

# Application for Administrative Site Plan Review

Municipality of Anchorage  
Planning Department  
PO Box 196650  
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) <u>John McGraw &amp; Glenn Gallet w/ Swell, LLC</u>		Name (last name first) <u>Brandon Marcott, Triad Engineering, LLC</u>	
Mailing Address <u>1113 W. Fireweed Lane, Suite 202</u>		Mailing Address <u>P.O. Box 111989</u>	
<u>Anchorage, AK 99503</u>		<u>Anchorage, AK 99511</u>	
Contact Phone – Day <u>John - 907.331.8882</u>	Evening <u>john.j.mcgraw@gmail.com</u>	Contact Phone – Day <u>907.344.3114</u>	Evening
Fax <u>Glenn - 907.748-6157</u>	<u>glenn.gallet@gmail.com</u>	Fax	
E-mail		E-mail <u>brandonmarcott@triadak.com</u>	

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): <u>006-421-43-000</u>			
Site Street Address: <u>Tract A1-2 Checkpoint Subdivision, Anchorage, AK</u>			
Current legal description: (use additional sheet if necessary) <u>Tract A1-2, Checkpoint Subdivision</u>			
Zoning: <u>R4</u>	Acreage: <u>5.49</u>	Grid #: <u>SW1238</u>	Underlying plat #: <u>2020-30</u>

SITE PLAN APPROVAL REQUESTED	
Use: <u>Dwelling, Multi-family Residential</u>	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan      Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Brandon Marcott      3.9.21  
Signature      ☐ Owner      ☒ Representative      Date  
(Representatives must provide written proof of authorization)

**Brandon Marcott**

Print Name

Accepted by:

Poster & Affidavit:

Fee:

Case Number:

2021-0051

**COMPREHENSIVE PLAN INFORMATION**Anchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural**Anchorage 2040 Land Use Designation(s):**

- |                                                           |                                                            |                                                                     |
|-----------------------------------------------------------|------------------------------------------------------------|---------------------------------------------------------------------|
| <input type="checkbox"/> Large Lot Residential            | <input type="checkbox"/> Single and Two-family Residential | <input checked="" type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High          | <input type="checkbox"/> Neighborhood Center                        |
| <input type="checkbox"/> Town Center                      | <input type="checkbox"/> Regional Commercial Center        | <input type="checkbox"/> City Center                                |
| <input type="checkbox"/> Commercial Corridor              | <input type="checkbox"/> Main Street Corridor              | <input type="checkbox"/> Open Space                                 |
| <input type="checkbox"/> Facilities and Institutions      | <input type="checkbox"/> Industrial                        |                                                                     |

**Anchorage 2040 Growth Supporting Features:**

- |                                                         |                                                               |
|---------------------------------------------------------|---------------------------------------------------------------|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development    |
| <input type="checkbox"/> Greenway-supported Development | <input type="checkbox"/> Traditional Neighborhood Development |

**Chugiak-Eagle River Land Use Classification:**

- |                                                                       |                                                  |                                             |                                              |
|-----------------------------------------------------------------------|--------------------------------------------------|---------------------------------------------|----------------------------------------------|
| <input type="checkbox"/> Commercial                                   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks              | <input type="checkbox"/> Community Facility  |
| <input type="checkbox"/> Town Center                                  | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre |                                                  |                                             |                                              |

**Girdwood- Turnagain Arm Land Use Classification:**

- |                                                                       |                                                  |                                             |                                                    |
|-----------------------------------------------------------------------|--------------------------------------------------|---------------------------------------------|----------------------------------------------------|
| <input type="checkbox"/> Commercial                                   | <input type="checkbox"/> Industrial              | <input type="checkbox"/> Parks/open space   | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort                                       | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve                   |
| <input type="checkbox"/> Commercial/Residential                       | <input type="checkbox"/> Commercial Recreation   |                                             |                                                    |
| <input type="checkbox"/> Residential at _____ dwelling units per acre |                                                  |                                             |                                                    |

Neighborhood, District or Other Area-Specific Plan: East Anchorage District Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- |                                |                                          |                                    |                                         |                                                           |
|--------------------------------|------------------------------------------|------------------------------------|-----------------------------------------|-----------------------------------------------------------|
| Wetland Classification:        | <input checked="" type="checkbox"/> None | <input type="checkbox"/> "C"       | <input type="checkbox"/> "B"            | <input type="checkbox"/> "A"                              |
| Avalanche Zone:                | <input checked="" type="checkbox"/> None | <input type="checkbox"/> Blue Zone | <input type="checkbox"/> Red Zone       |                                                           |
| Floodplain:                    | <input checked="" type="checkbox"/> None | <input type="checkbox"/> 100 year  | <input type="checkbox"/> 500 year       |                                                           |
| Seismic Zone (Harding/Lawson): | <input type="checkbox"/> "1"             | <input type="checkbox"/> "2"       | <input checked="" type="checkbox"/> "3" | <input type="checkbox"/> "4" <input type="checkbox"/> "5" |

**RECENT REGULATORY INFORMATION** (Events that have occurred in last 5 years for all or portion of site)

- |                                                                                                                                                                                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Rezoning - Case Number:                                                                                                                                                |
| <input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): S12542                                                                               |
| <input type="checkbox"/> Conditional Use - Case Number(s):                                                                                                                                      |
| <input type="checkbox"/> Zoning variance - Case Number(s):                                                                                                                                      |
| <input type="checkbox"/> Land Use Enforcement Action for                                                                                                                                        |
| <input type="checkbox"/> Building or Land Use Permit for                                                                                                                                        |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input checked="" type="checkbox"/> Municipality of Anchorage Water/Sewer Mainline Extensions WS20-007 |



### SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original)  
☒ Watershed sign off form, completed  
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 26 copies required: ☒ Signed application (copies)  
☒ Project narrative explaining:  
☒ the project ☐ planning objectives  
☒ addressing the site plan review criteria on page 3 of this application  
☒ Site plan to scale depicting, with dimensions:  
☒ building footprints ☒ parking areas ☒ vehicle circulation and driveways  
☒ pedestrian facilities ☒ lighting ☒ grading  
☒ landscaping ☐ loading facilities ☐ freestanding sign location(s)  
☒ required open space ☒ drainage ☒ snow storage area or alternative  
strategy  
☒ trash receptacle location and screening detail ☐ fences  
☐ significant natural features ☒ easements ☒ project location  
☒ Building plans to scale depicting, with dimensions:  
☒ building elevations ☒ floor plans ☒ exterior colors and textures  
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

### SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.



ENGINEERING, LLC

PHYSICAL

MAILING

OFFICE

WEB

1300 E. 68th Ave., Suite 210

P.O. Box 111989

907-344-3114

triadak.com

Anchorage, AK 99518

Anchorage, AK 99511

## Trailpoint Multifamily Residential Development Narrative

### Introduction

The proposed project is a residential development with a Dwelling, Multifamily use as defined within Title 21. The project is located south of Glenn Highway and east of Newell Street in Anchorage, Alaska. The property is owned by Spinell Homes, Inc. The current zoning of the site is R4.

The proposed development is for three (3) separate multifamily style residential buildings and associated parking. A total of 30 residential units are proposed; 9 within Building A1, 9 within Building A2 and 12 within Building C. The current legal description of the site is Tract A1-2, Checkpoint Subdivision (Plat 2020-30). Tract A1-2 is 5.49 acres in size and abuts Newell Street and Whisperwood Park Drive ROW. Vehicular access to the site will be from Newell Street which is owned and maintained by the Municipality of Anchorage. Property to the north is zoned R4. Property to the east is zoned R4. Property to the south, across Whisperwood Park Drive, is zoned R3. Currently all land surrounding the subject property is vacant of any development. A church is planned for the R4 property to the north and a single-family development is planned for the R3 property to the south across Whisperwood Park Drive.

The property developer and applicant is Swell, LLC. The architect is Faulkenberry and Associates. The project engineer is Triad Engineering, LLC. The project surveyor is The Boutet Company, Inc. Site construction is anticipated to begin in the spring of 2021 with building construction beginning mid-summer 2021.

### Request for Approval

This application requests approval for this Administrative Site Plan Review for this development. Please see the narrative below and attached plan sets for more information.

### Application Requirements

The proposed residential development includes three (3) multifamily style structures consisting of thirty (30) residential units on one, R4 zoned, lot. This is a permitted use under the Administrative Site Plan Review process (AMC 21.07.110.F.2 Site Design). The applicable sections of Title 21 are as follows:

- AMC 21.04.02.I R-4 Multifamily Residential District
- AMC 21.05.030.A.2 Dwelling Multifamily
- AMC 21.06 Dimensional Standards and Measurements
- AMC 21.07.030B.4 – Applicability and Open Space Requirement
- AMC 21.07.080E.1 – Site Perimeter Landscaping Requirements



- AMC 21.07.080E.2.c – Parking Lot Interior Landscaping Requirements
- AMC 21.07.090E – Off-street Parking Requirements
- AMC 21.07.110C – Standards for Multifamily and Townhouse Residential
- AMC 21.07.110F.2 – Multiple Structures on One Lot

#### **AMC 21.04.02.1 – Multifamily Residential District**

1. **Purpose** – *The R-4 district is a multifamily medium to high density residential district. It is intended primarily for multifamily and multi-story residential buildings, but also allows single-family, duplex, and townhouse residential development. For multi-story buildings, the maximum size of buildings and intensity of use is regulated by floor area ratio (FAR) and other site development standards. Multi-story development is intended to be applied in areas well served by transit and/or arterial streets, and by supportive commercial services near the major commercial and employment centers in downtown and midtown. Although some commercial development is allowed within a residential development, the district is intended to be primarily residential. For multi-story buildings, development is intended to be oriented to the sidewalk with windows, entrances, and walkways to provide strong pedestrian connections to nearby services.*

The site is well served by transit and collector/arterial streets. Trailpoint is a multi-story residential development oriented towards the sidewalk and provides strong pedestrian connections to Newell Street.

2. **District Specific Standards**

- a. **Allowed Commercial Uses**

Not used. No commercial uses proposed.

- b. **Alcohol Sales Prohibited**

*Special land use permits for alcohol shall not be authorized for uses in the R-4 district.*

Not used. Alcohol sales are not proposed.

- c. **Floor Area Ratio (FAR)**

*The maximum floor area ratio (FAR) in the R-4 district is 1.0, but may be increased through the bonus provisions in subsection 231.04.020I.2.d. below.*

Total gross floor area of the Buildings A1, A2 and C is 28,772 ft<sup>2</sup>. Total area of this phase of development is 74,180 ft<sup>2</sup>. Floor area ratio is approximately 0.39.

- d. **Building Height Increase**

*Buildings in the R-4 district may exceed the maximum height established in table 21.06-1, up to a maximum total height of 70 feet (or slightly more – see subsection 21.06.030D.7., Height Adjustments), subject to all of the following requirements to encourage the provision of light and air at the ground level, and active uses on the ground floor facing the street:*

Not used. Building height not to exceed maximum allowed in Table 21.06-1.

- e. **Maximum Building Length**

*The maximum length of a townhouse-style building elevation shall be 300 feet.*

Not used. Building style is multi-story multi-family.

#### **AMC 21.05.030.A.2 Dwelling, Multifamily**

- a. Definition – A residential building or multiple residential buildings comprising three or more dwelling units on one lot. The definition includes the terms “apartment” or “apartment building.”**

Trailpoint will contain thirty (30) dwelling units on one lot.

**b. Use Specific Standards**

- i. Multifamily developments that consist of three or more units in one building shall comply with Section 21.07.110C., Standards for Multifamily Residential, except as provided in subsection b.iii. below.**

Trailpoint will contain more than three (3) dwelling units per building which meets the multifamily development definition.

#### **AMC 21.06 Dimensional Standards and Measurements**

- **Minimum lot area 6,000 ft<sup>2</sup> – 74,180 ft<sup>2</sup> provided**
- **Minimum lot width 50 ft – 291 ft provided**
- **Max lot coverage 60% - 15.70% provided**
- **Maximum setback requirements**
  - **Front 10 ft – 202 ft provided**
  - **Rear 10 ft – 11.33 ft provided**
  - **Side 5 ft plus one foot for each 5 feet in height exceeding 35 feet – 16 ft provided**
- **Maximum number of principal structures per lot or tract**
  - **More than one principle structure may be allowed on any lot or tract in accordance with subsection 21.07.110F.2**  
Trailpoint has three buildings and meets the requirements of 21.07.110F.2 as discussed further below.
- **Maximum height of structures**
  - **Principal: 45 ft – 38.50 feet**

#### **AMC 21.07.030B.4 Applicability and Open Space Requirement**

- 4. R-4 and R-4A districts: 100 square feet of private open space per dwelling unit. Group living uses and nonresidential development shall provide an area equal to five percent of the gross floor area for open space.**

For 30 dwelling units, 3,000 ft<sup>2</sup> of private open space is required. Trailpoint provides 3,757 ft<sup>2</sup> of private open space.

#### **AMC 21.07.080E.1 Site Perimeter Landscaping Requirements**

- b. Applicability – Site perimeter landscaping shall be provided along the perimeter property line of development sites in accordance with table 21.07-2.**
- **North Property R-4 – N/A**

- **East Property R-4 – N/A**
- **West Collector – L1**
- **South Property R-4 – N/A**

#### **AMC 21.07.080E.2.c Parking Lot Interior Landscaping Requirements**

***Parking lot interior landscaping is intended to visually enhance and break up the area of larger parking lots. Parking lot interior landscaping is required for a parking lot with 40 or more parking spaces. The area of the parking lot shall be determined by the total paved area including parking, circulation aisles, and appurtenant driveways. Development in the DT districts is exempt from the requirements in this subsection, and shall instead follow the parking lot landscaping standards set forth in 21.11.070D.1***

The parking lot contains 53 stalls so parking lot interior landscaping is required. The total parking and drive aisle area is 24,820 square feet.

- i. Parking lot interior landscaping requirements are as follows:***
  - a. 40 to 100 parking spaces: An area equal to at least five percent of the parking lot shall be devoted to landscaping.***  
1,241 square feet of landscaping is required and 1,254 square feet is provided.
  - ii. Areas eligible to be counted as parking lot interior landscaping in subsection c.i. above shall be surrounded by parking area and/or driveway on at least three sides, except that up to 50 percent of the total parking lot interior landscaping, up to a maximum of 800 square feet, may include landscaping areas with parking area and/or driveway on only two sides (such as corner areas of parking lots).***  
Of the 1,254 square feet of parking lot interior landscaping required, 627 square feet or 50% has parking area and/or driveway on only two sides.

#### **AMC 21.07.090E Off-street Parking Requirements**

- 1. Minimum Number of Spaces Required – Unless otherwise expressly stated in this title, off-street parking spaces shall be provided in accordance with table 21.07-4, Off-Street Parking Spaces Required and subsection E.2. below. Reductions, exemptions, and alternatives to the required minimum number of parking spaces are provided in subsection 21.07.090F. below.***
  - ***Dwelling, Multifamily***
    - ***1 per studio or efficiency or one bedroom du – 1 x 30 units = 30 required***
    - ***Add 0.5 spaces for each additional bedroom – 0.5 x 40 bedrooms = 20 required***
    - ***Add 0.10 guest parking spaces for each multifamily du with a minimum of 1 guest space – 0.10 x 30 = 3 required***
    - ***53 total stalls required – 53 stalls provided.***

#### **AMC 21.07.110C Standards for Multifamily and Townhouse Residential**

- 3. Windows Facing the Street (21.07.110.C.3; p.7-120)***
  - a. Windows: At least 10 percent of the wall area of the building elevation shall be windows or primary entrance doors.***



- The west wall of Building A1 faces Newell Street. The area of this wall is 2,466 sf. The total area of doors and windows is 415 sf. This complies.
- The north wall of Building A1 faces Road 2. The area of this wall is 1,787 sf. The total area of doors and windows is 270 sf. This complies.
- The east wall of Building A1 faces Road 1. The area of this wall is 2,466 sf. The total area of doors and windows is 443 sf. This complies.
- The west wall of Building A2 faces Road 2. The area of this wall is 1,787 sf. The total area of doors and windows is 270 sf. This complies.
- The north wall of Building A2 faces Road 1. The area of this wall is 2,466 sf. The total area of doors and windows is 443 sf. This complies.
- The south wall of Building C faces Road 1. The area of this wall is 2,974 sf. The total area of doors and windows is 764 sf. This complies.
- This project complies with this requirement.

