

Application for Conditional Use

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650


PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first)	Spinell Homes	Name (last name first)	The Boutet Company
Mailing Address	1900 West Northern Lights	Mailing Address	601 E. 57th Place, Suite 101
	Anchorage, AK., 99517		Anchorage, AK., 99518
Contact Phone – Day	907-343-1600	Contact Phone – Day	907-522-6776
	Evening		Evening
E-mail	andre@spinellhomes.com	E-mail	thoffman@tbcak.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000): 0064214100014		
Site Street Address:		
Current legal description: (use additional sheet if necessary)		
Tract A2, Checkpoint Subd., Plat 2018-39		
Zoning: R-3	Acreage: 6.657	Grid #: SW1238

CONDITIONAL USE APPROVAL REQUESTED	
Use:	
Residential Planned Unit Subdivision (A.M.C. 21.07.110.H)	
<input checked="" type="radio"/> New conditional use	<input type="radio"/> Amendment to approved conditional use Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for a conditional use permit in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Planning and Zoning Commission for administrative reasons.

Signature  ☐ Owner ☒ Representative (Representatives must provide written proof of authorization) Date 1/30/22

Tony Hoffman
Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number:	Meeting Date: PZC
			2022-0034	07/11/2022

COMPREHENSIVE PLAN INFORMATION**Improvement Area (per AMC 21.08.050B.):** ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation:**

- ☒ Neighborhood (Residential) ☐ Center ☐ Corridor
☐ Open Space ☐ Facilities and Institutions ☐ Industrial Area

Anchorage 2040 Growth Supporting Features:

- ☐ Transit-supportive Development ☐ Greenway-supported Development
☐ Traditional Neighborhood ☐ Residential Mixed-use

Eagle River-Chugiak-Peters Creek Land Use Classification:

- ☐ Commercial ☐ Industrial ☐ Parks/opens space
☐ Public Land Institutions ☐ Marginal land ☐ Alpine/Slope Affected
☐ Special Study ☐ Residential at _____ dwelling units per acre

Girdwood- Turnagain Arm

- ☐ Commercial ☐ Industrial ☐ Parks/opens space
☐ Public Land Institutions ☐ Marginal land ☐ Alpine/Slope Affected
☐ Special Study ☐ Residential at _____ dwelling units per acre

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- Wetland Classification: ☒ None ☐ "C" ☐ "B" ☐ "A"
 Avalanche Zone: ☒ None ☐ Blue Zone ☐ Red Zone
 Floodplain: ☒ None ☐ 100 year ☐ 500 year
 Seismic Zone (Harding/Lawson): ☐ "1" ☐ "2" ☒ "3" ☐ "4" ☐ "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- ☐ Rezoning - Case Number: _____
☐ Preliminary Plat ☒ Final Plat - Case Number(s): 2018-39
☐ Conditional Use - Case Number(s): _____
☐ Zoning variance - Case Number(s): _____
☐ Land Use Enforcement Action for _____
☒ Building or Land Use Permit for Master F&G C15-2197, AWWU PS16-007
☐ Wetland permit: ☐ Army Corps of Engineers ☐ Municipality of Anchorage

SUBMITTAL REQUIREMENTS

(One copy of applicable items is required for initial submittal; additional copies required after initial submittal)

- 1 copy required: ☐ Signed application (original) ☐ Ownership and beneficial interest form
 ☐ Watershed sign off form ☐ Underlying plat
 ☐ Special limitations from the underlying zoning, if applicable

16 copies required:

- ☐ Signed application (copies)
- ☐ Map of area surrounding petition site within 500 feet, including zoning and existing uses
- ☐ Map of existing conditions, to scale, including:
 - ☐ land uses ☐ structures ☐ utilities ☐ vegetation ☐ soils
 - ☐ natural features ☐ drainage ☐ topography ☐ site access ☐ pedestrian facilities
 - ☐ vehicle circulation and driveways ☐ easements and/or reservations
- ☐ Project narrative explaining:
 - ☐ the project ☐ planning objectives ☐ facility operations
 - ☐ an analysis of how the proposal meets the standards on page 3 of this application
 - ☐ construction and operation schedule ☐ final ownership
 - ☐ gross and net density (PUDs only)
- ☐ Site plan(s) to scale depicting, with dimensions:
 - ☐ building footprints ☐ parking areas ☐ vehicle circulation and driveways
 - ☐ pedestrian facilities ☐ lighting ☐ grading ☐ landscaping
 - ☐ loading facilities ☐ fences ☐ drainage ☐ required open space
 - ☐ snow storage area or alternative strategy ☐ trash receptacle location and screening detail
 - ☐ easements ☐ significant natural features ☐ freestanding sign location(s)
- ☐ Building plans to scale depicting, with dimensions:
 - ☐ floor plans ☐ building elevations ☐ exterior colors and textures
- ☐ Summary of community meeting(s)

(Additional information may be required.)

GENERAL CONDITIONAL USE STANDARDS (AMC 21.03.080D.)

The Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** of the approval criteria are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;
2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;
3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;
4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;
5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;
6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);
7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;
8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and
9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

SPECIFIC CONDITIONAL USE STANDARDS (AMC 21.05)

Certain conditional uses have detailed standards that relate only to that type of conditional use. When there are detailed standards, the Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** general standards listed in the previous section and detailed standards listed for that conditional use in AMC 21.05 are satisfied. Each detailed standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

The Story of Checkpoint Tract A2: "From Site Condominiums to Small Lot Single Family Homes"



In 2004 an ambitious drywall contractor aspired to be a land developer. He purchased a large tract of land and began development of duplex style condominiums. He mostly completed development of one phase and partially developed another before things got bad and he gave the project back to the previous owner. This out of state landowner then turned to local developers for help. Spinell and Hultquist Homes both assisted the owner for a couple of years on various portions of the project to obtain acceptance by the MOA and allow for home sites to be sold. The owner found that he had no appetite for trials and tribulations of land development and lot sales, so he eventually divided up the pieces and sold them to Spinell Homes and Hultquist Homes separately. Both home builders began building and selling the duplex style homes on the existing home sites. Hultquist then began to develop a five-acre piece into a 4 plex lots. Spinell Homes decided to move in the opposite direction and convert Tract A2 which was previously planned for more duplex style buildings into detached single-family homes to diversify the housing types in the area. The existing engineered plans were revised and permits updated for the new plan.

These single-family homes are currently planned to be sold as condominiums, but this application is an attempt to convert the project into fee simple housing. The Anchorage 2040 Land Use Plan specifically supports this action in goals 4-10 and 4-17 below.

4-10	Amend Title 21 to reduce restrictions that currently deter construction of compact housing types; and expand provisions that allow for compact housing types, including small-lot housing, cottage houses with shared courtyards, townhouses, and small-scale garden apartments. Determine appropriate measures through a meaningful, collaborative public process and make subject to site development standards including standards for neighborhood compatibility.	OECD, Planning, DevServ, PRIV, AWWU	1-3	HMA
4-17	Amend Title 21 to allow small-lot subdivisions enabling more forms of small-lot housing as an alternative to large multi-unit buildings in multifamily districts.	Planning, DevServ, Traffic, PRIV, AWWU	Now	AB Comp Plan, HMA

Although this housing type is supported in the Land Use Plan, goal 4-17 specifically states that Title 21 should be changed to accomplish this. Recently restrictions in the Unit Lot Subdivision section of Title 21 were removed as an attempt at this. We started this process looking at the Unit Lot option along with Cluster Lot and Narrow Lot Subdivision Standards but after much analysis and several meetings between Planning Staff and the Development Team we finally decided that the Planned Unit Development (PUD) process was not a perfect fit but the best one available in code today.

