for correction in relation to land use permit for proposed site improvements.

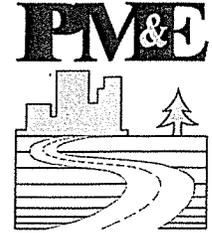
Traffic recommends the following conditions be placed on approval of this amendment.

1. Resolve with Traffic Engineering Department to provide a site plan for required parking to address the following items:
 - a. Provide a 5-foot-wide pedestrian pathway from proposed accessible parking spaces to primary entrance per 21.07.060 E.4. c.
 - b. Revise orientation of proposed accessible spaces to provide two perpendicular spaces with accessible aisle with proper signage and striping.
 - c. Coordinate with Traffic Engineering Department for locating the multiple traffic control signage proposed for the site. Several locations need adjustment.
 - d. Provide striping for the proposed separation from existing light pole location on west side of angle parking or relocate light to proposed end island.
 - e. Provide design details for expansion of the parking area for the increased parking requirements and construction of trail connection to Alyeska Highway by registered professional engineer.
 - f. Provide curbed end islands as required by AMC 21.07.090 H.8.b or provide details of proposed rock areas as shown on site plan.

2. Provide approval from Municipal Traffic Engineer and Planning Director for the employee parking locations. Reduce dimensions for employee parking is a parking reduction which requires a recorded parking reduction agreement with Municipality after the site plan is approved.
3. The pedestrian pathway to the right of way was never constructed as required in the previous conditional use and land use permit. This pathway is required by code and needs to be constructed with a reasonable time frame from approval of this conditional use. Traffic recommends 18 months or by end of the following construction season. This condition should be tied to future approval of the Brewery's alcohol permit if work is not completed within the specified time frame.



Municipality of Anchorage
Project Management and Engineering
MEMORANDUM



DATE: February 3, 2020

To: Dave Whitfield

FROM: Kyle Cunningham

SUBJECT: Case 2020-0012; Comments from Watershed Management Services.

RECEIVED

FEB 04 2020

PLANNING DEPARTMENT

Watershed Management Services (WMS) has the following comments for the March 2, 2020 Planning and Zoning Commission hearing:

- 2020-0012 – Alpine View Estates, Phase 3, Tract B-2C (Plat 2014-38);
 - Provide a Stormwater Pollution Prevention Plan (SWPPP) to WMS for review prior to the start of construction.
 - Is the “Drainage Catch Basin” shown at the at the southwest corner intended to treat runoff from the entire site? Was it designed for stormwater retention or detention? There are no grading details, pipes, ditches, or other conveyances shown on the plans to indicate that stormwater runoff from the development will be directed to the “drainage catch basin”, so I’m not sure what its intent and purpose are.
 - The site contains mapped wetlands, please contact the MOA Planning Department for permitting requirements.
 - It appears that this project will increase the footprint of the development which may require additional wetland credits to be purchased by the landowner. Contact the MOA Planning Department and the US Army Corps of Engineers to resolve the potential need for purchase of additional wetland credits.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: 2700 Alyeska Highway
- Project Location, Tax ID, or Legal Description: Girdwood, AK
Alpine View Estates Phase 3 Tract B-2C
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X DOES NOT contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

Please note:
this site
does contain
mapped wetlands

_____ DOES contain stream channels and/or drainageways AND these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping IS NOT REQUIRED.**

_____ Contains stream channels and/or drainageways BUT one or more streams or other watercourses:

- are NOT shown on submittal documents, or
- are NOT depicted adequately on submittal documents for verification, or
- are NOT located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown AND field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- Y N WMS written drainage recommendations are available. Preliminary Final
- Y N WMS written field inspection report or map is available. Preliminary Final
- Y N Field flagging and/or map-grade GPS data is available.

Inspection Certified By:

Date:

[Signature]

2/9/16

Affidavit of Posting and Historical Information



AFFIDAVIT OF POSTING

CASE NUMBER: 2020 - 0012

I, RORY MARENCO hereby certify that I have posted a Notice as prescribed by Anchorage Municipal Code 21.03.020H.5. on the property that I have petitioned for Conditional Use Amendment. The notice was posted on 2/4/2020 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 4th day of FEBRUARY, 2020.

[Signature]
Signature

LEGAL DESCRIPTION

Traet or Lot: B-2C

Block: _____

Subdivision: Alpine View Estates

**MUNICIPALITY OF ANCHORAGE
PLANNING AND ZONING COMMISSION RESOLUTION NO. 2016-025**

A RESOLUTION APPROVING A CONDITIONAL USE TO ALLOW GENERAL MANUFACTURING FOR A BREWERY, IN THE GC-10 (GIRDWOOD UPPER ALYESKA HIGHWAY COMMERCIAL) DISTRICT; WITHIN ALPINE VIEW ESTATES PHASE 3, TRACT B-2C, PER PLAT 2014-38; GENERALLY LOCATED SOUTH OF THE ALYESKA HIGHWAY, NORTH OF TANNER CIRCLE, AND WEST OF TIMBERLINE DRIVE, IN GIRDWOOD.