**4. Building Spacing (21.07.110.C.4; p.7-121):**

**a. The average distance between units shall be a minimum of 24 feet.**

This distance between Building A1 and Building A2 is 71.50 feet. The distance between Building A2 and Building C is 98.50 feet. This project complies with this requirement.

**5. Pedestrian Access (21.07.110.C.5; p.7-121 & 122):**

This project provides walkway connections from primary front entrances to the street.

**7. Building Articulation (21.07.110.C.7; p.7-124 & 125): Any building elevation facing a street or having a primary front entrance shall provide at least four features from the menu below, except that the end walls of rows of dwelling units may provide as few as three features. This section shall apply to no more than two building elevations, with priority to at least one elevation facing the street. Each building elevation may use different menu choices.**

This project is utilizing the following methods:

**a. Wall Articulation:**

- i. Building A1 - 1<sup>st</sup> Elevation (West wall facing Newell Street): This wall has three recesses along the face of this wall ranging from 2.0 ft. to 16.0 ft. in depth.
- ii. Building A1 - 2<sup>nd</sup> Elevation (East wall - Primary Entrance): This wall has four recesses along this face ranging from 4.0 ft. to 25.3 ft.
- iii. Building A2 - 1<sup>st</sup> Elevation (North wall - Primary Entrance): This wall has four recesses along this face ranging from 4.0 ft. to 25.3 ft.
- iv. Building A2 - 2<sup>nd</sup> Elevation (West wall - Facing Road 2): This wall has three recesses along this face ranging from 2.0 ft. to 38.0 ft.
- v. Building C - 1<sup>st</sup> Elevation (South wall – Primary Entrance): This wall has four recesses along this face ranging from 2.0 ft. to 32.0 ft.
- vi. Building C - 2<sup>nd</sup> Elevation (West wall facing Parking Lot): This wall has one recess of 5.5 ft.

**b. Overall Building Modulation:**

All buildings comply with this method.

**d. Variation of Exterior Finishes:**

All buildings utilize two or more primary wall siding materials and/or changes in color.

**f. Balconies:**

All buildings have balconies that are at least four feet deep.

**h. Additional Window Area:**

All buildings utilize this method.

**i. Entry Articulation:**

All buildings have enhanced articulation of the primary front entrance with sheltering roof structures, wall projections/recesses and having a depth of at least four feet for the width of the entry space.

**j. Building Elevations Free of Garage Doors:**

All buildings and their elevations are without garage bay doors.

**m. Variation in Building Form or Scale:**

There is variation in architectural form and scale between all the buildings on site. Building A2 is the mirror image of Building A1 while Building C is a different architectural form and scale from Buildings A1 and A2.

- 8. Northern Climate Weather Protection and Sunlight Menu (21.07.110.C.8; p.7-126 & 127): Building and site design shall respond to Alaska's northern climate, including the effects of snow, ice, low temperatures, wind exposure, and low and seasonal sunlight conditions, which impacts the pedestrian environment and livability of denser compact housing areas, by providing at least four features from the following menu on buildings comprised of eight or more units. Menu choices 8.f., Year-Round Access to Sunlight; 8.g., Sunlight Access for Neighbors; 8.i., Sun Trap; 8.j., Atrium; and 8.l., Sunlit and Wind Protected Courtyards, shall each count as two features:**

This project utilizes the following methods to comply with this requirement:

**a. Weather Protected Entrance:**

All buildings provide outdoor shelter as permanent architectural feature and covers at least 24 sf of outdoor entryway space for each primary front entrance of each Building.

**f. Year-Round Access to Sunlight:**

Note: This method counts as two features: This project ensures that one or more windows of every dwelling in the development will receive sunlight access for at least one hour on December 21.

**h. Daylighting:**

Apartment daylighting and building spacing of this project is achieved by having at least one window in the main living area of each dwelling unit such that an imaginary daylight plane extending from the window and formed by an angle of 60 degrees that is unobstructed for a horizontal distance of 60 feet.

- 9. Entryway Treatment (21.07.110.C.9; p.7-128): Primary front entrances shall be given emphasis and physical access as follows. A porch, landing, patio, or other semi-private outdoor entryway space with a minimum dimension of four feet shall be provided that is distinguished from adjacent areas and vehicular parking by a vertical separation or change in surface material.**

This project complies with this requirement.

**AMC 21.07.110F.2 Multiple Structures on One Lot**

**b. Applicability and Review Process**

- i. This section applies to the development of three or more principal residential structures on a single lot. It does not apply to the development of an accessory dwelling unit or a caretaker's unit.***

Trailpoint contains three principal residential structures.

- ii. Multiple residential structures on a single lot are permitted in the R-2M, R-3, R-3A, R-4, R-4A, B-3 and RO districts.***

Trailpoint is zoned R-4.

- iii. Applicable developments with between three and 30 dwelling units shall be approved by administrative site plan review pursuant to subsection 21.03.180C. Applicable developments with 31 or more dwelling units shall be approved by major site plan review pursuant to subsection 21.03.180D.***

Trailpoint contains 30 dwelling units and shall be reviewed and approved by administrative site plan review.

**c. Approval Criteria**

- i. The proposal shall clearly distinguish between streets and driveways. Streets shall allow vehicles to travel into and within the development and shall be the means of assigning an address to dwelling units. Driveways shall access garages and parking areas. Some small developments may not need a street network.***

An internal, twenty-nine (29) foot wide, private road provides access to the parking areas. This configuration meets the recently updated driveway standards of Section 21.90.

- ii. Dwelling units shall be oriented towards streets (either within the development or along the boundary of the development) or towards a courtyard or similar common open space. Buildings with frontage on both a street and a driveway shall be oriented towards the street. If the development is so small that no internal street network is necessary, then buildings and dwelling units shall be oriented towards the local public streets on the boundaries of the development, or towards common open space.***

Buildings within Trailpoint are oriented towards both external streets and the internal road and parking areas.

- iii. The area between the front of a unit facing a street and the street shall include landscaping or lawn, so that the streetscape features green space rather than just paved parking areas. Adequate snow storage area shall be provided. On-street parking shall be accommodated (if provided).***

Landscaping is provided in all locations not required for vehicle maneuvering. Adequate snow storage is provided onsite (10% per ACM 21.07.040F.4.b). Required snow storage is 2,430 ft<sup>2</sup> and 2,651 ft<sup>2</sup> is provided.

- iv. Developers should make every effort to design and arrange dwelling units in such a manner as to provide "eyes on the street," take advantage of solar access, and the extent feasible, provide privacy for neighboring units' yards.***

Trailpoint is configured to provide eyes on the internal road within the development. Sidewalk is provided along this corridor creating an inviting connection from Newell Street to the front entrance



of each building. Solar access is maximized by locating each building on opposite sides of the drive aisle and parking areas. Landscaped areas along the perimeter maximize privacy for neighbor's yards.

- v. In addition to sidewalks required by section 21.07.060, pedestrian pathways shall be provided to large open space areas and in the middle of long blocks. Pedestrian circulation should be convenient both within the development and to appropriate neighboring areas outside the development.**

Trailpoint provides sidewalk and pedestrian connectivity to Newell Street.

- vi. The development is designed to take advantage of any significant natural features on site, and to provide usable open space and recreation areas.**

The site does not contain any significant natural features. Open space provided within Trailpoint exceeds the minimum amount required by AMC 21.10.040G.3.h.viii.

- d. Development Agreement – The developer shall enter into a development agreement with the department, using the provisions established in subsection 21.03.100E., Improvements Associated with Land Use Permits.**

A development agreement for Trailpoint is not anticipated to be required.

- e. Minimum Standards – All development with multiple residential structures on a single lot shall meet the following minimum standards, in addition to the applicable standards of this title.**

- i. Open Space – For developments with 31 or more dwelling unit, at least half of the private open space required by section 21.07.030 shall be provided as common private open space, meeting the standards of section 21.070.030, and designed and placed to serve all residences. The decision-making body may adjust the amount of open space required to be common by up to 10 percent, based on the written findings regarding site specific conditions.**

Trailpoint contains 30 dwelling units. This section does not apply.

- ii. Building Spacing – If subsection 21.07.110C.4. does not apply, then the following shall apply: within a development, no portion of any single-, two- or three-story building shall be closer than 10 feet from any other single-, two-, or three-story building. All portions of any building taller than three stories shall be separated by no less than 20 feet from any other building.**

Building spacing exceeds the 10 feet minimum required above.

- iii. Vehicle Plug-in – Each unit with no garage shall be provided with at least one electrical outlet that is convenient to the required parking space(s).**

Vehicle plug-ins are provided for 30 parking spaces (1 per each dwelling unit).

#### **Site Plan Review Standards (21.03.180)**

- 1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent or land use approval;**

The site plan conforms to the previously approved and recorded plat for Tract A1-2 Checkpoint Subdivision.

- 2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06 Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards;**

The development and design standards associated with these chapters have been addressed in detail above.

- 3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and**

Significant adverse impacts from this development are not anticipated. Thirty (30) multifamily dwelling units generates approximately 200 average daily trips. Newell Street is a collector road complete with curb and gutter and sidewalk amenities on the east side of the road. The recently constructed road can handle the relatively small increase in traffic loading. No offsite improvements are anticipated to be necessary based on the increase in daily trips.

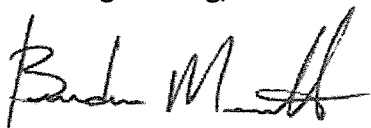
- 4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.**

The proposed development is consistent with the goals, objectives, and policies of the 2040 Land Use Plan. The thirty dwelling units shown meet the Compact Mixed Residential – low land use designation. Additionally, the Class A development standard meets the “Urban Neighborhoods” concept of the East Anchorage District Plan. Urban neighborhoods provide a range of housing including multi-family, townhomes, and small-lot, single-family options. The East Anchorage District Land Use Map also identifies this location as Medium-Intensity Residential.

Thank you for your time and consideration in this matter. If you have any questions or require additional information, please call 344-3114 or email me at [brandonmarcott@triadak.com](mailto:brandonmarcott@triadak.com).

Sincerely,

Triad Engineering, LLC



Brandon Marcott, P.E.

TRACT A1-1

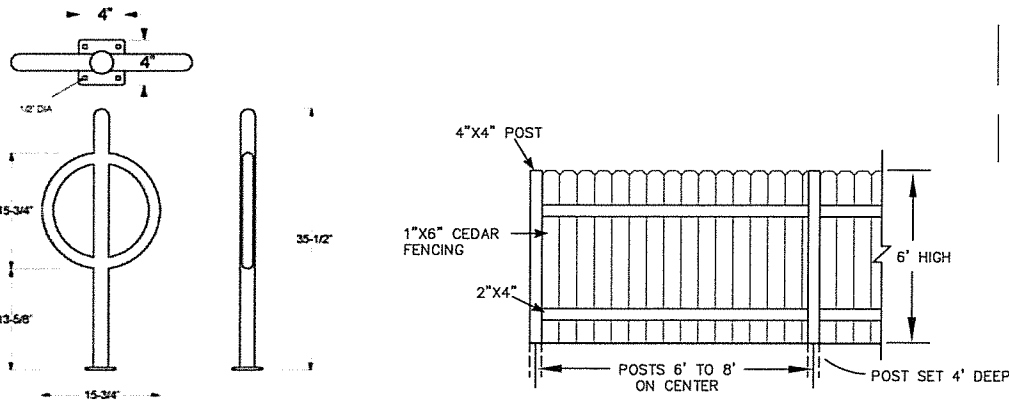
SITE PLAN DATA - TRAILPOINT

SITE REQUIREMENT	REQUIRED	PROVIDED	ADDITIONAL NOTES
CURRENT ZONING	R4	-	
MINIMUM LOT AREA	6,000 FT <sup>2</sup>	74,180 FT <sup>2</sup>	
BUILDING FOOTPRINT	MAX 60% ALLOWED	15.70%	11,648 FT <sup>2</sup> TOTAL BLDG FOOTPRINT
PARKING	1 BEDROOM UNITS: 4 x 1.0 = 4 2 BEDROOM UNITS: 12 x 1.5 = 18 3 BEDROOM UNITS: 14 x 2.0 = 28 GUEST PARKING: 30 x 0.10 = 3 TOTAL: 53	53 STALLS	
ACCESSIBLE SPACES	3 STALLS	3 STALLS	1 STALL VAN ACCESSIBLE
LOADING BERTH	NOT REQUIRED	NONE	LESS THAN 50 UNITS PER BLDG
BUILDING HEIGHT	MAXIMUM HEIGHT 45 FT	38.50 FT	MEASURED TO MIDPOINT OF ROOF
BUILDING SETBACKS	FRONT - 10 FT	202.00 FT	BLDG A1 & WHISPERWOOD PARK DR
	SECONDARY FRONT - 5 FT	16.00 FT	BLDG A1 & NEWELL STREET
	SIDE - 6 FT	11.33 FT	BLDG C & TRACT A1-1
	REAR - N/A	N/A	NO REAR YARD ON DOUBLE FRONTAGE
PARKING LOT AREA	N/A	24,820 FT <sup>2</sup>	
SNOW STORAGE	2,482 FT <sup>2</sup>	2,660 FT <sup>2</sup>	RESIDENTIAL USE IS 10% OF MOTORIZED VEHICLE PARKING/ACCESS
PARKING LOT INTERIOR LANDSCAPING	1,241 FT <sup>2</sup>	1,254 FT <sup>2</sup>	40 TO 100 STALLS REQUIRES 5% OF PARKING LOT BE LANDSCAPING
OPEN SPACE	3,000 FT <sup>2</sup>	3,150 FT <sup>2</sup>	100 FT <sup>2</sup> PER DWELLING UNIT
LANDSCAPING	SOUTH - N/A	NONE	R4 & R4
	WEST - L1 LANDSCAPING	L1	R4 & COLLECTOR ROAD
	NORTH - N/A	NONE	R4 & R4
	EAST - N/A	NONE	R4 & R4

LANDSCAPING NOTES  
1. SEE THE LANDSCAPING PLAN FOR ADDITIONAL LANDSCAPING INFORMATION.