There are arguably several benefits to fee simple home ownership but a major benefit in this case is a substantial cost savings in reduced paperwork. When banks loan money to a home buyer purchasing a condominium there are a more restrictive set of rules that apply designed as consumer protections but geared toward large multi-unit buildings. For example, the bank will not loan the money for the purchase of the home until 50% (most lenders) or 75% (some lenders) of the homes in that phase are under contract to be purchased and a phase cannot be



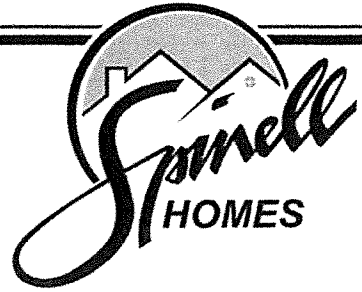
added to the project until all homes in that phase are substantially completed. The financial risk involved with large phases is too great so a cautious developer would likely end up creating fourteen phases with four units per phase to complete these 56 homes.

To create the initial Planned Community documents which this project will still require as the road and open spaces will still be owned and maintained in common as well as design guidelines and neighborhood rules and restrictions put in place to ensure the sustainability of the community it typically cost approximately \$15,000. Each additional phase however typically cost \$5,000 which raises the development cost by \$1,250 per unit or \$70,000 total. Approval of this case will likely save this community \$70,000 worth of paperwork. This savings is not going directly to the buyers or the developer but will go back into the project in the form of trees. Attached there are two landscape plans. One is the currently approved plan with 30 trees and 15 shrubs. The other is the proposed landscape plan with 190 trees and 207 shrubs. To move closer toward compliance with the landscaping requirements of a PUD we have proposed adding 160 trees and 192 shrubs. This amount of landscaping comes at a large cost and will certainly exceed any savings from less paperwork but will add great value to the neighborhood.

Unfortunately, all this landscaping still does not meet the requirements of the PUD which is why the project requires variance from the landscaping requirements. Like the financing rules previously mentioned the PUD code also appears to have been crafted with larger multi-unit buildings in mind. This is not uncommon in the planning world which is why several jurisdictions have created Cottage Housing or Small Lot Ordinances for their multi-family zoning districts to spur more fee-simple housing to create new opportunities for homeownership while not increasing the density of the underlying zoning district.

Continuing with the square peg round hole theme the application also includes a variance from the open space requirements for PUD's in Title 21. This project requires 86,985 square feet of open space and 50% of that or 43,492 square feet is required to be common open space. Our design provides approximately 154,555 square feet of open space. 20,691 square feet of this is code compliant common open space consisting of two small parks, a buffer along the collector road and a landscaped pathway through the utility and access easement connecting to the neighborhood to the South.

The remaining 133,864 square feet of our open space consists of the yards minus the estimated average size house and driveway. Of this yard space approximately 28,544 square feet is front yard space. We are proposing that the front yards be considered as a semi-private-public space and considered an alternative equivalent compliance per 21.07.010.D. Neighborhood design guidelines will not allow the fencing of front yards to promote visual and physical accessibility



allowing for more interaction between residence to socializing and play together. We feel this alongside the abundance of private open space in the rear yards should be considered to meet the intent of the open space requirements of the code. To summarize:

Required	SQFT	Provided	SQFT
Total Open Space Required	86,985	Total Open Space Provided	154,555
Common Open Space Required	43,492	Common Open Space Provided	20,691
		Semi-Private-Public Opens Space Provided	28,544

In conclusion there are several elements of this plan that do not conform with Title 21 as written today. We have put together a project that aims to achieve the goals of the Land Use Plan, optimizes construction administration and programming for the developer and provides the home buyers with superior product with more options for competitive financing. Please support this project.

Sincerely,
The Team at Spinell Homes Inc.



Birch Meadow Subdivision

Planned Unit Development

Narrative

Proposal:

Attached is the following narrative, attached project maps and documents for our proposed Planned Unit Development of Checkpoint Subdivision, Tract A2 (MOA Parcel I.D.# 00642141000). We are requesting review and approval of the project under a Conditional Use Application, *A.M.C. 21.07.110.H. "Conditional Use for a Residential Planned Unit Subdivision"*. The proposed development is for 56 units, all single family detached dwellings on individual lots, which creates a density of 8.4 dwelling units per acre. This density is well below the maximum allowed density of the existing R-3 zoning¹. The internal road (Takotna Loop) will be privately owned and maintained. The property owner and developer is Spinell Homes. The project engineer is Triad Engineering, and the surveyor/planner is The Boutet Company.

The project is already permitted as a multiple family project on a single large tract (i.e. condominium or apartment style). The underground utilities and road for Phase 1 were mostly constructed in 2021 but not completed. As lending regulations for condominium projects have evolved over the last decade it has made condo development of this type increasingly difficult. The rules regarding phasing and percentages of sold units with in a phase prior to closing that make sense when looking at apartment style buildings do not work well for single family detached home developments. The regulations slow down the build out of the development and ultimately result in increasing the cost of the project. This is why we are proposing to use the CUP process to create fee simple lots that are slightly smaller than those allowed by right in the R-3 but consistent with the Goal 4 of the 2040 Land Use Plan and supported by several of the recommended actions for Goal 4 but specifically called out in Action 4-17. Action 4-17 states "Amend Title 21 to allow small-lot subdivisions enabling more forms of small lot housing as an alternative to large multi-unit buildings in multifamily districts." These lots will be served by a private road maintained by The Homeowners Association with a mixture of private and public utilities located within the road. The Association Declarations will include rules similar to those required in the Unit Lot Section of Title 21 or a typical condominium project of this type. They define maintenance responsibilities and create a higher standard designed to help sustain property values.

¹ A.M.C. 21.07.110 H.3.a states the maximum dwelling units for the R-3 zoning (in a PUD) is 55.

Birch Meadow Subdivision Planned Unit Development



The underlying density and layout of the project, which is already approved, will not change through this application. This process is meant to bring a new, more affordable housing type not currently available in the new construction market in a faster and more economical way.

To accommodate the existing plan approvals and the utilities that are in place, we will be seeking the following zoning and subdivision design variance requests:

21.07.060.E.2.b Sidewalks. As mentioned, the road improvement plans are approved (with sidewalk on one side of the road). We feel a second sidewalk is not warranted in this situation, and it is out of character for the nature and scale of this 56 unit neighborhood. **We are requesting that the development proceed with sidewalk on one side of the development, as approved by Private Development.**

21.07.110 H.2.c.iii Conditional Use for a Residential Planned Unit Development, Landscaping. The requirement for L2 buffer landscaping is excessive in this area, particularly Newell Street. The likelihood of Newell ever being utilized is very slim. In addition, there is existing vegetation in the ROW adjacent to this property that can be utilized. The attached landscape plan demonstrates that the development plan exceeds the code required landscaping in parklets, rear yard tree planting and other areas. **We are requesting the landscaping improvements be approved, as shown on the landscape plan and landscape variance submitted with this application.**

21.07.110 H.2.c.iv Conditional Use for a Residential Planned Unit Development, Landscaping Screening landscaping is an excessive amount of landscaping to place between 2 residential uses of similar scale and density. Also, the landscape table 21.07-2 indicates no required landscaping between R-3 developments such as this. The attached landscape plan demonstrates that the development plan exceeds the code required landscaping in parklets, rear yard tree planting and other areas. **We are requesting the landscaping improvements be approved, as shown on the landscape plan and landscape variance submitted with this application.**

21.07.110 H.2.c.v Conditional Use for a Residential Planned Unit Development, Building Separation. Since this development will be single family on an individual lots, the required setback in the CUP code (1 ½ times the height of the tallest adjacent building) is excessive, given that the required setback for multi family buildings is 5 feet in the R-3 zone. **We are requesting the elimination of this CUP requirement, as it does not match what is required in the zoning setback required in code (5 feet). See attached zoning variance.**

21.08.040A.i Private Streets We will be requesting a variance from the subdivision code requirement for publicly dedicated roadways. Private roads are appropriate for this scale and size of development. **We are requesting a subdivision variance from this code section to allow the private streets.**

Lot Dimension Standards Proposed

- Minimum Lot Size: **We are requesting a minimum lot size of 2,800 s.f. (Average lot size is 3,975 s.f.)**

Birch Meadow Subdivision Planned Unit Development



- Minimum Lot Width: **We are requesting a minimum lot width of 35 feet. (The average lot width is 38 feet)**

Background and History:

Spinell Homes became involved in the Checkpoint Subdivision back in 2014 when they bought this property, and others in the area, out of foreclosure from the previous owner. Since then, Spinell has built more than 60 condominiums in the immediate area, including the Lauren Glen condominium development adjacent to this project on the east boundary.