(Case 2016-0053; Tax I.D. No. 075-163-44)

WHEREAS, a request has been received from Girdwood Brewing Company for a conditional use to allow general manufacturing for a brewery in the gC-10 (Girdwood Upper Alyeska Highway commercial) district; within Alpine View Estates Phase 3, Tract B-2C, per Plat 2014-38, in Girdwood; and

WHEREAS, public hearing notices were published, posted, and mailed, and a public hearing was held on June 6, 2016.

NOW, THEREFORE, BE IT RESOLVED, by the Municipal Planning and Zoning Commission that:

A. The Commission makes the following findings of fact:

1. Porches and bay windows are not functionally appropriate for this site, which is located outside of the New Townsite, and where retail merchandise will not be displayed exterior to the building.
2. The petitioner has done a lot of community outreach and the community accepts this project. There are ways that the petitioner can go above and beyond regulatory requirements, and the Commission hopes that the developer will continue to do this.
3. The petitioner is applauded for the project and for navigating the regulatory requirements. The Commission does not want this project to lack parking and create a problem like the Rustic Goat development had.
4. The building is more industrial looking than commercial looking and it could have been designed differently, such as placing the building entrances facing the parking area. The problem with the zoning code is that it is too complicated, and, then, it is not followed because it is very expensive to build a Vale, Colorado style building in Girdwood, Alaska. If development projects cannot meet the rulebook, then we should stop making the rules so complicated, and, instead, focus on basic site plan, building orientation, and access issues.

B. The Commission approves a conditional use to allow general manufacturing for

a brewery, in the gC-10 district, subject to the following conditions:

1. This approval is subject to the petitioner's application, narrative, and the following plans on file at the Planning Division, except as modified by these conditions of approval:

Plot Plan, prepared by The Boutet Company, dated January 24 2016;
Grading Plan Sheet C1, prepared by Triad Engineering, dated May 25
2016; Girdwood Brewery, Sheets A1.0, A1.1, A1.2, and A1.3, prepared by
Oien Associates, Inc., dated March 23, 2016.

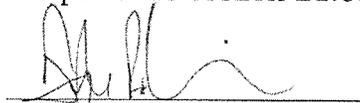
2. A notice of zoning action and a final approved site plan shall be filed with the State Recorder's Office. Proof of such shall be submitted to the Planning Division.
3. Dimension the distance between the corner of the building and the west lot line to verify that the 20-foot side setback is met.
4. Provide a multi-use pathway from the Alyeska Highway to the sidewalk attached to the building that does not have to be paved.
5. Extend the sidewalk to meet all entrances around the building.
6. Revegetate the parking lot landscape islands and protect them with a Type I barrier curb, in accordance with AMC 21.09.070E.8. *Revegetation of Disturbed Areas*.
7. Verify that the width of all walkways have a minimum width of five feet and provide roof overhang protection from falling snow as required by AMC 21.09.070H. *Pedestrian Circulation*.
8. Provide timber frame accents man-doors at the main public entrances of these spaces, excluding garage doors.

PASSED AND APPROVED by the Municipal Planning and Zoning Commission on the 6th day of June 2016.

ADOPTED by the Anchorage Planning and Zoning Commission this 13th day of June, 2016. This written decision/resolution of the Planning and Zoning Commission is final and any party may appeal it within twenty (20) days to the Board of Adjustment pursuant to Anchorage Municipal Code section 21.03.050A.

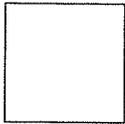


Hal H. Hart, AICP
Secretary



Tyler Robinson
Chair

(Case 2016-0053; Tax ID No. 075-163-44)