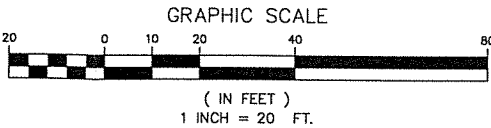
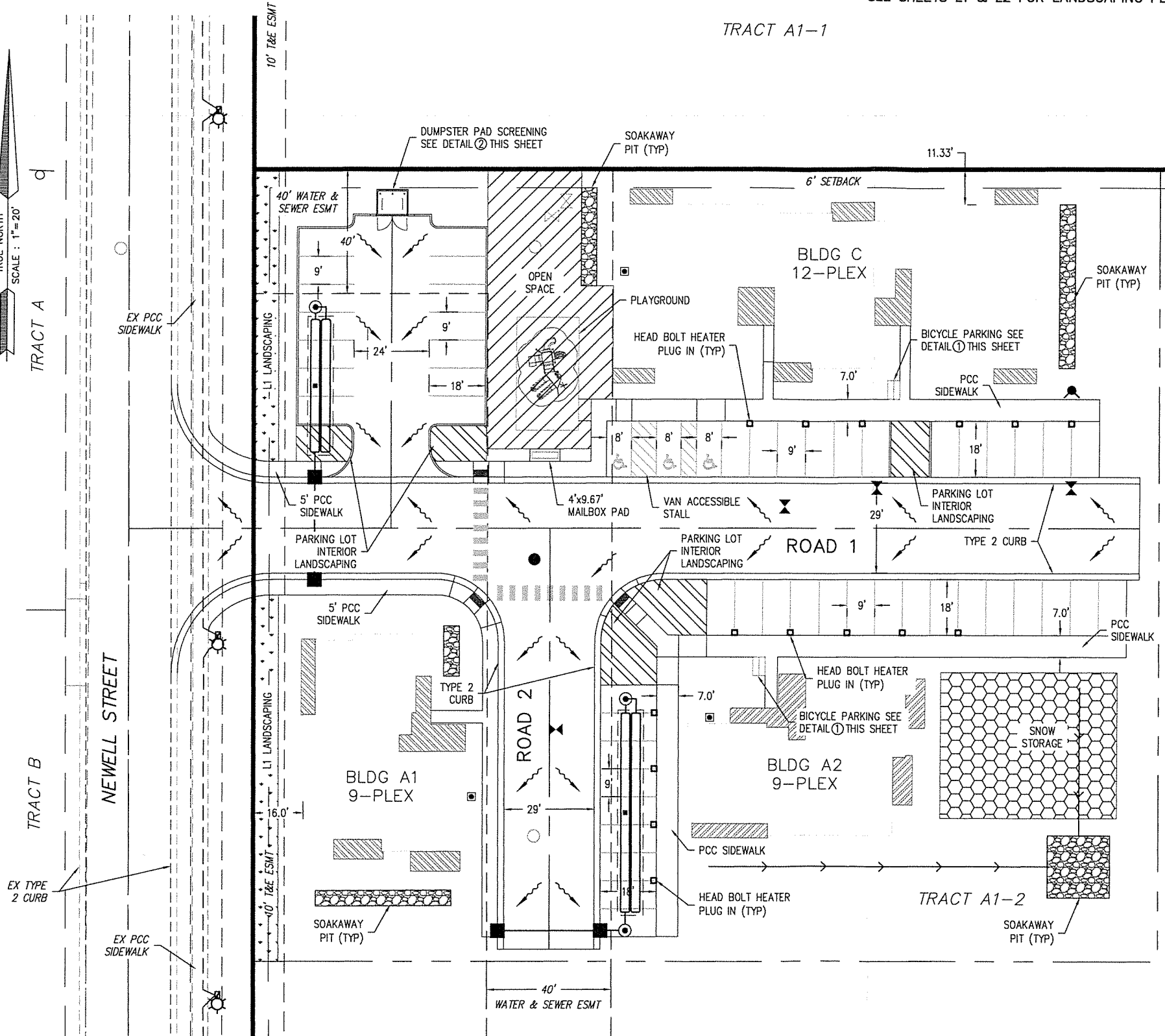
LEGEND

	OPEN SPACE		LANDSCAPING
	SNOW STORAGE		DECKS
	PARKING LOT INTERIOR LANDSCAPING		HEAD BOLT HEATER PLUG IN (TYP)
	SOAKAWAY PIT		



① BICYCLE STALL PARKING  
SCALE: NTS 4 SPACES (2 UNITS)

② DUMPSTER PAD SCREENING  
SCALE: NTS



AWWU PLAN SET NO. 00000

RECORD DRAWING

1. DATA PROVIDED BY: [Signature]

2. DATA TRANSFERRED BY: [Signature]

3. DATA TRANSFER CHECKED BY: [Signature]

DATE: [Date]

PROJECT: [Project Name]

CHECKPOINT SUBDIVISION TRACT A1-2

SITE PLAN

BY: [Signature]

DATE: [Date]

DESIGNED: [Signature]

DRAWN: [Signature]

FILE: [File Name]

JOB NO.: [Job Number]

CASE: [Case Number]

DATE: [Date]

SCALE: [Scale]

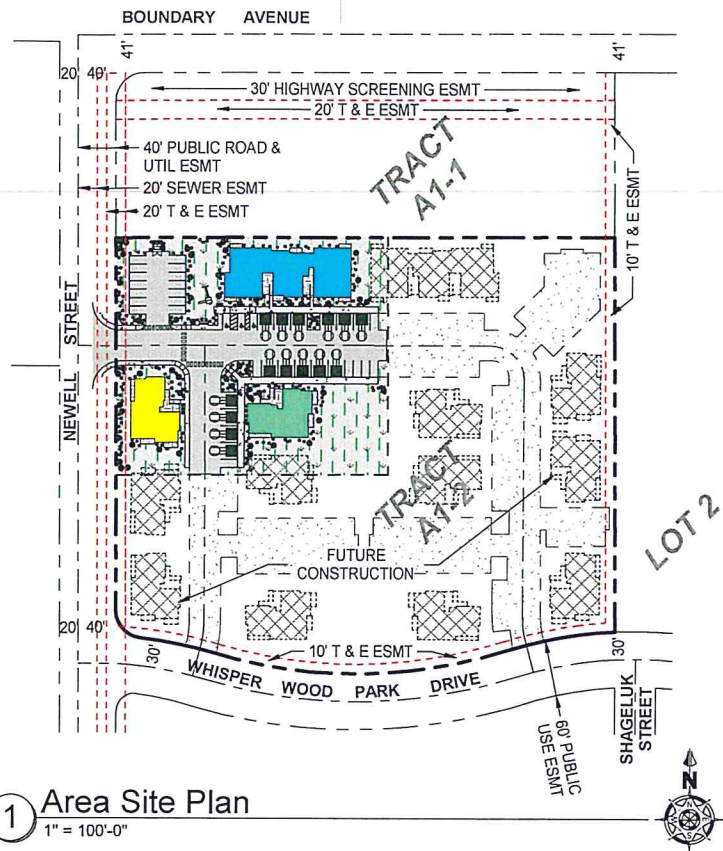
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GRID: [Grid Number]

SHEET C1 OF 1



Sheet List	
Sheet Number	Sheet Name
A0.0	Title Sheet
A0.2D	Area Plans
A0.5	Perspectives
A1.1	Site Plan
A2.1	1st Floor Plan
A2.2	2nd Floor Plan
A2.3	3rd Floor Plan
A2.4	Roof Plan
A3.1	Exterior Elevations
A4.1	Building Sections
A4.2	Building Sections
Sheets: 11	



1 Area Site Plan  
1" = 100'-0"



# Trailpoint

## BUILDING A 30-Unit Residential Development

Anchorage, Alaska

Tract A1-2  
Checkpoint Subdivision

PERMIT # n/a

### PROJECT DIRECTORY

<b>PROJECT OWNER:</b> SWELL LLC 1113 W FIREWEED LANE #202 ANCHORAGE, AK 99503  GLENN GELLERT TELE: 907-277-2663	<b>ARCHITECT:</b> FAULKENBERRY & ASSOC., INC. 7751 KING STREET ANCHORAGE, AK 99518  THOMAS FAULKENBERRY TELE: 907-522-9193	<b>GENERAL CONTRACTOR:</b> SPINELLI HOMES, INC. 1900 W NORTHERN LIGHTS BLVD #200 ANCHORAGE, AK 99517 ANDRE SPINELLI TELE: 907-344-5678	<b>STRUCTURAL ENGINEER:</b> ARETE, LLC 1017 N STREET ANCHORAGE, AK 99501  SETH ANDERSEN TELE: 907-441-5772	<b>JURISDICTIONAL AUTHORITY:</b> MUNICIPALITY OF ANCHORAGE BUILDING DEPT. 4700 ELMORE ROAD ANCHORAGE, AK 99507 TELE: 907-343-8211
<b>SURVEYOR:</b> BOUTET COMPANY, INC. 601 E 57TH PLACE ANCHORAGE, AK 99518  TONY HOFFMAN TELE: 907-270-6764	<b>CIVIL ENGINEER:</b> TRIAD ENGINEERING LLC 1300 E 68TH AVE #210 ANCHORAGE, AK 99518  BRANDON MARCOTT TELE: 907-344-3114	<b>MECHANICAL ENGINEER:</b> SCOPE 7216 LAKE OTIS PKWY ANCHORAGE, AK 99507  RON THOMPSON TELE: 907-529-5120	<b>ELECTRICAL ENGINEER:</b> NORTHERN ELECTRICAL ENGINEERING 8410 FOXLAIR CIRCLE ANCHORAGE, AK 99507 JAMES GWYNN TELE: 907-562-1552	

FNA Project #:  
2020\_81A  
Project Start Date:  
10-30-2020  
Release Date: 02-19-2021  
Released for:  
65% Set

PRELIMINARY  
02/19/2021  
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FAULKENBERRY  
& ASSOCIATES, INC.  
ARCHITECTS  
Alaska Authorization #72899D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907) 622-9193

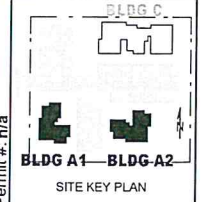
BLDG A1 - BLDG A2  
SITE KEY PLAN

Trailpoint  
BUILDING A  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska  
Title Sheet  
A0.0

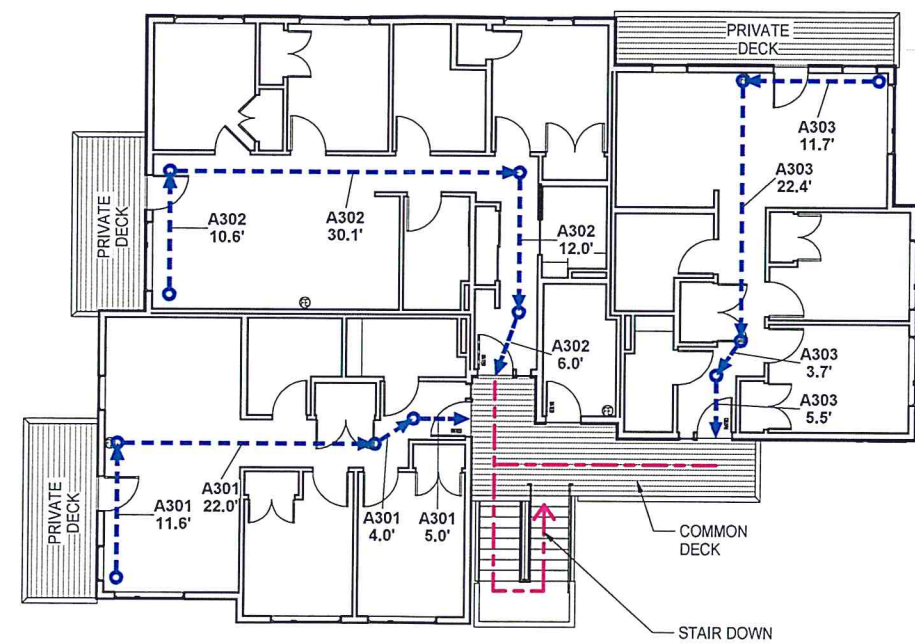
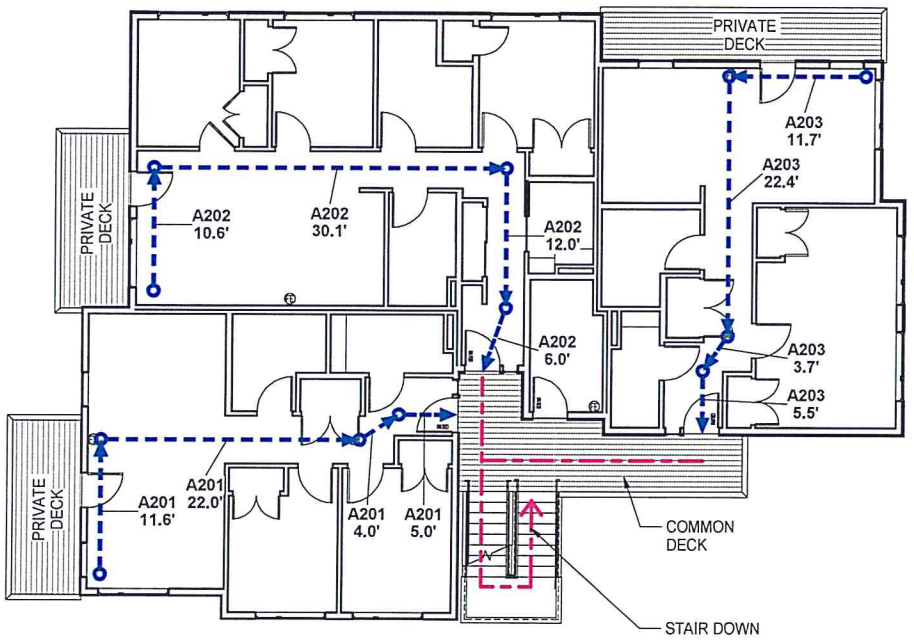
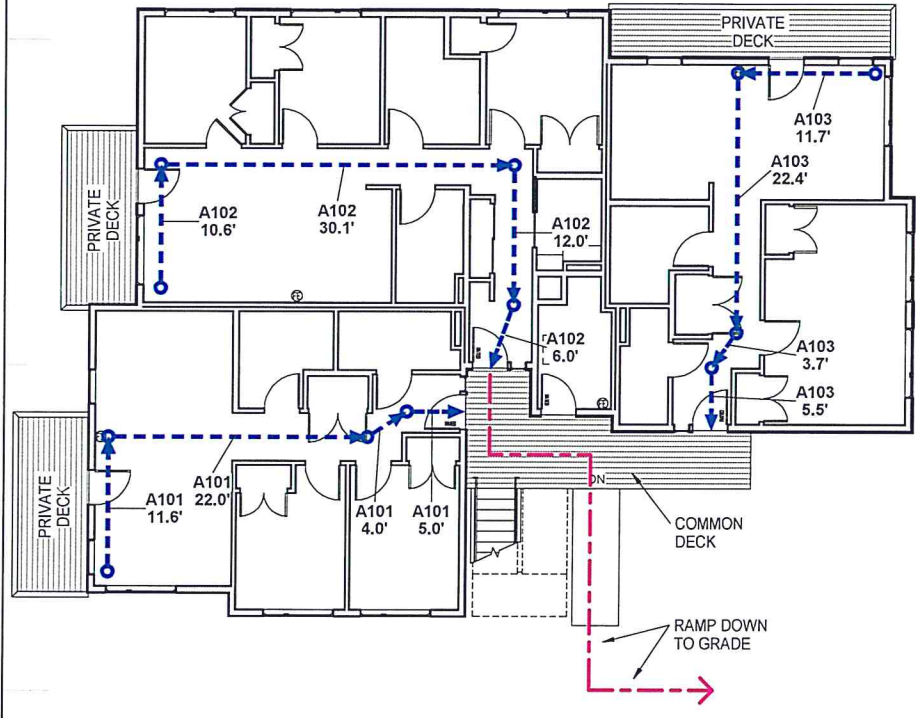
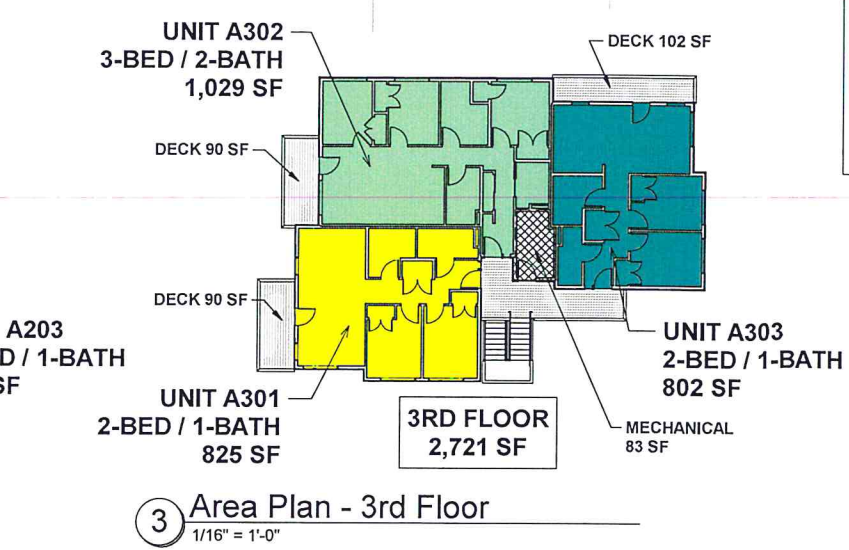
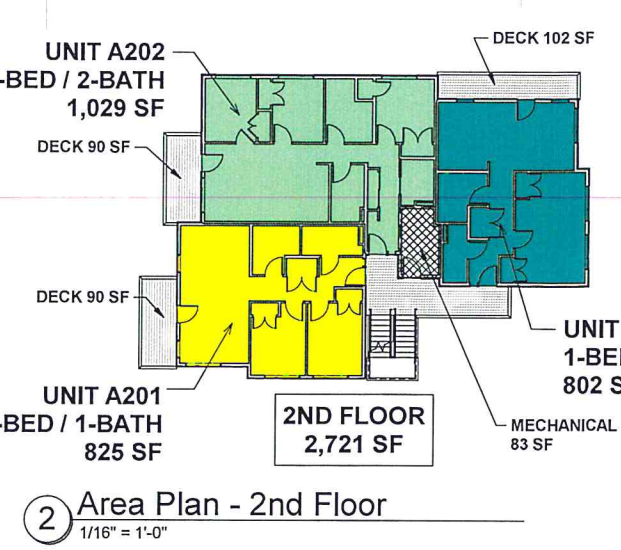
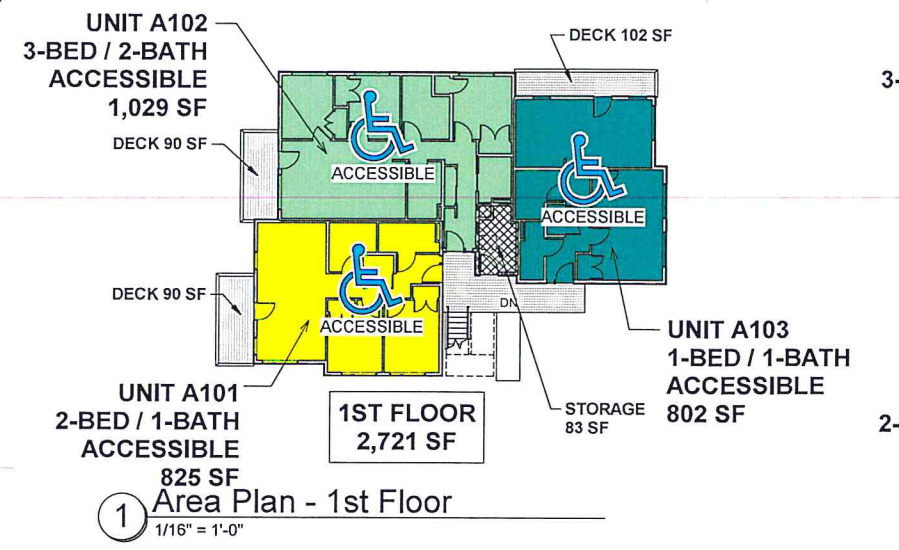