Overview:

The Checkpoint Subdivision area is located south of the Glenn Highway, between Newell Street and Turpin. The Checkpoint "Development" area is comprised of 4 different large tracts:

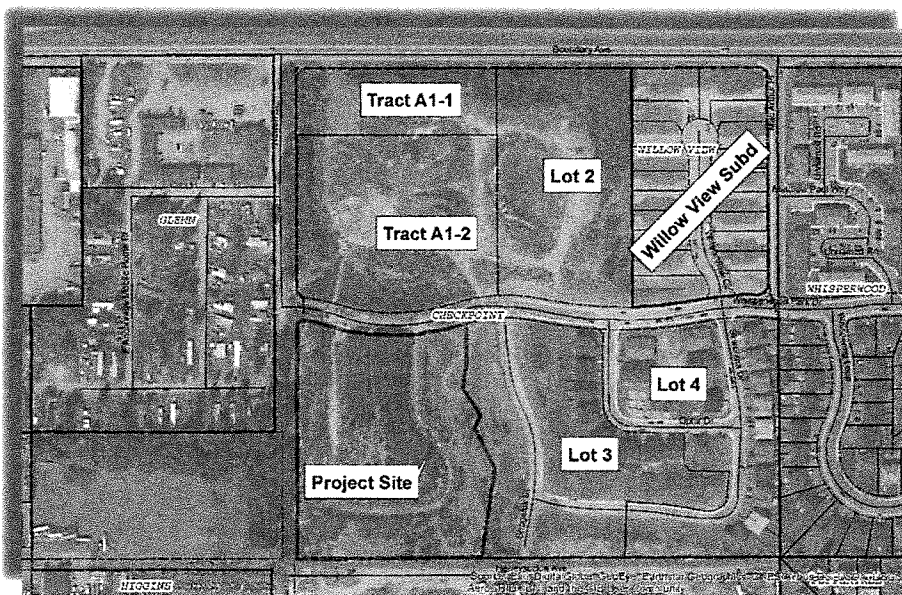
Tracts A2 (this application) plat 2018-39

Tracts A1-2 sand A1-1 plat 2020-30

Lots 2, 3 and 4, plat 2012-47

Willow View Estates, Lots 1-20 and Blk 1 (a subdivision of Lot 1, Checkpoint Subdivision, plat 2012-96).

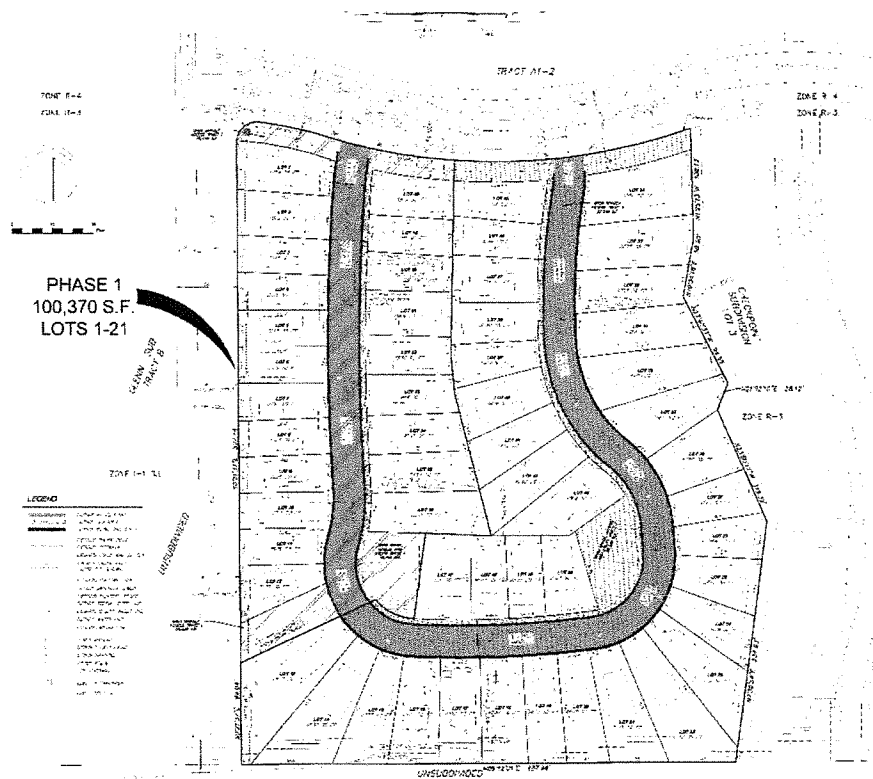
The immediate area is being developed as multi family buildings, some as condominiums and others as apartments



Birch Meadow Subdivision Planned Unit Development



Our proposal will provide single family homes, situated on their own lots. The water, sewer and storm drain are installed for all of Phase 1 and are designed to accommodate the single family home sites as designed.



The entire, larger area between Turpin and Newell Street (approx 73 acres) is comprised of Multi Family developments.



Phasing: The current phasing plan is to develop the 21 lots indicated as Phase 1 in the summer of 2022. All the utility infrastructure for phase 1 (water, sewer, storm, gas and electric) is in place. The pad grading is complete, and the road only needs to be finished. The remaining units will be built out in 2-3 years, as market demands dictate. See the phasing plan submitted with the plat application.

Birch Meadow Subdivision Planned Unit Development



This proposal is for a Planned Unit Development, utilizing the design criteria and building concepts proposed herein. All the utilities, the road network and other infrastructure have been approved in the following plan sets:

Private Development Plans (Takotna Road):

- MOA Master Fill and Grade C15-2197
- AWWU Private System PS16-007

Newell Street and Whisperwood Park Drive right of way improvements:

- Subdivision Agreement 16-005
- AWWU Private Development WS20-002

Statistics: The building concept currently is configured for approximately 59,138 s.f. of building unit "footprint" space, with 56 buildings planned. The current plan has 94,774 s.f. of open space, as defined by AMC 21.07.110 H.2.b There is 66,496 s.f. total area of impervious coverage (asphalt, sidewalk and curb).

The community will be a shared common cost community governed by a Homeowners Association. The Homeowners Association will be responsible for snow removal, road maintenance, grounds maintenance, and will have rules that govern exterior maintenance.

The development consists of single family homes, situated on small, fee simple owned lots. The architecture to all the buildings will be craftsman styling which will create uniformity throughout the development. Large open areas are incorporated into the design to increase the openness of the development. Additionally, mounding and landscaping will be used to provide visual buffers that will reduce the impact of the building density within the development.

RESPONSES TO APPROVAL CRITERIA

General Conditional Use Standards (AMC 21.03.080D)

1. *The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations. The 2040 Land Use plan indicates the area as "Single Family and Two-Family" Neighborhood , which is what we are proposing.*
2. *The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district specific standards set forth in chapter 21.04. Single family higher density development is a permitted use in R-3 zoning.*
3. *The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05; Per the Table of allowed uses (21.05-1) Single Family Detached Dwelling are a permitted use in the R-3 zoning*
4. *The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts; The scale and density of the proposed development are appropriate for the area and are harmonious with surrounding growth patterns.*

Birch Meadow Subdivision Planned Unit Development



5. *The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district; The proposed development will not impede any future developments surrounding it.*
6. *The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts); The developments south, east and north are being developed as multi family housing, similar in scale and density as this one. On the west, any impacts will be mitigated by Newell Street (a collector street).*
7. *Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible; This development will create no impacts (noise, traffic, pollution or otherwise) that is greater than the adjacent developments of the same type. The compact design and density allowed in R-3 helps mitigate any off site impacts*
8. *The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability impacts on pedestrian, bicycle, and transit circulation, and safety for all modes. The development is adjacent to Whisperwood Park Drive, which is a collector and provides immediate access to public transportation and school bus routes. Additionally, the subdivision is situated on a closed loop road, and no driveway access will be permitted onto Whisperwood.*
9. *The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services. All utilities (water and sewer) are currently installed (or will be) and available for fire response. The transportation system (People Mover) has a stop on Boundary Street at Newell Street. And the development is close to Ptarmagin Elementary, Clark Middle School and Bartlett High School, and bus service is available for all 3 schools. The development is located well within the police and fire service areas.*