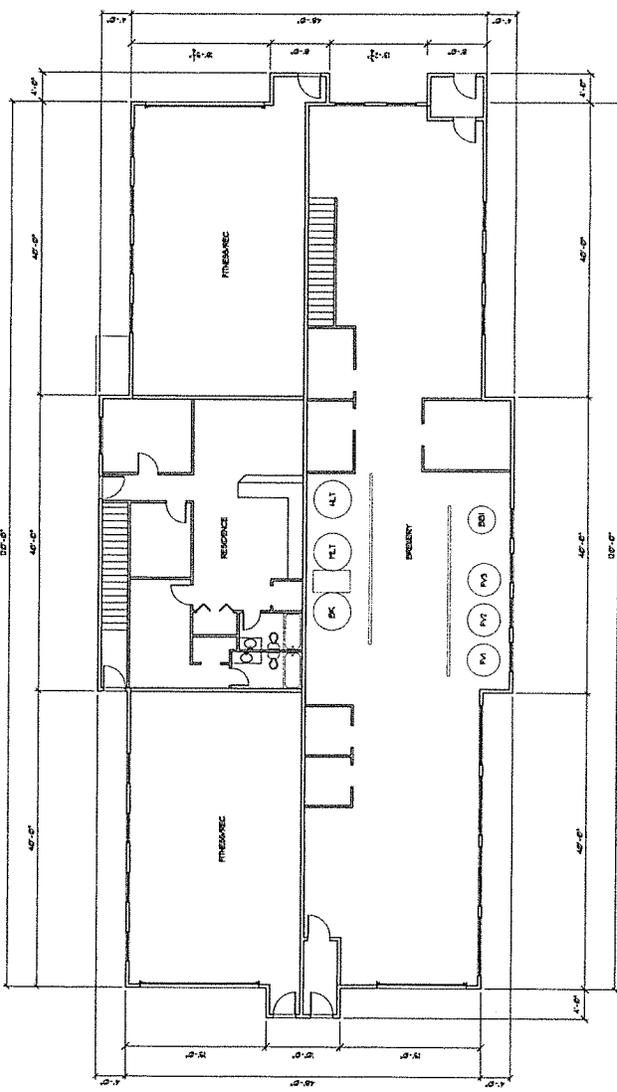
Olen Associates, Inc.
 Construction Management Engineers Inspectors
 8222 Horizon Drive
 Fairbanks, Alaska 99709
 Phone: (907) 454-0001
 Fax: (907) 454-0003
 Email: dolan@olenai.com

Girdwood Brewery
 Girdwood, Alaska

NO.	REVISION	DATE

JOB NO. 03003
 DATE 6/2/04
 DRAWN BY JLD
 CHECKED BY JLD
 PROJECT NO. 03003

SHEET TITLE: FIRST FLOOR PLAN
 SHEET NO: A1.1

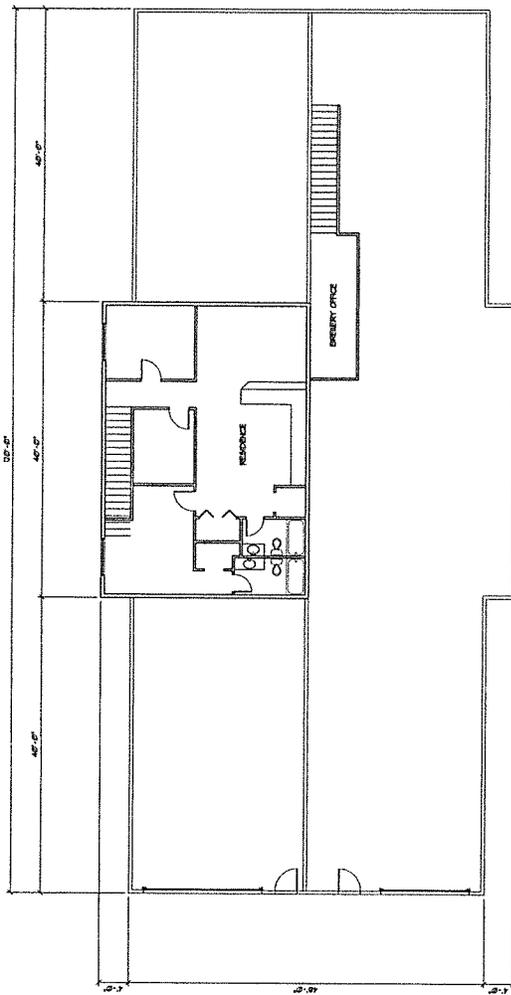


First Floor Plan
 Scale: 1/8" = 1'-0"

IF THIS SHEET IS LESS THAN 22"x34" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

IF THIS SHEET IS LESS THAN 22"x34" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

Second Floor Plan
Scale: 1/4" = 1'-0"



SHEET NO. A1.2

SECOND FLOOR PLAN

SHEET TITLE

REVISIONS

DATE

BY

DATE

BY

DATE

BY

DATE

BY

DATE

BY

Girdwood Brewery

Girdwood, Alaska

Olen Associates, Inc.
CONSTRUCTION MANAGEMENT, ENGINEERING, INSPECTION
1507 LAKEMAN DRIVE
FAIRBANKS, ALASKA 99701
PHONE: (907) 464-0588
FAX: (907) 464-0587
WWW.OLENASSOCIATES.COM