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FAULKENBERRY & ASSOCIATES, INC.  
ARCHITECTS  
Alaska Authorization #72809D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907) 522-9193



Trailpoint  
BUILDING A  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska



4 Egress Plan - 1st Floor  
1/8" = 1'-0"

5 Egress Plan - 2nd Floor  
1/8" = 1'-0"

6 Egress Plan - 3rd Floor  
1/8" = 1'-0"

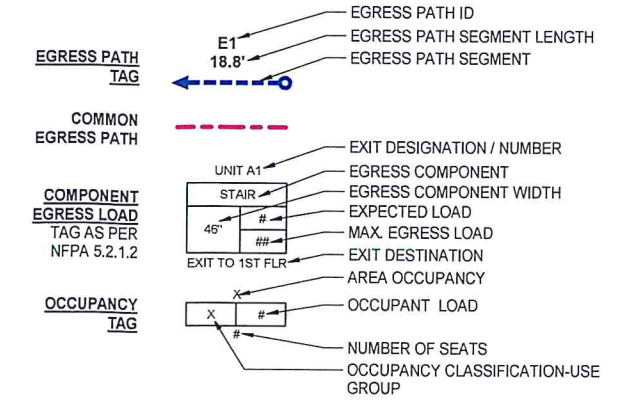
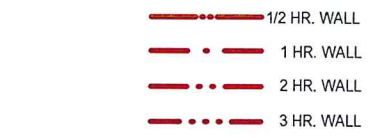
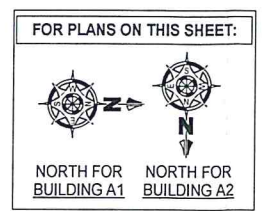
Egress Paths	
Travel Distance	
A101	11.6'
	22.0'
	4.0'
	5.0'
	42.7'

Egress Paths	
Travel Distance	
A103	11.7'
	22.4'
	3.7'
	5.5'
	43.2'

Egress Paths	
Travel Distance	
A202	10.6'
	30.1'
	12.0'
	6.0'
	58.7'

Egress Paths	
Travel Distance	
A301	11.6'
	22.0'
	4.0'
	5.0'
	42.7'

Egress Paths	
Travel Distance	
A303	11.7'
	22.4'
	3.7'
	5.5'
	43.2'



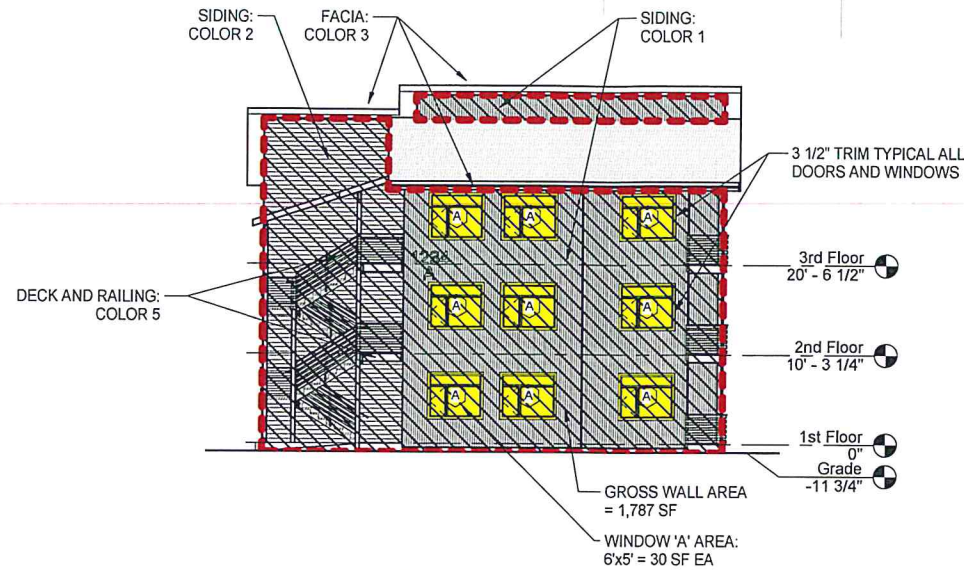
North Arrow Legend  
12" = 1'-0"

Fire Resistant Rating Legend  
12" = 1'-0"

Egress Path Symbol Legend  
1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED





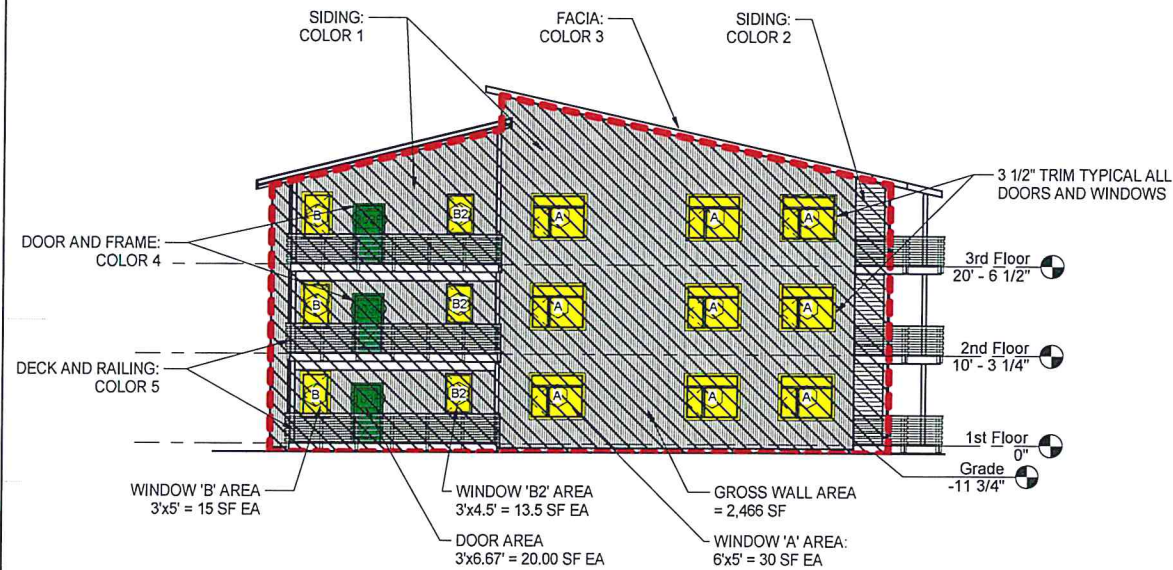
WALL NOTES - RIGHT (FACING PARKING LOT):

1. AREA OF WALL: 1,787 SF
2. OPENING AREA
  - A. ALLOWABLE: 1,787 SF x 25% = 446.75 ~ 447 SF
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A (30 SF x 9 = 270.0 SF) = 270 SF
    - b. DOORS:
      - -0-
    - c. TOTAL OPENINGS: 270.0 SF
  - C. 270 SF < 447 SF = <OK>
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED: 1,787 SF x 10% = 178.7 SF ~ 179 SF
  - B. ACTUAL: 270 SF
  - C. 179 SF < 270 SF = <OK>

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

① Right Elevation - Areas  
3/32" = 1'-0"



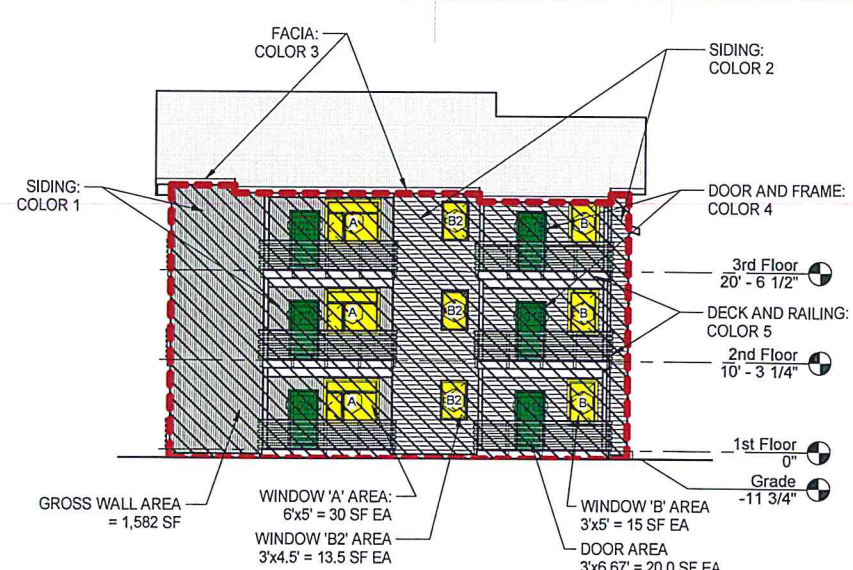
WALL NOTES - REAR (FACING STREET):

1. AREA OF WALL: 2,466 SF
2. OPENING AREA
  - A. ALLOWABLE: 2,466 SF x 25% = 616.5 ~ 617 SF
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A (30 SF x 9 = 270.0 SF) +
      - TYPE B (15 SF x 3 = 45.0 SF) +
      - TYPE B2 (13.5 SF x 3 = 40.5 SF) = 355.5 SF
    - b. DOORS: 20.0 SF x 3 = 60.0 SF
    - c. TOTAL OPENINGS: 355.5 SF + 60.0 SF = 415.5 ~ 416 SF
  - C. 416 SF < 617 SF = <OK>
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED: 2,466 SF x 10% = 246.6 SF ~ 247 SF
  - B. ACTUAL: 416 SF
  - C. 416 SF > 247 SF = <OK>

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

② Rear Elevation - Areas  
3/32" = 1'-0"



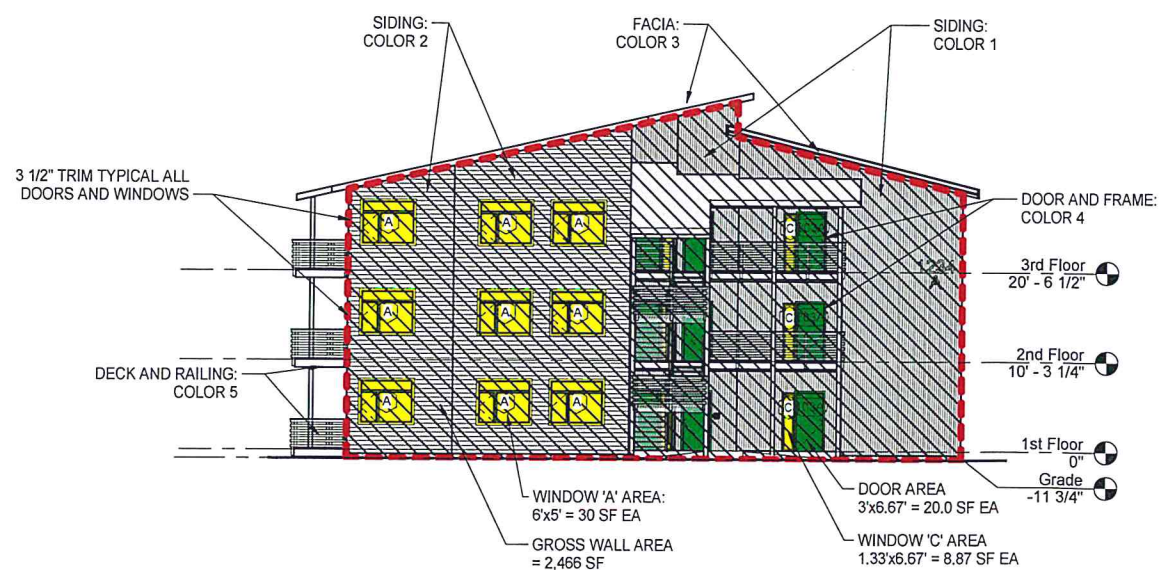
WALL NOTES - LEFT (FACING ADJACENT PROPERTY):

1. AREA OF WALL: 1,582 SF
2. OPENING AREA
  - A. ALLOWABLE: 1,582 SF x 25% = 395.5 ~ 396 SF
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A (30 SF x 3 = 90.0 SF) +
      - TYPE B (15 SF x 3 = 45.0 SF) +
      - TYPE B2 (13.5 SF x 3 = 40.5 SF) = 175.5 SF
    - b. DOORS: 20.0 SF x 6 = 120.0 SF
    - c. TOTAL OPENINGS: 175.5 SF + 120.0 SF = 295.5 ~ 296 SF
  - C. 296 SF < 396 SF = <OK>
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED: 1,582 SF x 10% = 158.2 ~ 158 SF
  - B. ACTUAL: 296 SF
  - C. 296 SF > 158 SF = <OK>