Following are the responses to 21.07.110 H (Conditional Use for a Residential Planned Unit Development)

1. **Intent and Approval** *A residential planned unit development (PUD) is intended to allow flexibility for residential development in the zoning ordinance and to achieve the creation of a more desirable environment than would be possible through a strict application of the zoning ordinance....*
 - a. *Creative use of the land, imaginative architectural design, a consolidation of usable open space and recreation areas, and the preservation of natural features. The design utilizes the existing approvals in hand and is in harmony with the surrounding land uses. Also, if we utilized the maximum density allowed in R-3 zoning, it would create substantially more units (20 d.u.a. could be created if townhouse style was utilized). The use of the single family type plans allows for more open space around the units. The act of approving the variances and applications will allow for the best use of the property*
 - b. *The mixing of compatible land uses, residential densities, and housing types within the neighborhood. This plan follows the R-3 densities of the developments to the east, and the Trailer Park to the south. The development plan is compatible to the adjacent existing and future planned housing projects.*
 - c. *The efficiency of the configuration of utilities, vehicular circulation, and parking facilities. The utilities and road alignment are designed to allow full use of Whisperwood Drive on the*

Birch Meadow Subdivision Planned Unit Development



north boundary. Both Newell Street and Whisperwood Park Drive are fully improved Roads, and Newell Street is designated as a Collector on the OSHP plan, which provides good connectivity to and from the neighborhood. Parking is provided in the individual home garages and in the driveways.

- d. *Enhancing the surrounding environment...* This development will match the existing building style of the surrounding areas, and will also provide more open space for the homeowners than is usually available in condominium developments
- e. *Maintaining population densities and lot coverage that are consistent with available public services and the comprehensive plan.* As mentioned before, the development in the surrounding area has been multi family style homes, as either apartment rentals or condominiums. The density if this subdivision is in harmony with the surrounding areas, but will provide fee simple lots for homebuyers that don't want to live in an apartment or condominium style building
- f. *Homeowners' Agreements.* Any PUD which will involve the formation of a horizontal property regime under the terms of AS 34.07.010 et seq. or any mandatory homeowners' or similar association shall submit for review by the commission the articles of incorporation and bylaws of any such association prior to the sale of any property subject to the association. The commission may require any provisions necessary to ensure that the provisions and intent of this title are met. There will be a Homeowners Association for the development which will cover common area landscaping and other maintenance as needed. A copy of the HOA documents will be provided to planning before recording. A copy of a very similar development by Spinell Homes, which will be a model for this development, has been provided to review.

2. **Minimum Standards:** All planned unit developments shall meet the following minimum standards

- a. *Minimum Size Area.* The minimum site area for a PUD shall be 2.0 acres for PUDs located entirely in the R-2M, R-3, and R-4 zoning districts. **The development is 6.657 acres, so it is compliant.**
- b. *Open Space:* A minimum of 30 percent of the site shall be reserved as open space which shall meet the following standards: **SEE ATTACHED OPEN SPACE VARIANCE FOR RESPONSES TO ITEMS "i" THROUGH "vi" BELOW**

Site Area= 289,952 s.f. X 30%=89,985 s.f. min. required **94,774 s.f. shown**

- i. At least one-half of such open space shall be contiguous:
- ii. The open space shall not include public or private streets or rights of way; parking facilities, driveways, other motor vehicle circulation areas, loading areas, or refuse collection areas; slopes over 15 percent; 50_percent of designated snow storage areas; drainage easements, ditches, swales, or other areas intended to collect and channel water
- iii. In class A districts, no portion of the required open space shall be less than 2,000 square feet in area or less than 30 feet in its smallest dimension, except for individual yards, balconies, or decks pursuant to b1v. and b.v. below
- iv. In class B districts, no portion of the required open space shall be less than half of the minimum lot size of the underlying district in area, or less than 100 feet in its smallest dimension, except for individual yards, balconies, or decks pursuant to b.v. and b.vi. below;
- v. A minimum of 12 percent and a maximum of 50 percent of required open space shall consist of yards which shall be reserved for the residents of individual dwelling units
- vi. In multistory buildings, balconies or decks may be used in lieu of individual yards provided that the total area of all balconies or decks is not less than the total yard area otherwise required.

Birch Meadow Subdivision

Planned Unit Development



c. *Design:*

- i. *Any nonresidential use permitted in a PUD shall be compatible with the residential nature of the development. Parking areas which are intended to serve nonresidential uses shall be separated from those designed to serve residential areas. Unless nonresidential and residential uses are combined within a single structure, nonresidential uses shall be separated from dwelling units by L2 buffer landscaping.*
N/A There are no nonresidential uses in this development
 - ii. *Pedestrian walkways shall connect residential and nonresidential uses within a PUD.*
N/A There are no nonresidential uses in this development
 - iii. *L2 buffer landscaping shall be planted along each boundary of the PUD adjacent to a nonresidential district or a right-of-way designated for collector or greater capacity on the Official Streets And Highways Plan. See zoning landscape variance request.*
 - iv. *Common open space with L3 screening landscaping shall be provided along any lot line abutting a residential neighborhood where any abutting lot is greater than 150 percent of the average lot size along that lot line of the PUD. This standard cannot be met. See zoning landscape variance request.*
 - v. *Any two adjacent buildings within a PUD shall be separated from each other by a distance equal to one-half the height of the taller building. See zoning landscape variance request.*
 - vi. *Each dwelling unit shall be provided with either heated parking, or at least one electrical outlet that is convenient to the required parking space(s). Every house will have at least one outside electrical outlet and a garage.*
- d. *Access and connectivity (applicable items of 21.07.060 Transportation and Connectivity are listed with responses)*

21.07.060 D. Streets and On Site Connectivity:

- 1. *Standards: Street standards 21.08.030F2, F4 and F5 are met*
- 2. *Parking Lots: N/A*
- 3. *Street Connectivity:*

b. Internal Street Connectivity:

- i. *Block length: standard is met*
- ii. *No cul de sacs are in the plan*

c. External Street connectivity.

i. **The design allows for connectivity to Whisperwood Park Drive. Additionally, the design has been reviewed and approved by MOA P.D. review agencies.**

ii. **The development has already built the extension of Newell Street from Whisperwood Park Drive to Boundary Avenue.**

d. *Vehicular access to public streets: Complies*

e. *Connection to vacant land: The construction of Whisperwood Park Drive and Newell Street to the north has provided access to all surrounding properties, including the vacant properties to the north and west*

f. *Neighborhood connections from cut through traffic: The internal road (Takotna Loop) is a loop road, which has no direct connection to surrounding subdivisions.*

g. *Pedestrian Connectivity: N/A*

E. Standards for Pedestrian Facilities:

- 2. *Sidewalks: Sidewalks are provided*

Birch Meadow Subdivision

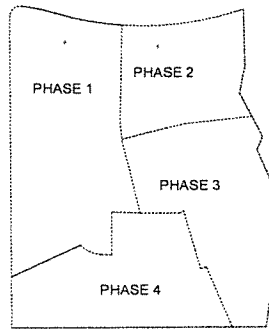
Planned Unit Development



21.07.110H2.e Utility Installation: All utilities have been installed underground.

3. Development Options:

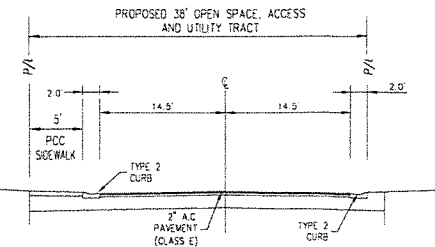
- a. *Density:* The density of this development (8.4 d.u.a.) is far below the R-3 maximum that is indicated in Table 21.07-12 (55 D.U.A.)
- b. *Uses:* This development will be conventional single family homes. No non-residential uses are intended.
- c. *Dimensional Standards:*
 - i. *Height limitations in the R-3 and R-4 districts may be exceeded by an additional 10 feet* We are requesting a maximum height limitation of 30 feet. We can add a plat note that states maximum building height of 30 feet (similar to the R-2M) if staff feels that is appropriate
 - ii. *Proposed standards for this development:*
 1. *Lot size:* We are requesting a minimum lot size of 2,800 s.f. (Average lot size is 3,975 s.f.) The minimum lot size proposed is 2,838 s.f.. The largest lot is 7,639 s.f. and the median lot size is 3,977 s.f.
 2. *Lot width:* We are requesting a minimum lot width of 35 feet.
 3. *Minimum Setbacks:* We are requesting that the minimum setbacks are 5' from the property line, the minimum per standard R-3 and R-2M zones.



Phase 1: 2022-2023
Phase 2: 2023-2024
Phase 3: 2024-2025
Phase 4: 2025-2026
(Dates are subject to market demand)

PHASING PLAN

TAKOTNA LOOP CROSS SECTION



Certificate of Ownership and Dedication

I (we) hereby certify that I (we) hold the herein specified property interest in the property described herein. I hereby dedicate to the municipality all areas depicted for use as public utility easements, streets, alleys, thoroughfares, parks, and other public areas shown hereon. There shall be reserved adjacent to the dedicated streets shown hereon a slope reservation easement sufficient to contain cut and fill slopes of 1.5 feet horizontal for each one foot vertical (1.5 to 1) of cut or fill for the purpose of providing and maintaining the lateral support of the constructed streets. There is reserved to the grantors, their heirs, successors and assigns, the right to use such areas at any time upon providing and maintaining other adequate lateral support, as approved by the municipality.

I (we) hereby agree to this plat, and to any restriction or covenant appearing hereon and any such restriction or covenant shall be binding and enforceable against present and successive owners of this subdivided property.

Spinell Homes
1900 W. Northern Lights BLVD
Anchorage, AK, 99517

Andre Spinelli
Managing Member

EXISTING ZONING: R-3

Tract A-2 Area: 289,952 s.f.

Phase 1 Data:

Area: 101,326 s.f.
21 Lots, 1 Tract

Remaining Phases:

Area: 188,626 s.f.
35 Lots, 1 Tract

Overall Lot Size Average: 3980 s.f.
Overall Gross Density: 8.4 du/a

Notes:

- UNLESS NOTED OTHERWISE, EASEMENTS SHOWN ON HERE ARE EXISTENT, EITHER RECORDED BY DOCUMENT OR BY THE UNDERLYING PLAT (2018-39).
- THE PROPERTY OWNER AND UTILITIES SHALL NOT RAISE, LOWER OR REGRADE THE PROPERTY IN A MANNER THAT WILL ALTER THE DRAINAGE PATTERNS FROM THOSE SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OF ANCHORAGE BUILDING SAFETY OFFICE.
- PROPERTY OWNERS AND UTILITIES SHALL NOT OBSTRUCT, IMPEDE OR ALTER APPROVED DRAINAGE FACILITIES (E.G. SWALES, DITCHES) IN ANY WAY THAT WILL ADVERSELY AFFECT ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- TRACTS 1 AND 2 ARE PRIVATE ACCESS, OPEN SPACE AND UTILITY TRACTS
- THE MUNICIPALITY WILL NOT NOW, AND WILL NOT IN THE FUTURE ACCEPT THE OWNERSHIP OF, OR THE MAINTENANCE OF, OR THE RESPONSIBILITY FOR SNOW PLOWING OR ROAD IMPROVEMENTS IN TRACTS 1 AND 2. OWNERSHIP, MAINTENANCE AND SNOW CLEARING SHALL REMAIN THE COLLECTIVE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE LOTS THAT RECEIVE THEIR ACCESS OFF OF THESE TRACTS.
- TRACTS 1 AND 2 ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE LAUREN GLEN CONDOMINIUM DEVELOPMENT HOMES ON THE WEST SIDE OF SHAGLUK STREET HAVE NOT BEEN CONSTRUCTED. THEY ARE SHOWN PER DESIGN. THE STREET AND UTILITIES ARE FULLY IMPROVED AS SHOWN.
- THE TRACT AREAS INDICATED AS "ACCESS, OPEN SPACE AND UTILITY" ARE NOT NECESSARILY THE AREAS USED IN THE CALCULATION OF THE REQUIRED OPEN SPACE OF THE PLANNED UNIT APPLICATION.

PHASE 1
101,326 S.F.
LOTS 1-12,
48-56 and
TRACT 1

ZONE I-1 S.L.

UNSUBDIVIDED

Camelot Drive

UNSUBDIVIDED

ZONE R-2M

LEGEND

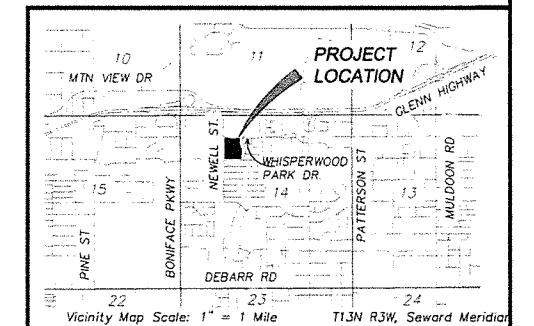
- | | |
|--|---|
| | FUTURE PAVED ROAD |
| | FUTURE SIDEWALK |
| | FUTURE CURB AND GUTTER |
| | EXISTING PAVED ROAD |
| | EXISTING SIDEWALK |
| | EXISTING CURB AND GUTTER |
| | SNOW STORAGE AREA (4,303 S.F. SHOWN) |
| | EXISTING ELECTRIC LINE |
| | FUTURE SANITARY SEWER |
| | EXISTING SANITARY SEWER |
| | FUTURE STORM WATER LINE |
| | EXISTING STORM WATER LINE |
| | FUTURE WATER LINE |
| | EXISTING WATER LINE |
| | SEWER MANHOLE |
| | STORM CATCH BASIN |
| | STORM MANHOLE |
| | WATER VALVE |
| | FIRE HYDRANT |
| | ELEC TRANSFORMER |
| | ELEC PEDESTAL |
| | PRIVATE ROAD, UTILITY AND OPEN SPACE TRACT (SEE NOTE 8) |
| | PROPOSED BUILDING AND DRIVEWAY SITE |
| | SITE DRAINAGE |
| | EXISTING CONTOUR ELEVATION |

Utility Notes:

The utilities and road construction shown on here (both constructed and future construction) are per MOA approved plans as follows:

Private Development Plans:
MOA Master Fill and Grade C15-2197
ANNU Private System PS16-007

Subdivision Agreement 16-005
ANNU Private Development WS20-002



SITE PLAN

Lots 1-56 and
Tracts 1 and 2,
Birch Meadow Subdivision

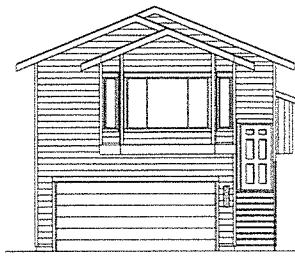
A subdivision of Checkpoint Subdivision
Tract A2, Plat 2018-39
Located within the NW 1/4 of Section 14,
T13N, R3W, State of Alaska,
Contains 6.657 Acres, More or less

MOA Grid Map: SW1238
Scale: 1"=40'
Drawn By: TH
Checked: AS
Job No.
Date: 3/29/2022
Plat No.:
SHEET: 1 of 1

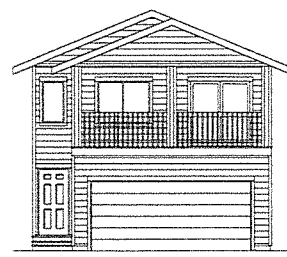
The Boutet Company, Inc.
601 E. 57th Place, #102
Anchorage, AK 99518
P: 907-522-8998
F: 907-522-6779
License No. AEC0557