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

③ Left Elevation - Areas  
3/32" = 1'-0"



WALL NOTES - FRONT (FACING PARKING LOT):

1. AREA OF WALL: 2,466 SF
2. OPENING AREA
  - A. ALLOWABLE: 2,466 SF x 25% = 616.5 ~ 617 SF
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A (30 SF x 9 = 270.0 SF) +
      - TYPE C (8.87 SF x 6 = 53.22 SF) = 323.22 SF
    - b. DOORS: 20.0 SF x 6 = 120.0 SF
    - c. TOTAL OPENINGS: 323.22 SF + 120.0 SF = 443.22 ~ 443 SF
  - C. 443 SF < 617 SF = <OK>
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED: 2,466 SF x 10% = 246.6 SF ~ 247 SF
  - B. ACTUAL: 443 SF
  - C. 443 SF > 247 SF = <OK>

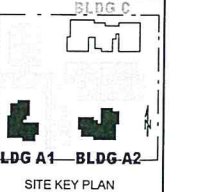
PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

④ Front Elevation - Areas  
3/32" = 1'-0"

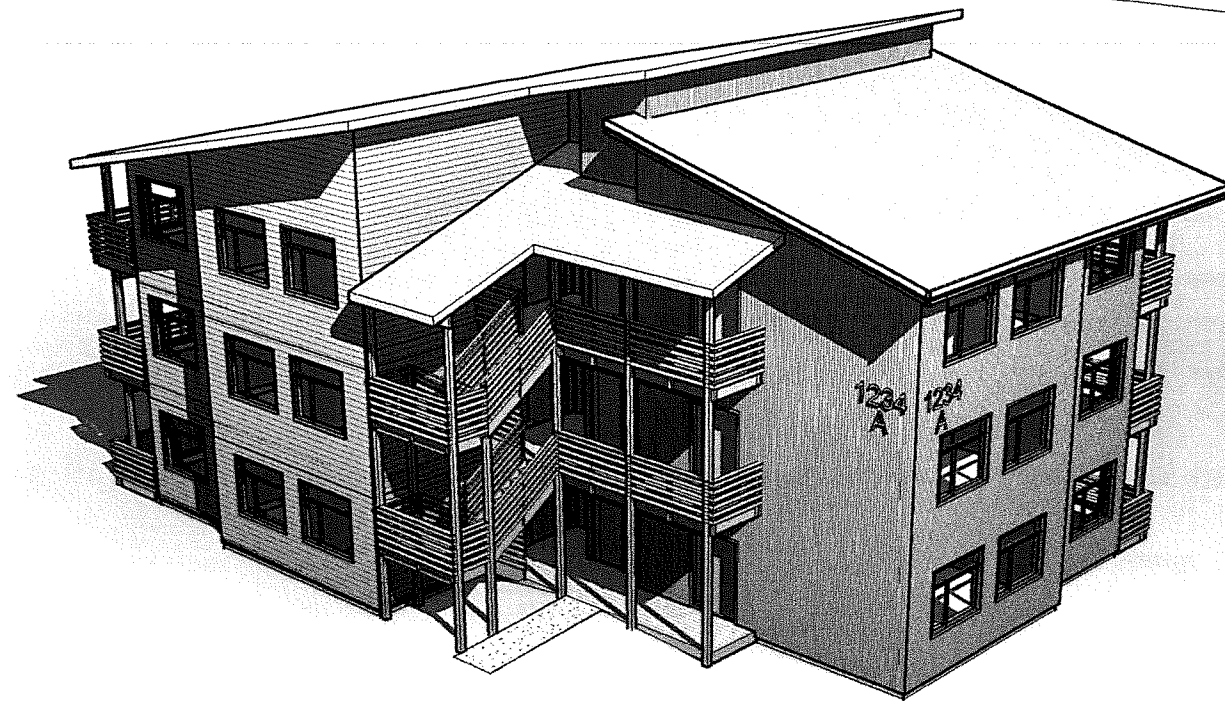
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Alaska Authorization #728090  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9193

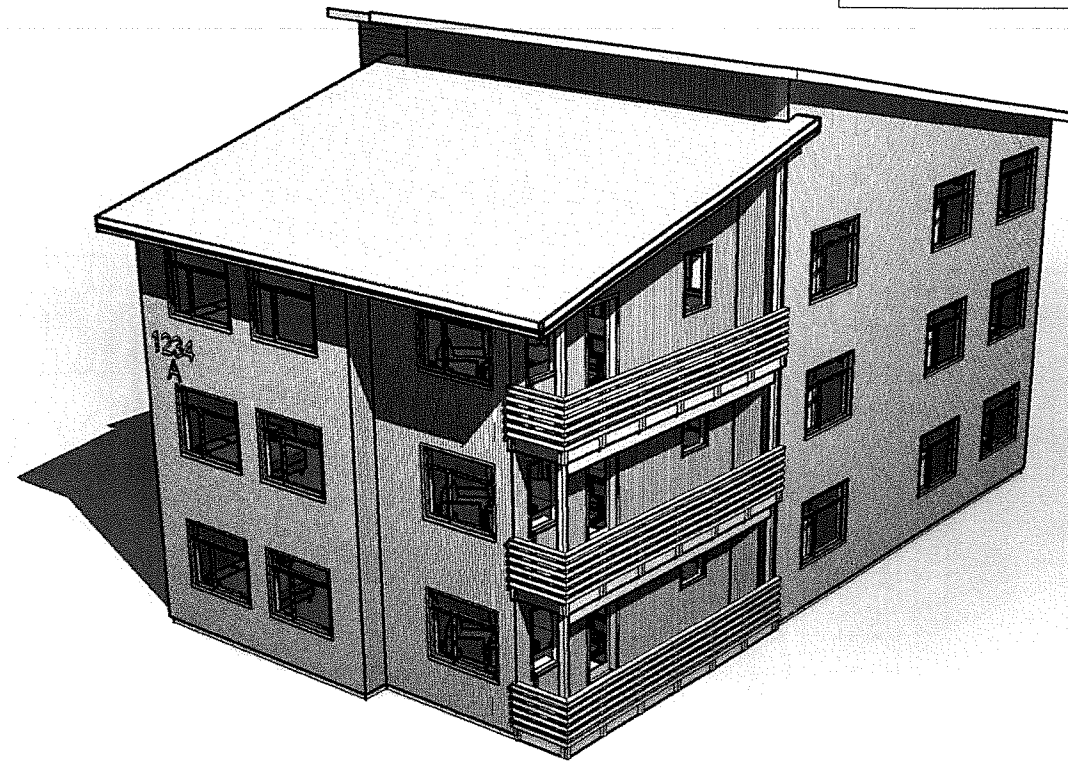


Trailpoint  
BUILDING A  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska

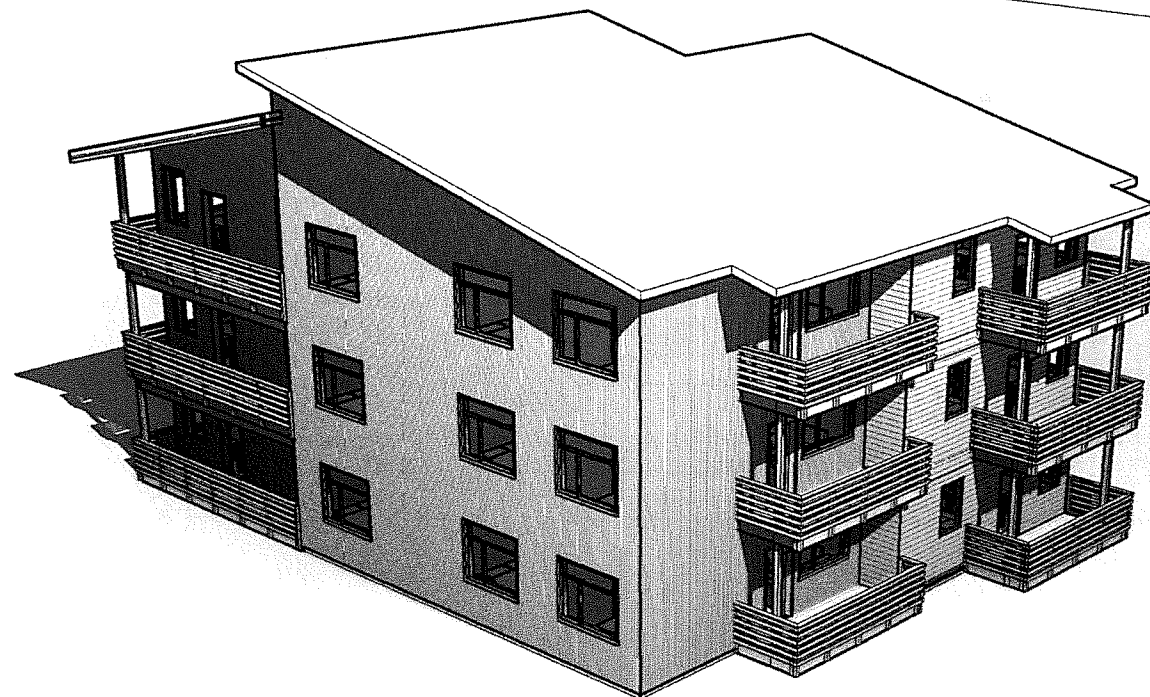




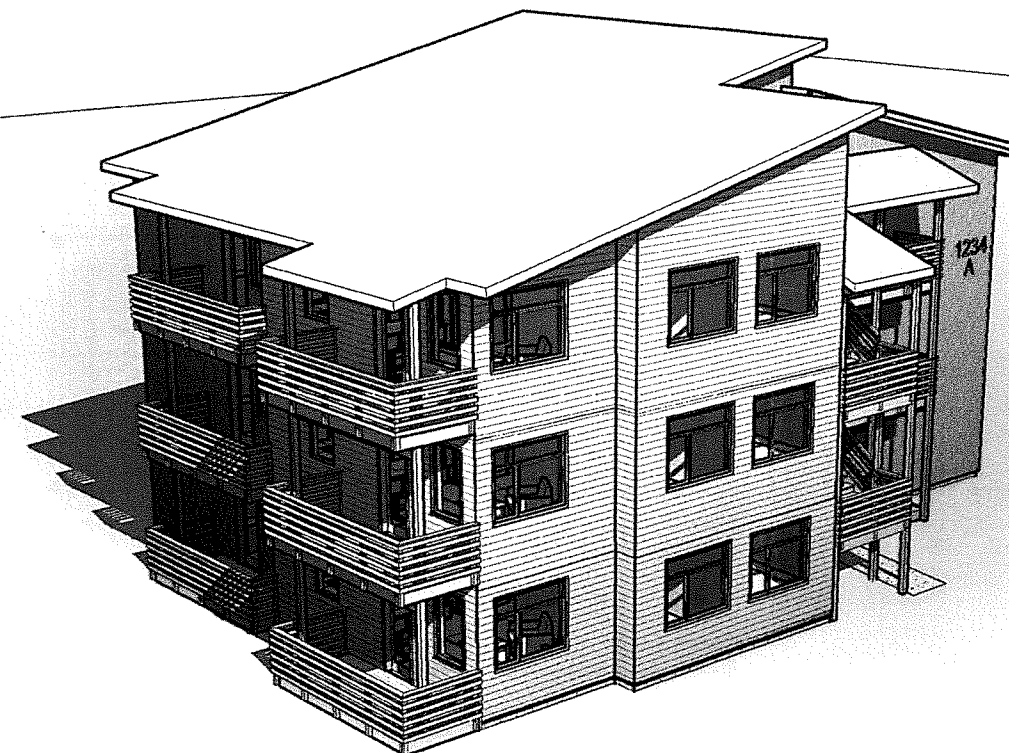
① Front Right Perspective View



② Back Right Perspective View



③ Back Left Perspective View



④ Front Left Perspective View

FNA Project #  
**2020\_81A**  
Project Start Date:  
10-30-2020  
Release Date: 02-19-2021  
Released for:  
65% Set

**PRELIMINARY**

**FAULKENBERRY  
& ASSOCIATES, INC.**  
**ARCHITECTS**  
Alaska Authorization #728090  
P.O. Box 230883 - Anchorage, Alaska 99503-0883 - (907) 522-9193

**BLDG A1 - BLDG A2**  
SITE KEY PLAN

**Trailpoint**  
**BUILDING A**  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska

sheet name  
**Perspectives**

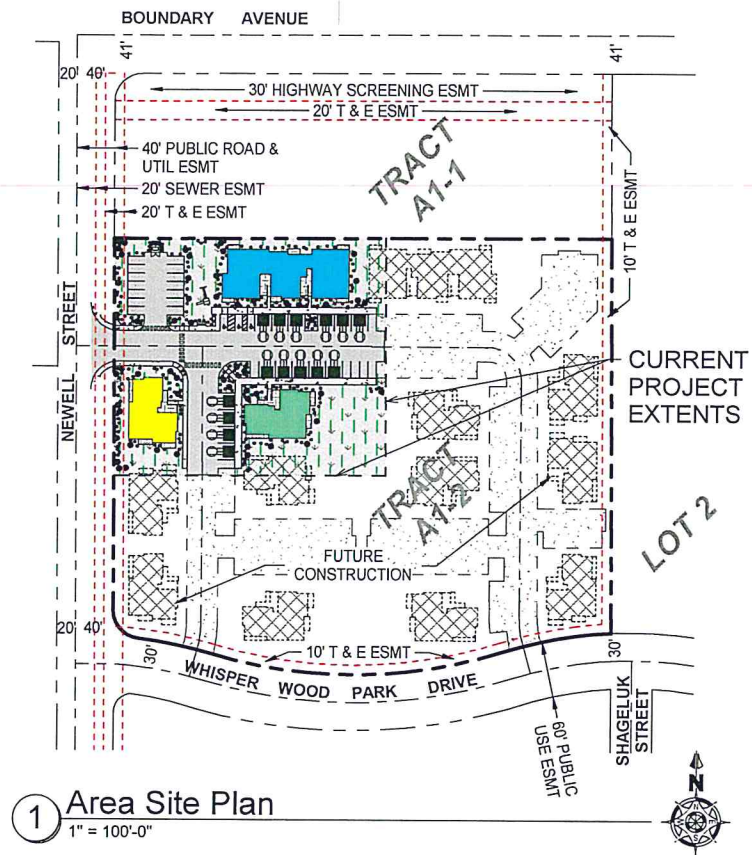
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**A0.5**

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Permit #: n/a



Sheet List	
Sheet Number	Sheet Name
A0.0	Title Sheet
A0.2D	Area Plans
A0.5	Perspectives
A1.1	Site Plan
A2.1	1st Floor Plan
A2.2	2nd Floor Plan
A2.4	Roof Plan
A3.1	Exterior Elevations
A4.1	Building Longitudinal Sections
A4.2	Building Cross Sections
A4.3	Building Cross Sections
A4.4	Building Cross Sections



1 Area Site Plan  
1" = 100'-0"

# Trailpoint

## BUILDING 'C' 30-Unit Residential Development

Anchorage, Alaska

Tract A1-2  
Checkpoint Subdivision

PERMIT # n/a

PROJECT  
LOCATION:

PROJECT  
LOCATION

### PROJECT DIRECTORY

#### PROJECT OWNER:

SWELL LLC  
1113 W FIREWEED LANE #202  
ANCHORAGE, AK 99503

GLENN GELLERT  
TELE: 907-277-2663

#### SURVEYOR:

BOUTET COMPANY, INC.  
601 E 57TH PLACE  
ANCHORAGE, AK 99518

TONY HOFFMAN  
TELE: 907-270-6764

#### ARCHITECT:

FAULKENBERRY & ASSOC, INC.  
7751 KING STREET  
ANCHORAGE, AK 99518

THOMAS FAULKENBERRY  
TELE: 907-522-9193

#### CIVIL ENGINEER:

TRIAD ENGINEERING LLC  
1300 E 68TH AVE #210  
ANCHORAGE, AK 99518

BRANDON MARCOTT  
TELE: 907-344-3114

#### GENERAL CONTRACTOR:

SPINELLI HOMES, INC.  
1900 W NORTHERN LIGHTS  
BLVD #200  
ANCHORAGE, AK 99517  
ANDRE SPINELLI  
TELE: 907-344-5678

#### MECHANICAL ENGINEER:

SCOPE  
7216 LAKE OTIS PKWY  
ANCHORAGE, AK 99507

RON THOMPSON  
TELE: 907-529-5120

#### STRUCTURAL ENGINEER:

ARETE, LLC  
1017 N STREET  
ANCHORAGE, AK 99501

SETH ANDERSEN  
TELE: 907-441-5772

#### ELECTRICAL ENGINEER:

NORTHERN ELECTRICAL  
ENGINEERING  
8410 FOXLAIR CIRCLE  
ANCHORAGE, AK 99507  
JAMES GWYNN  
TELE: 907-562-1552

#### JURISDICTIONAL AUTHORITY:

MUNICIPALITY OF ANCHORAGE  
BUILDING DEPT.  
4700 ELMORE ROAD  
ANCHORAGE, AK 99507  
TELE: 907-343-8211

FNA Project #:  
2020\_81C  
Project Start Date:  
10-30-2020  
Release Date: 02-19-2021  
Released for:  
65% Set

PRELIMINARY  
2/19/2021  
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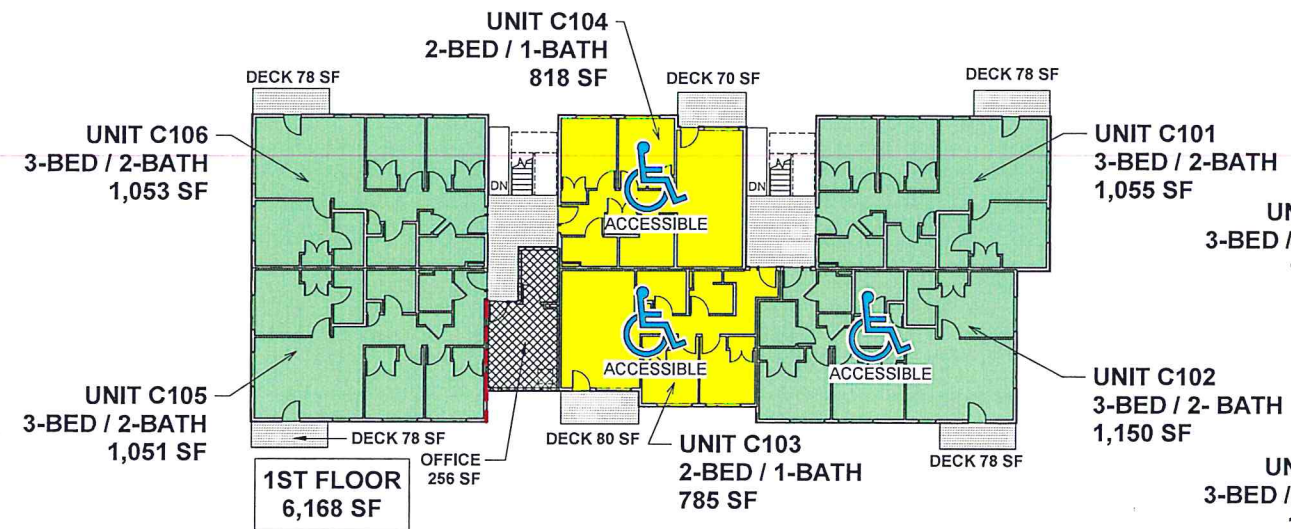
FAULKENBERRY  
& ASSOCIATES, INC.  
ARCHITECTS  
Alaska Authorization #72809D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9193

BLOG C  
SITE KEY PLAN

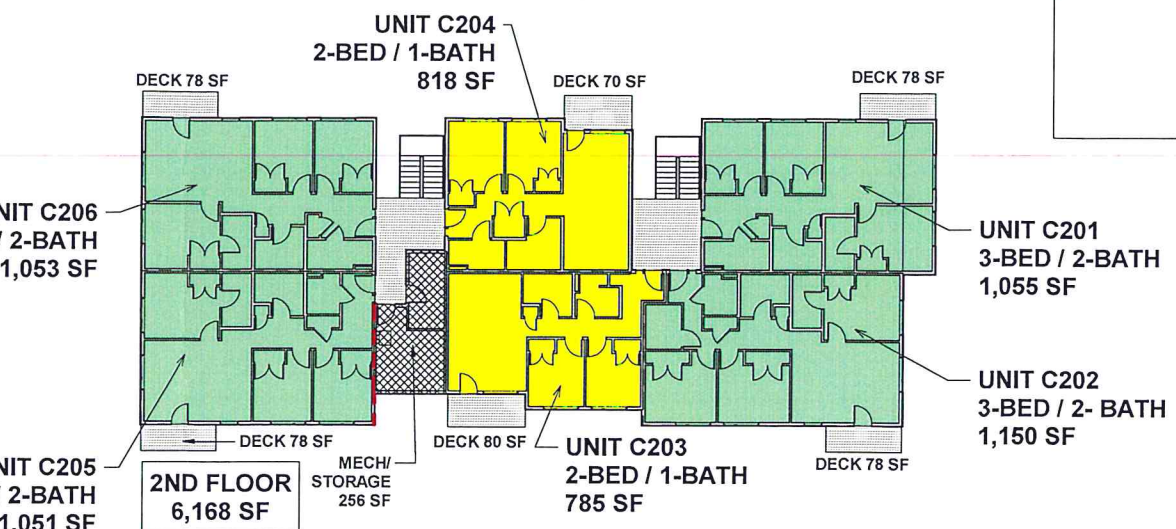
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BUILDING 'C'  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska  
sheet name  
Title Sheet  
sheet number  
A0.0

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

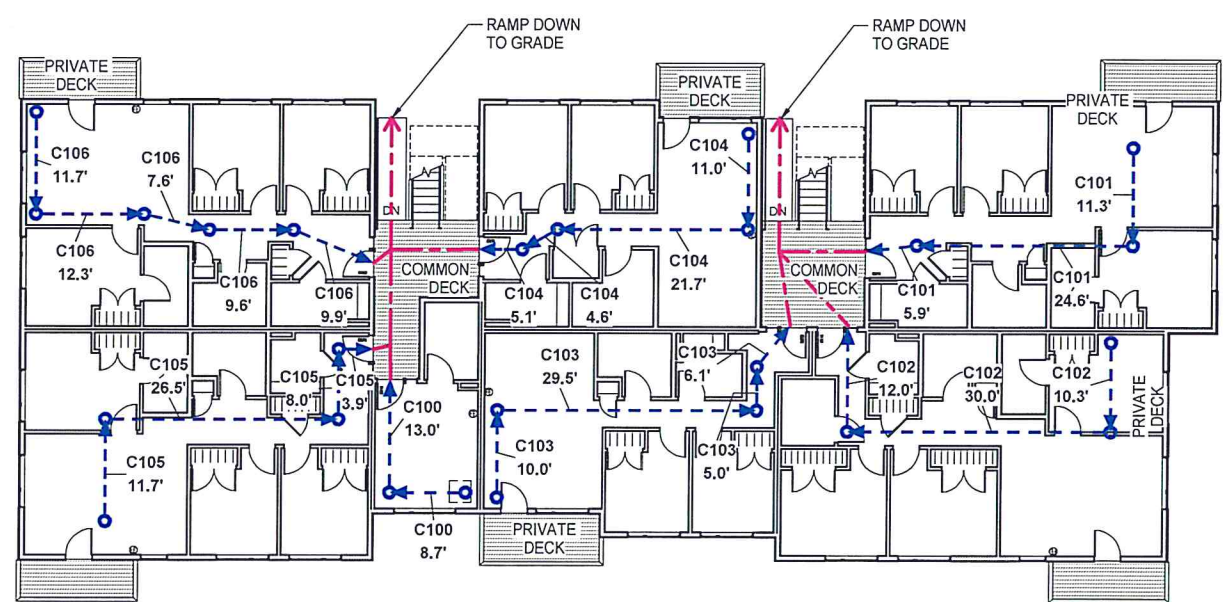




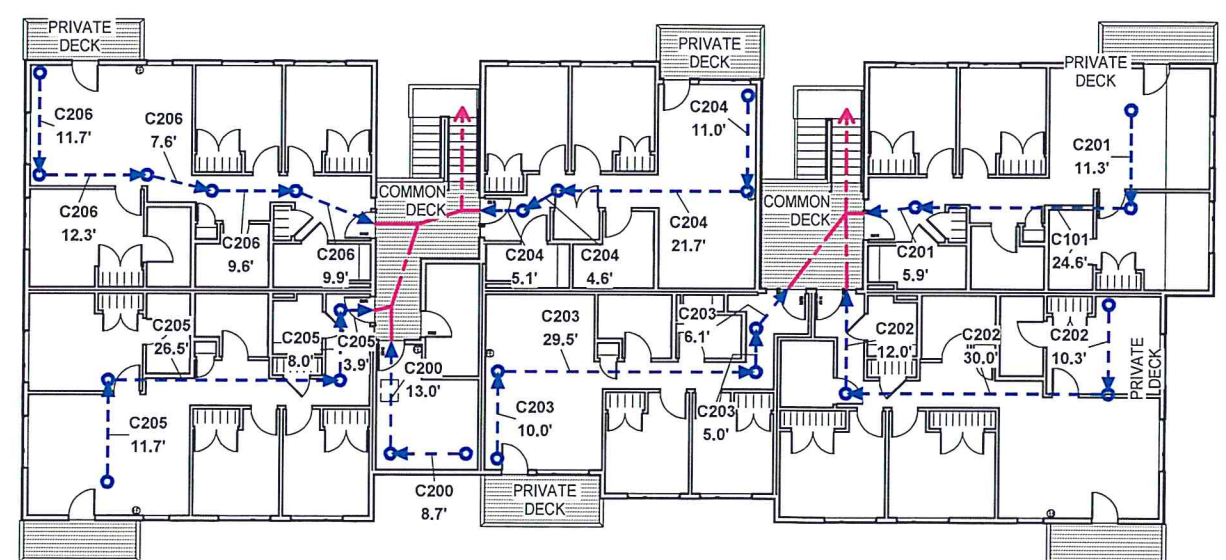
1 Area Plan - 1st Floor  
1/16" = 1'-0"



2 Area Plan - 2nd Floor  
1/16" = 1'-0"



3 Egress Plan - 1st Floor  
3/32" = 1'-0"

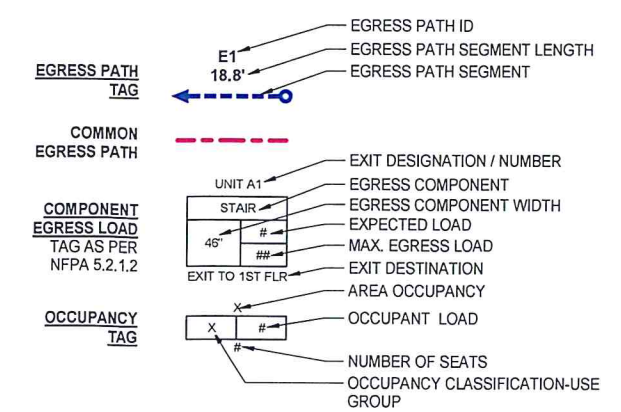


4 Egress Plan - 2nd Floor  
3/32" = 1'-0"

Egress Paths	Egress Paths	Egress Paths	Egress Paths	Egress Paths	Egress Paths
Travel Distance	Travel Distance	Travel Distance	Travel Distance	Travel Distance	Travel Distance
C100	C103	C105	C200	C203	C205
8.7'	10.0'	11.7'	8.7'	10.0'	11.7'
13.0'	29.5'	26.5'	13.0'	29.5'	26.5'
21.7'	5.0'	8.0'	21.7'	5.0'	8.0'
	6.1'	3.9'		6.1'	3.9'
C101	C104	C106	C201	C204	C206
24.6'	11.0'	11.7'	11.3'	11.0'	11.7'
11.3'	21.7'	12.3'	5.9'	21.7'	12.3'
24.6'	4.6'	7.6'	17.2'	4.6'	7.6'
5.9'	5.1'	9.6'	10.3'	5.1'	9.6'
66.3'	42.3'	51.1'	42.3'	42.3'	51.1'
C102					
10.3'					
30.0'					
12.0'					
52.3'					

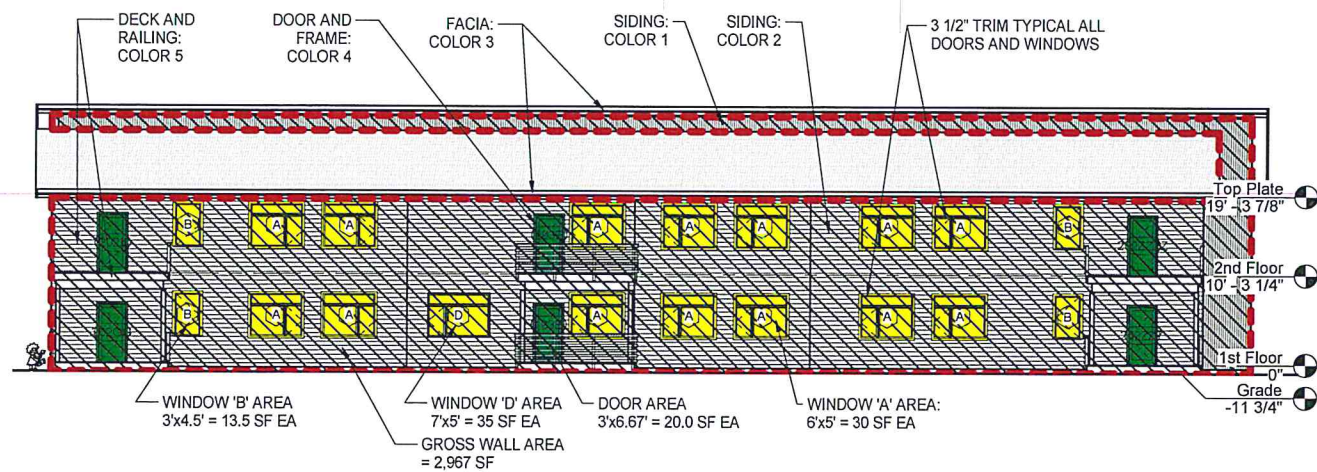
Fire Resistant Rating Legend  
12" = 1'-0"

Egress Path Symbol Legend  
1/4" = 1'-0"



DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



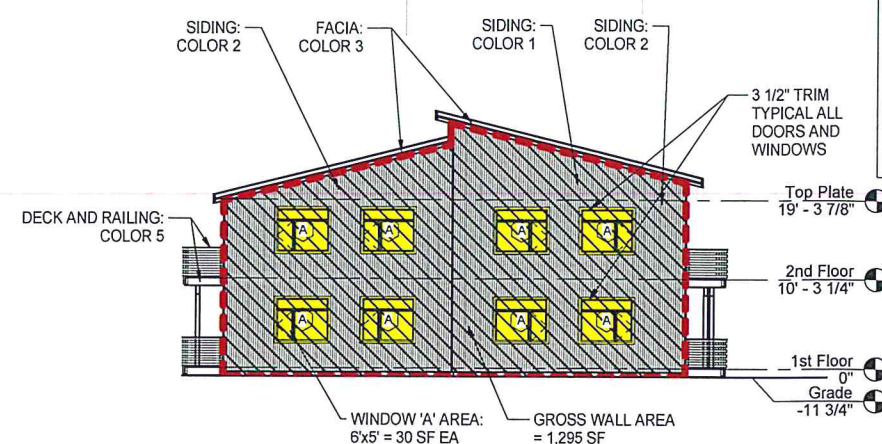


WALL NOTES - REAR (FACING ADJACENT PROPERTY):