1193 CROWBERRY



1452 FORGET ME NOT



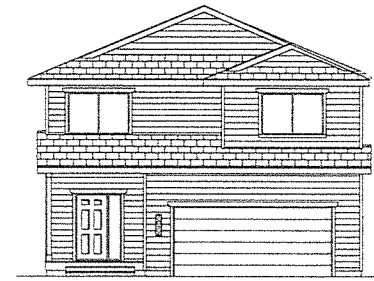
1698 SNOWFLOWER



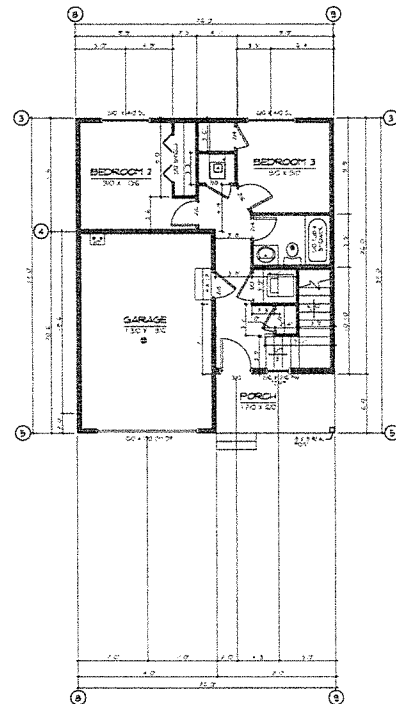
1856 ROSE X DE



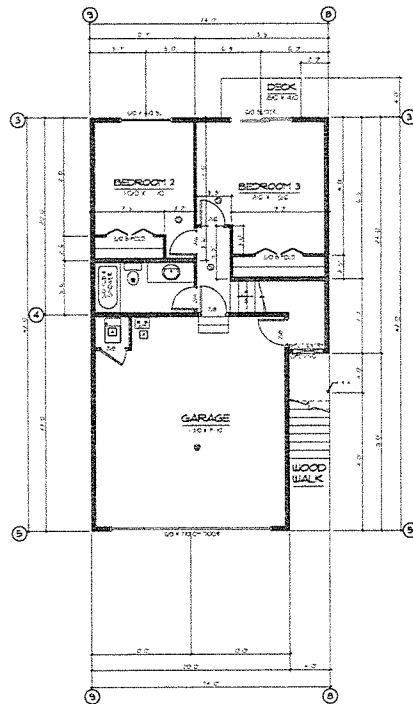
1910 BIRCH



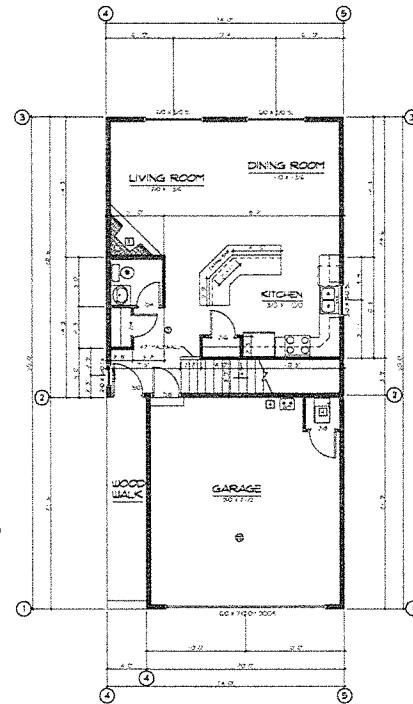
1924 FOXGLOVE



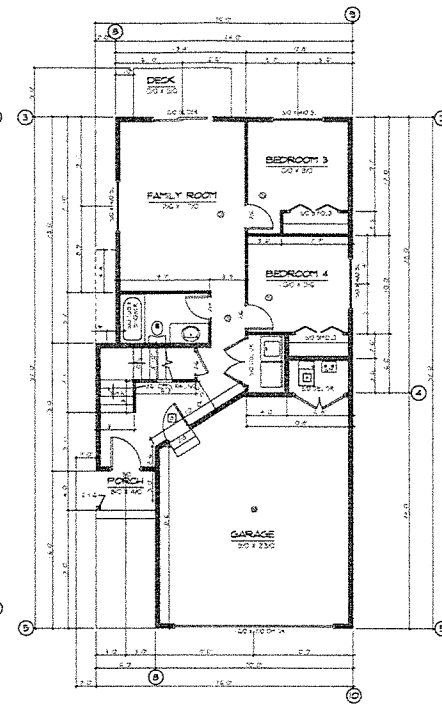
1ST FLOOR PLAN



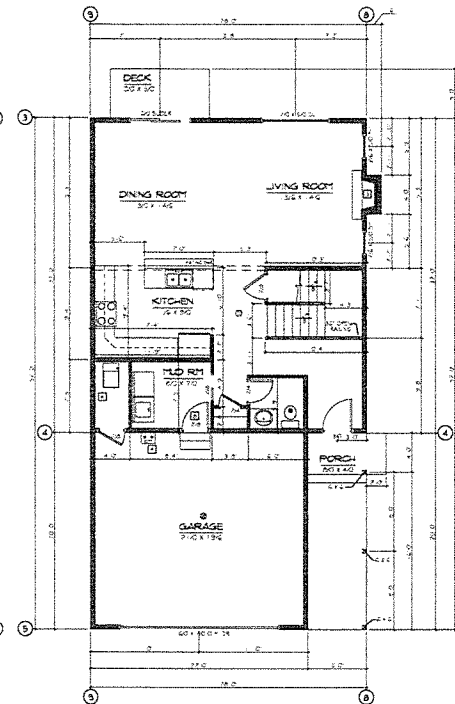
1ST FLOOR PLAN



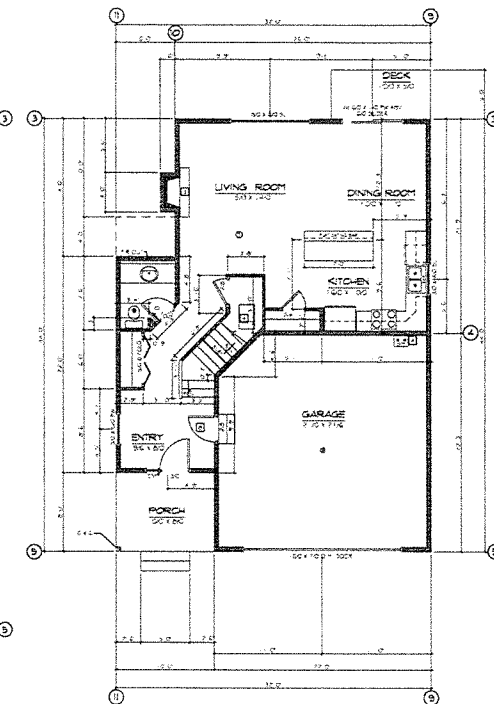
1ST FLOOR PLAN



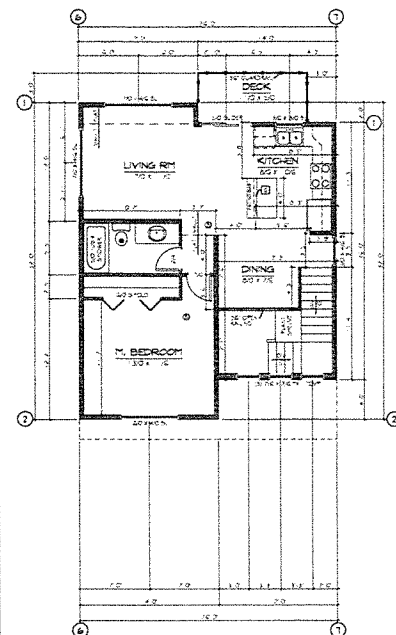
1ST FLOOR PLAN



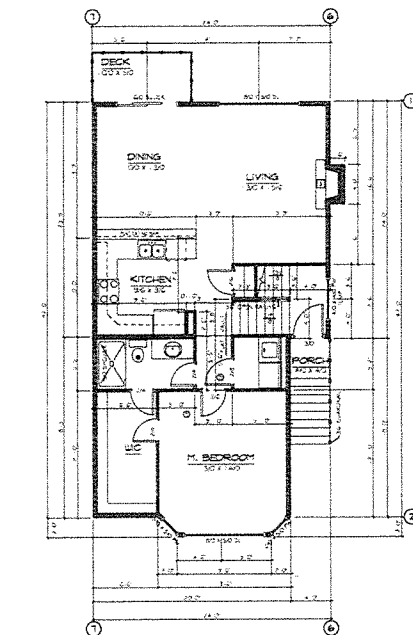
1ST FLOOR PLAN



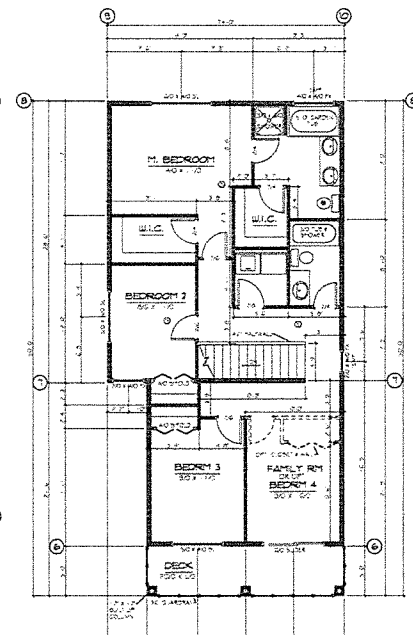
1ST FLOOR PLAN



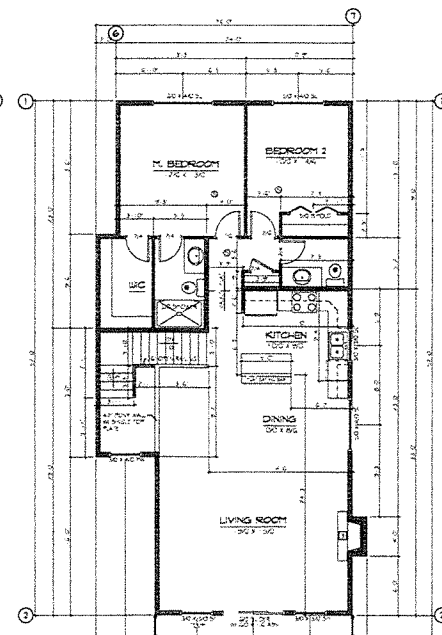
2ND FLOOR PLAN



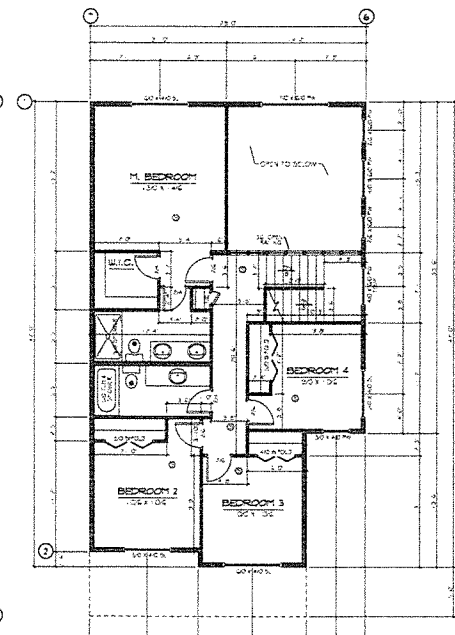
2ND FLOOR PLAN



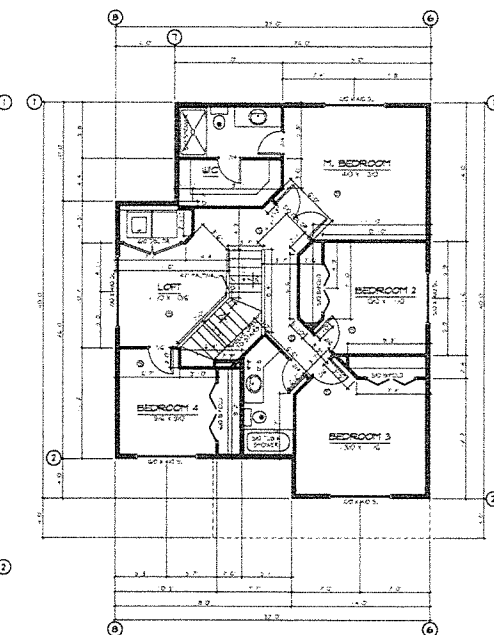
2ND FLOOR PLAN



2ND FLOOR PLAN



2ND FLOOR PLAN

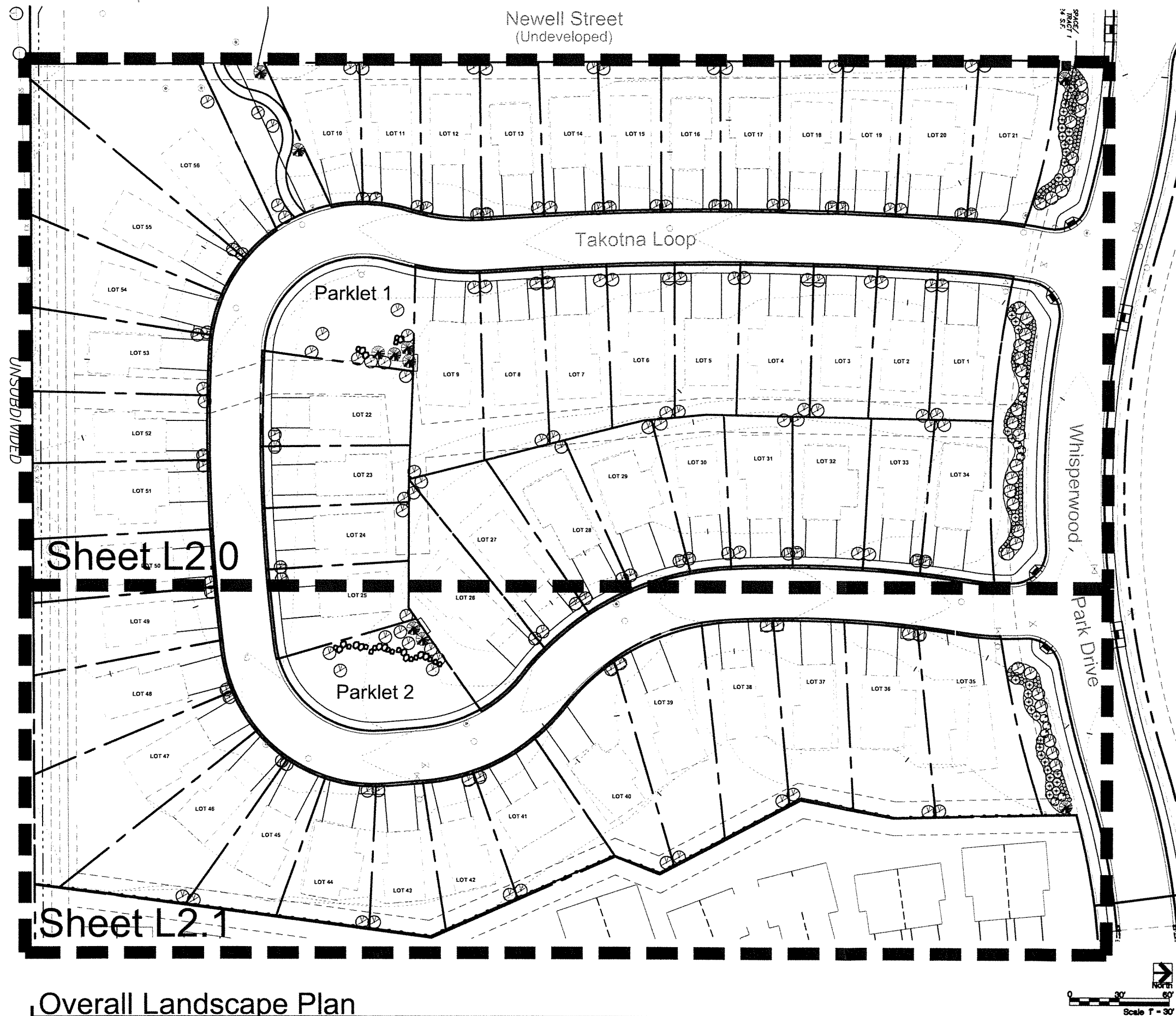


2ND FLOOR PLAN

BIRCH MEADOW

Spinnell HOMES, Inc.