1. AREA OF WALL: 2,967 SF
2. OPENING AREA
  - A. ALLOWABLE:  $2,967 \text{ SF} \times 25\% = 741.75 \sim 742 \text{ SF}$
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A ( $30 \text{ SF} \times 14 = 420.0 \text{ SF}$ ) +
      - TYPE B ( $13.5 \text{ SF} \times 4 = 54.0 \text{ SF}$ ) +
      - TYPE D ( $35 \text{ SF} \times 1 = 35.0 \text{ SF}$ ) = 509.0 SF
    - b. DOORS: ( $20.0 \text{ SF} \times 6$ ) = 120.0 SF
    - c. TOTAL OPENINGS:  $509.0 \text{ SF} + 120.0 \text{ SF} = 629.0 \sim 629 \text{ SF}$
  - C.  $629 \text{ SF} < 742 \text{ SF} = \text{OK}$
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED:  $2,967 \text{ SF} \times 10\% = 296.7 \text{ SF} \sim 297 \text{ SF}$
  - B. ACTUAL: 629 SF
  - C.  $629 \text{ SF} > 297 \text{ SF} = \text{OK}$

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS



WALL NOTES - LEFT (FACING PARKING LOT):

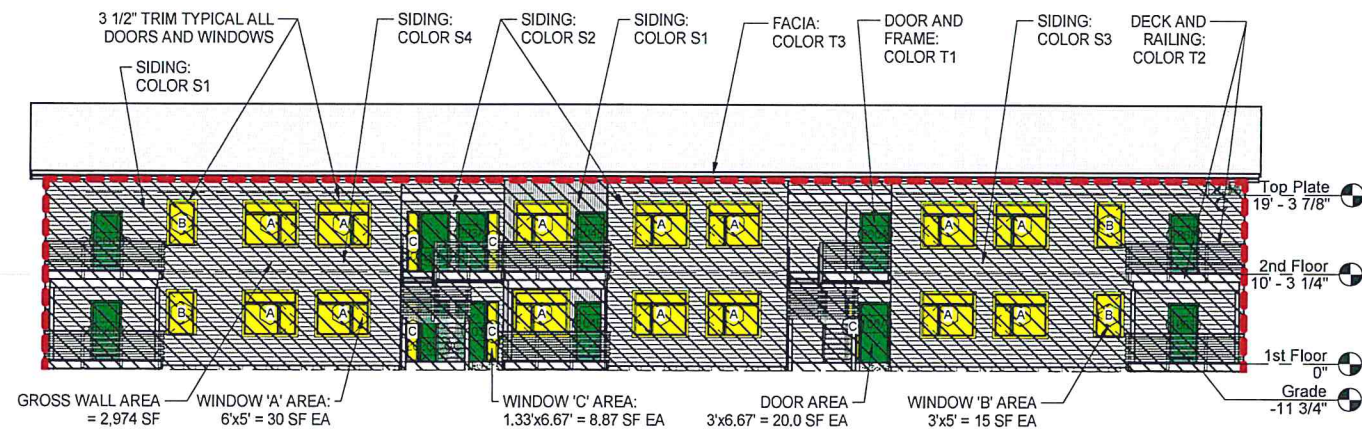
1. AREA OF WALL: 1,295 SF
2. OPENING AREA
  - A. ALLOWABLE:  $1,295 \text{ SF} \times 25\% = 323.75 \sim 324 \text{ SF}$
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A ( $30 \text{ SF} \times 8 = 240.0 \text{ SF}$ ) = 240 SF
    - b. DOORS: -0- SF
    - c. TOTAL OPENINGS:  $240.0 \text{ SF} \sim 240 \text{ SF}$
  - C.  $240 \text{ SF} < 324 \text{ SF} = \text{OK}$
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED:  $1,295 \text{ SF} \times 10\% = 129.5 \text{ SF} \sim 130 \text{ SF}$
  - B. ACTUAL: 240 SF
  - C.  $240 \text{ SF} > 130 \text{ SF} = \text{OK}$

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

1 Rear Elevation - Areas  
3/32" = 1'-0"

2 Left Elevation - Areas  
3/32" = 1'-0"

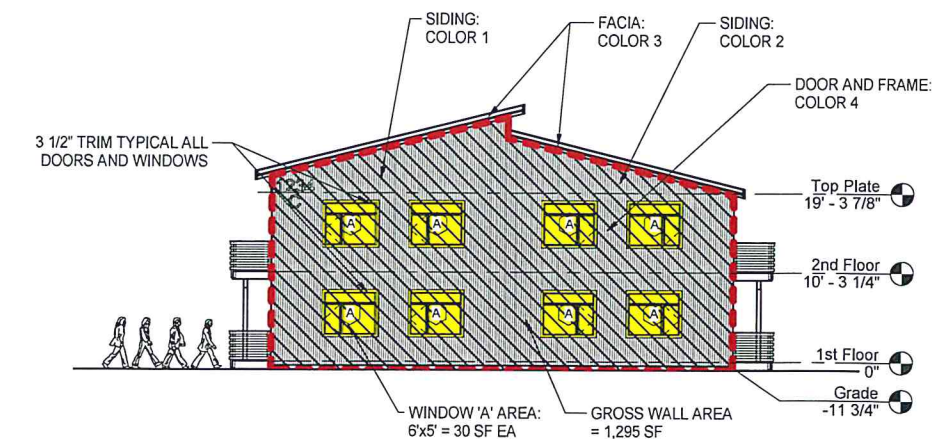


WALL NOTES - FRONT (FACING ROAD 1):

1. AREA OF WALL: 2,974 SF
2. OPENING AREA
  - A. ALLOWABLE:  $2,974 \text{ SF} \times 25\% = 743.5 \sim 744 \text{ SF}$
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A ( $30 \text{ SF} \times 14$ ) = 420.0 SF +
      - TYPE B ( $15 \text{ SF} \times 4$ ) = 60.0 SF +
      - TYPE C ( $8.87 \text{ SF} \times 5$ ) = 44.4 SF = 524.4 SF
    - b. DOORS: ( $20.0 \text{ SF} \times 12$ ) = 240.0 SF
    - c. TOTAL OPENINGS:  $524.4 \text{ SF} + 240.0 \text{ SF} = 764.4 \sim 764 \text{ SF}$
  - C.  $764 \text{ SF} < 744 \text{ SF} = \text{NOT OK}$
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED:  $2,974 \text{ SF} \times 10\% = 297.4 \text{ SF} \sim 297 \text{ SF}$
  - B. ACTUAL: 764 SF
  - C.  $764 \text{ SF} > 297 \text{ SF} = \text{OK}$

PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS



WALL NOTES - RIGHT (FACING FUTURE ON-SITE BLDG):

1. AREA OF WALL: 1,295 SF
2. OPENING AREA
  - A. ALLOWABLE:  $1,295 \text{ SF} \times 25\% = 323.75 \sim 324 \text{ SF}$
  - B. ACTUAL:
    - a. WINDOWS:
      - TYPE A ( $30 \text{ SF} \times 8 = 240.0 \text{ SF}$ ) = 240 SF
    - b. DOORS: -0- SF
    - c. TOTAL OPENINGS:  $240.0 \text{ SF} \sim 240 \text{ SF}$
  - C.  $240 \text{ SF} < 324 \text{ SF} = \text{OK}$
3. REQUIRED OPENING AREA (DOORS + WINDOWS)
  - A. REQUIRED:  $1,295 \text{ SF} \times 10\% = 129.5 \text{ SF} \sim 130 \text{ SF}$
  - B. ACTUAL: 240 SF
  - C.  $240 \text{ SF} > 130 \text{ SF} = \text{OK}$

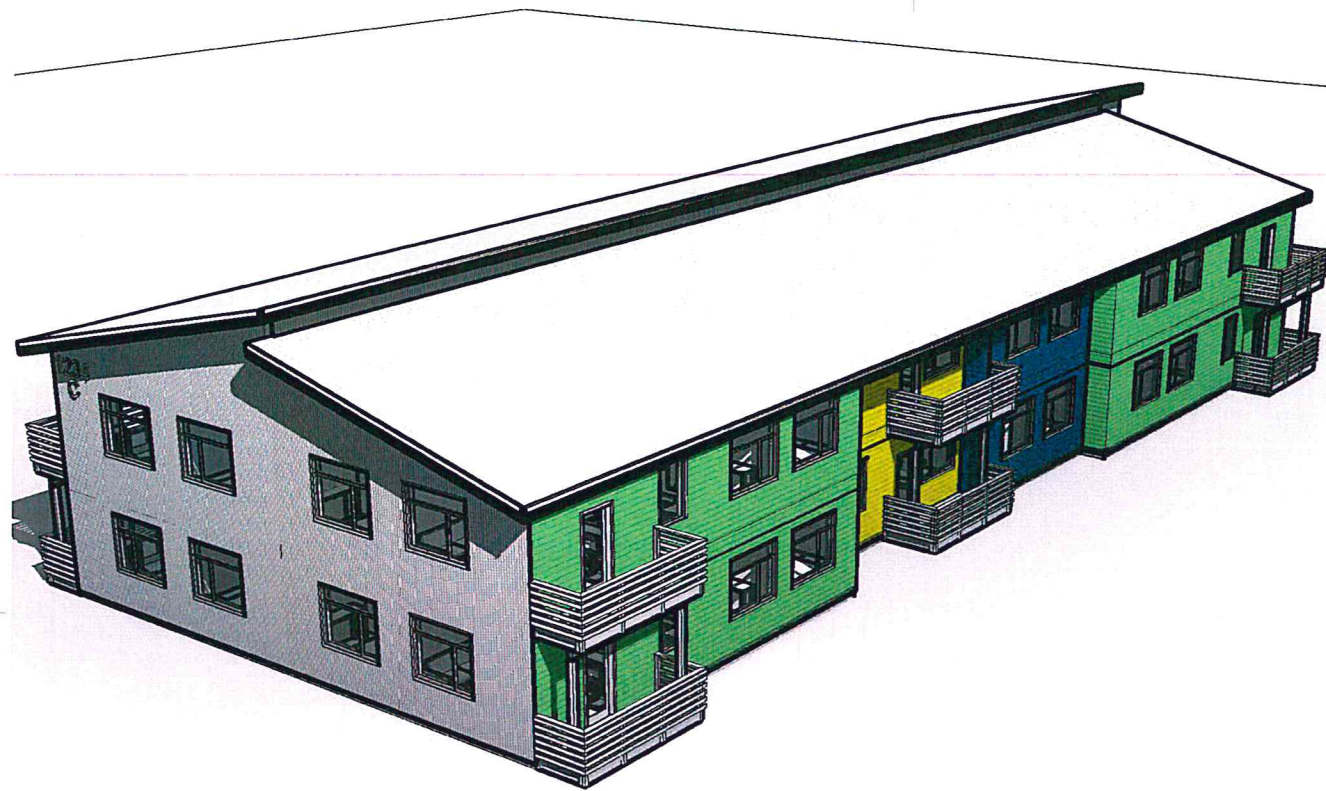
PER 21.07.110.C.7 BUILDING ARTICULATION MENU (4 FEATURES):

1. FEATURE 1: PER 21.07.110.C.7.d - VARIATION OF EXTERIOR FINISHES - TWO OR MORE COLORS
2. FEATURE 2: PER 21.07.110.C.7.i - ENTRY ARTICULATION
3. FEATURE 3: PER 21.07.110.C.7.j - ELEVATION FREE OF GARAGE DOORS.
4. FEATURE 4: PER 21.07.110.C.7.e - ORNAMENTAL FEATURES AND DETAIL ELEMENTS

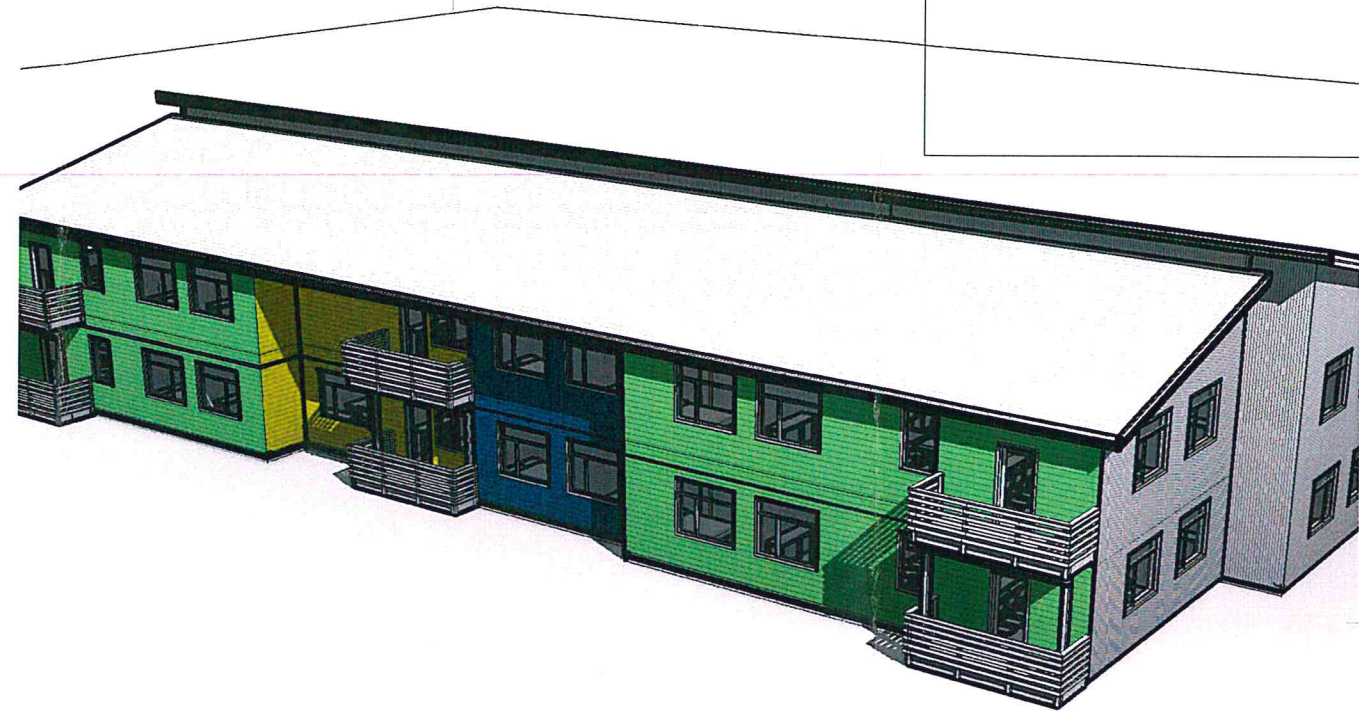
3 Front Elevation - Areas  
3/32" = 1'-0"

4 Right Elevation - Areas  
3/32" = 1'-0"

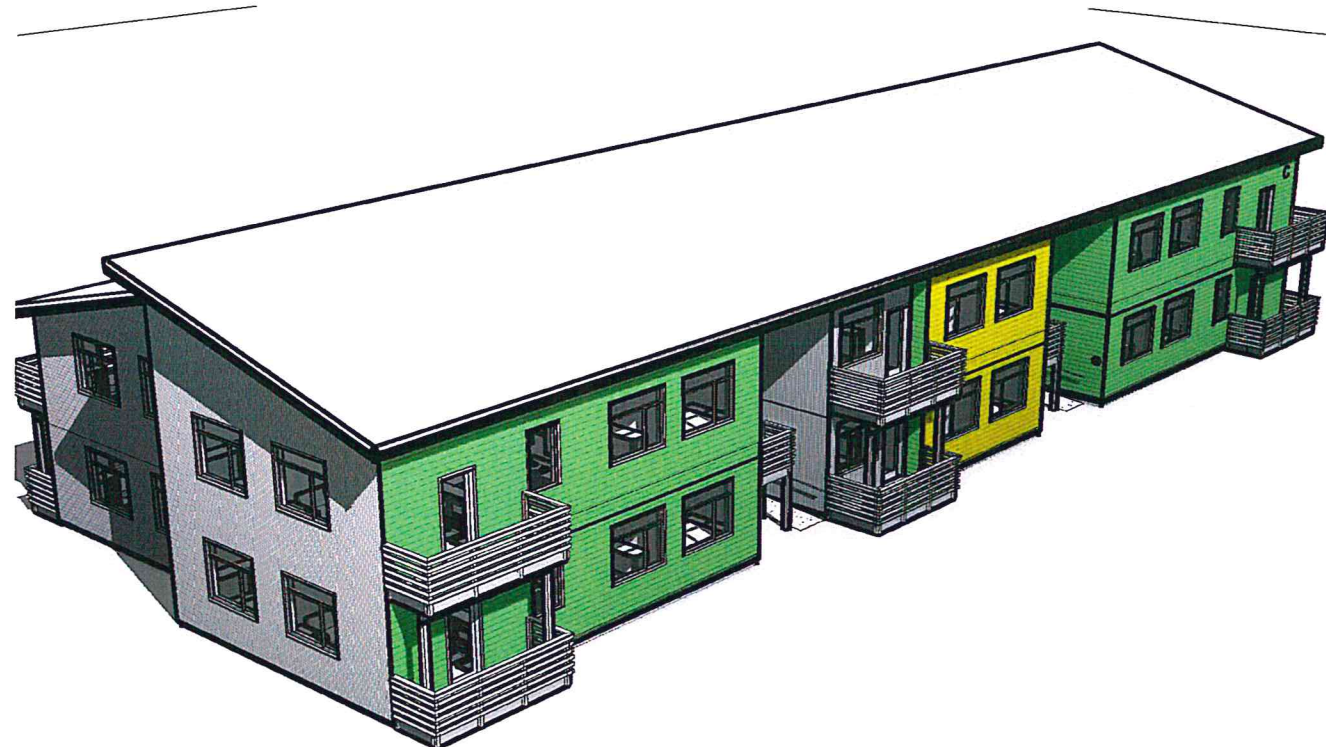




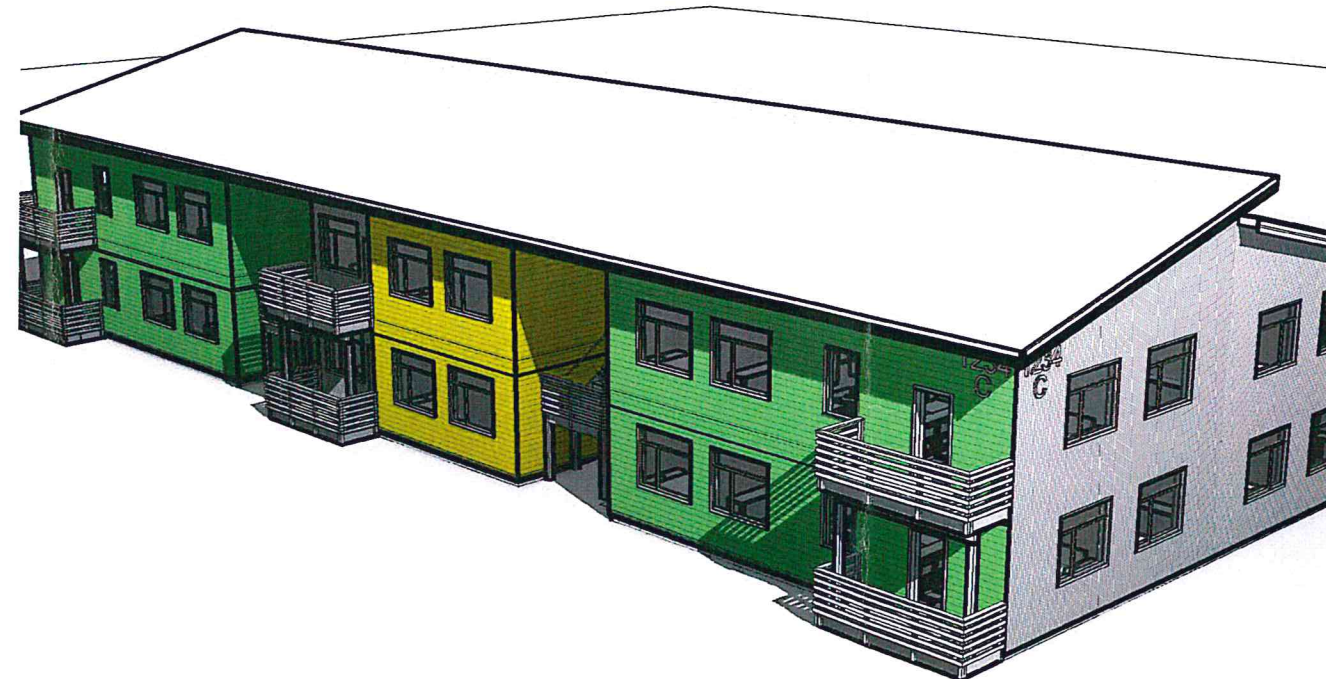
1 Back Right Perspective View



2 Back Left Perspective View



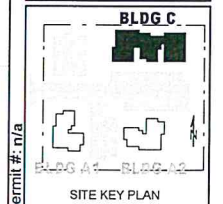
3 Front Left Perspective View



4 Front Right Perspective View

PRELIMINARY  
2/19/2021  
1:39:41 PM

FAULKENBERRY  
& ASSOCIATES, INC.  
ARCHITECTS  
Alaska Authorization #72809D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907) 622-9193

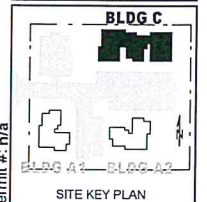


Trailpoint  
BUILDING 'C'  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska



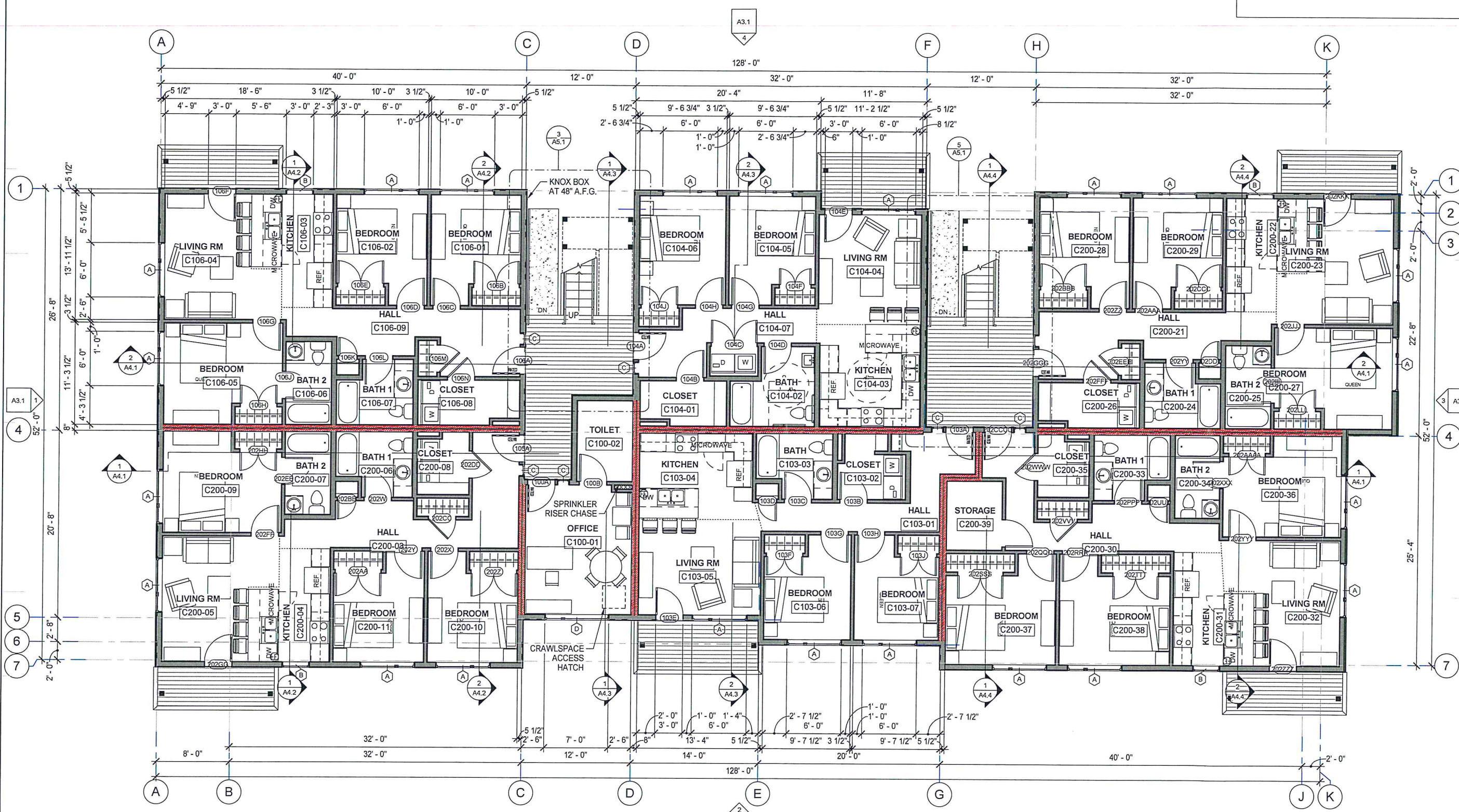
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ARCHITECTS  
Alaska Authorization #72090  
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Trailpoint  
BUILDING 'C'  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska

Sheet name  
1st Floor Plan  
Sheet number  
A2.1



1 1st Floor Plan  
3/16" = 1'-0"



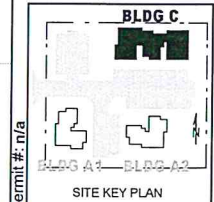
ON THIS SHEET:  
WALL DIMENSIONS = FACE OF STUD U.N.O.  
CASEWORK DIMENSIONS = FACE OF FINISH U.N.O.  
THE CONTRACTOR IS RESPONSIBLE TO  
CHECK THE PLANS AND IS TO NOTIFY THE  
ARCHITECT OF ANY ERRORS OR OMISSIONS  
PRIOR TO THE START OF CONSTRUCTION.

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



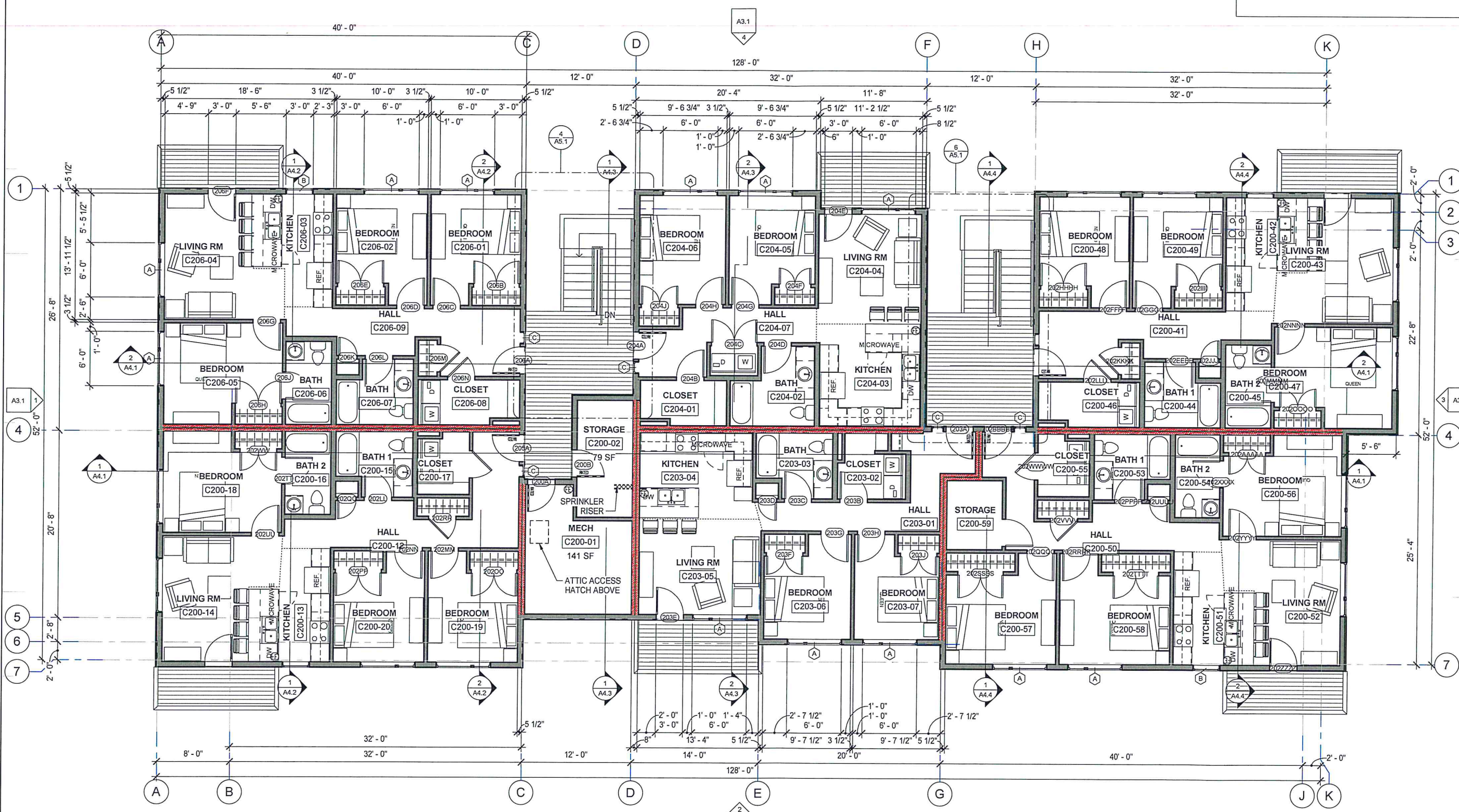
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ARCHITECTS  
Alaska Authorization #72899D  
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Trailpoint  
BUILDING 'C'  
30-Unit Residential Development  
Tract A1-2  
Checkpoint Subdivision  
Anchorage, Alaska

Permit # n/a  
Plotted on: 2/19/2021 1:40:39 PM  
sheet name  
2nd Floor Plan  
sheet number  
A2.2



1 2nd Floor Plan  
3/16" = 1'-0"

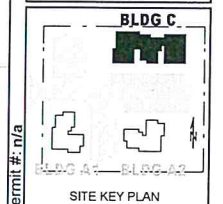
ON THIS SHEET:  
WALL DIMENSIONS = FACE OF STUD U.N.O.  
CASEWORK DIMENSIONS = FACE OF FINISH U.N.O.  
THE CONTRACTOR IS RESPONSIBLE TO  
CHECK THE PLANS AND IS TO NOTIFY THE  
ARCHITECT OF ANY ERRORS OR OMISSIONS  
PRIOR TO THE START OF CONSTRUCTION.

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



**PRELIMINARY**  
 2/19/2021  
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**ARCHITECTS**  
 Alaska Authorization #72800D  
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**Trailpoint**  
**BUILDING 'C'**  
 30-Unit Residential Development  
 Tract A1-2  
 Checkpoint Subdivision  
 Anchorage, Alaska

Plotted on: 2/19/2021 1:41:47 PM  
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 Exterior Elevations  
 Sheet number:  
**A3.1**