1900 W. NORTHERN LIGHTS BLVD.
ANCHORAGE, ALASKA 99517
907-344-5678 FAX 907-344-1976
ALL IDEAS, DRAWINGS AND/OR ARRANGEMENTS PRESENTED
ON THESE PAGES ARE THE EXCLUSIVE PROPERTY OF SPINELL
HOMES, INC. ANY UNAUTHORIZED REPRODUCTION OR USE IS
STRICTLY PROHIBITED.



Overall Landscape Plan

Landscape Permit Summary

LANDSCAPING REQUIREMENTS (Title 21)
Zoning: R3
Adjacent zoning: R4, R3R4, R2M, I1SL

21.07-2 Min. Site Perimeter Landscaping
North property line, along Whisperwood requires L1 – Visual Enhancement Landscaping;
East property line adjacent to R3 does not require landscaping;
South property line, adjacent to R2M does not require landscaping;
West property line, adjacent to Newell Street requires L1–Visual Enhancement landscaping. However with the undeveloped right-of-way and existing vegetation, planting in other portions of the site better meets landscape requirements.

L1 Visual Enhancement Landscaping
Applicable Standards:
Min. average planting bed = 8' (min width 5', max 50' run)
1 tree + 6 shrubs/20 lf

21.07.080 E.10.b. Types of Landscaping 4. Trees for residential development
Applicable Standards:
Individual lots shall have min. 1 tree.
Min 20 trees/acre. 2" cal. and min. 6' tall coniferous trees

Landscape Summary
North Property Line = 478 l.f. along Whisperwood. Requires 34 trees and 144 shrubs
Shown: 34 trees, 207 shrubs
East Property Line
Landscaping not required
South Property Line:
Landscaping not required
West Property Line = 618 l.f. Requires 39 trees, 229 shrubs
Shown: 156 trees spread throughout site + 63 additional shrubs along Whisperwood Drive.
Applicable Standards:
Individual lots each have 1 tree/lot.
Acreage: 6.6 acres
Requires min. 46 trees. Shown 190 trees including 2 trees/lot.

Plant Schedule

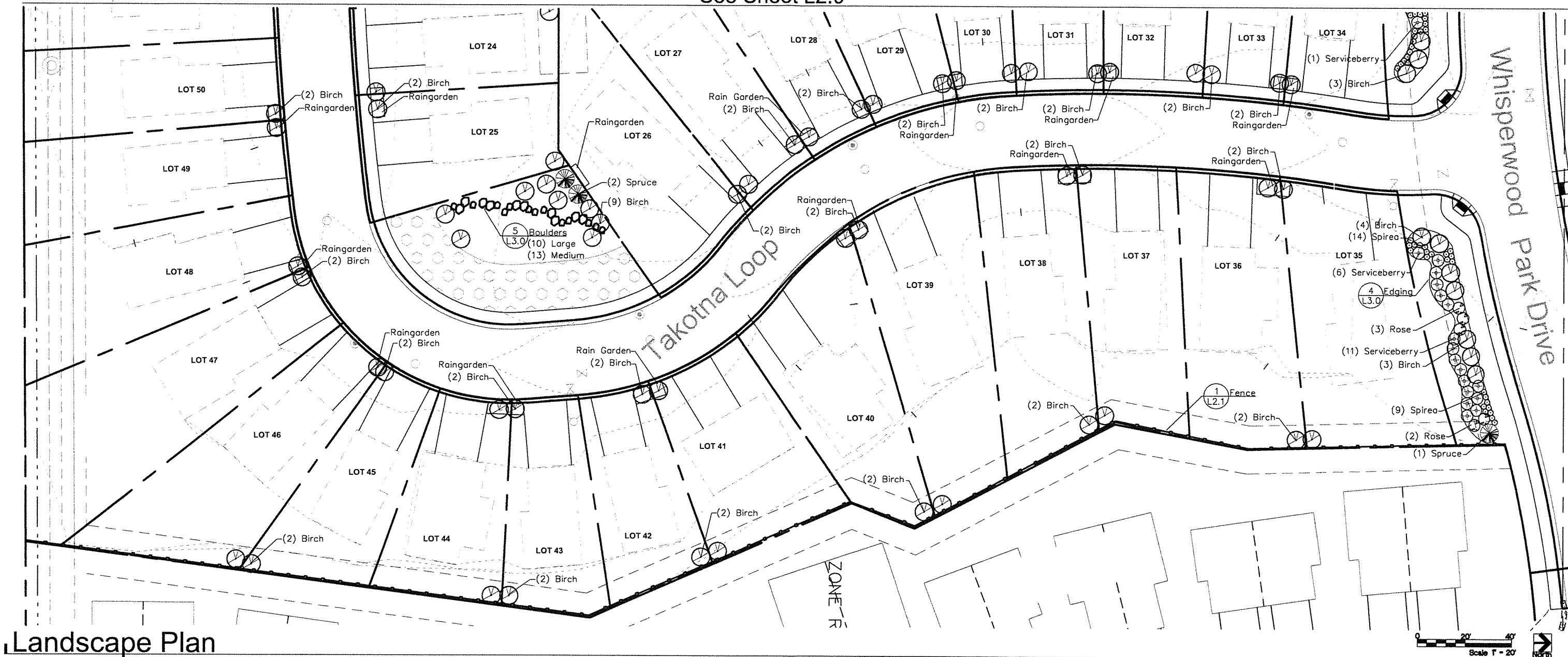
Common Name	Botanical Name	Quantity	Spacing (min.)	Size	Notes
Trees					
Birch	Betula papyrifera	88	8' o.c.	2" cal.	See Note 3
Birch-Transplant	Betula papyrifera	92	8' o.c.	varies	See Note 4
Spruce	Picea pungens	10	as shown	6' tall	See Note 4
Shrubs					
Serviceberry	Amelanchier alnifolia	38	5' o.c.	24" tall	Nursery grown
Spiraea	Spiraea 'Gold Flame'	158	28" o.c.	12" tall	Nursery grown
Rose	Rosa rugosa	11	28" o.c.	24" tall	Nursery grown

- Notes
- All plants shall meet American Standard for Nursery Stock (ANSI z60.1–2014), AmericanHort. 2130 Stella Court, Columbus OH 43215 www.AmericanHort.org.
 - All plants to be field located by the Contractor for Owner approval prior to planting. Landscape Architect/Owner adjust locations as required to avoid utilities, drainage swales or existing vegetation. Plants shall be weed free at time of planting.
 - Birch shall be 1/2 foliage and 1/2 trunk. (Does not include transplanted birch).
 - Birch-Transplant: includes existing birch and related groundcover plants. On-site birch to be transplanted per Owner approval. Size varies from less than 1" cal. to over 2", group smaller trees as possible to avoid root disruption. Transplant using standards and guidelines recommended for nursery practices related to transplanting.
 - Mulch continuously throughout all planting beds with 3" deep shredded bark mulch, approved compost or as determined by Owner. See details.
 - Completely pre-fill all planting beds with water and allow to drain. Contact Owner if beds do not drain within 3 hours, do not plant in poorly drained soils.
 - Topsoil and seed all disturbed areas. DO NOT SEED PLANTING BEDS. Use MASS Schedule A Seed Mix. All seeded areas shall receive 4-inches of topsoil measured after compaction, transition to existing grade.
 - All plant species to be hardy and known to thrive in Alaska. Substitutions only approved by Owner approval. Mayday (Prunus padus) and Canada Red (Prunus virginiana) or plants listed on the Selected Invasive Plant Species of Alaska list, USFS, 2007 shall not be used.
 - Landscape warranty period shall be 1 year. Replace all dead or dying plants within 7 days of notification.

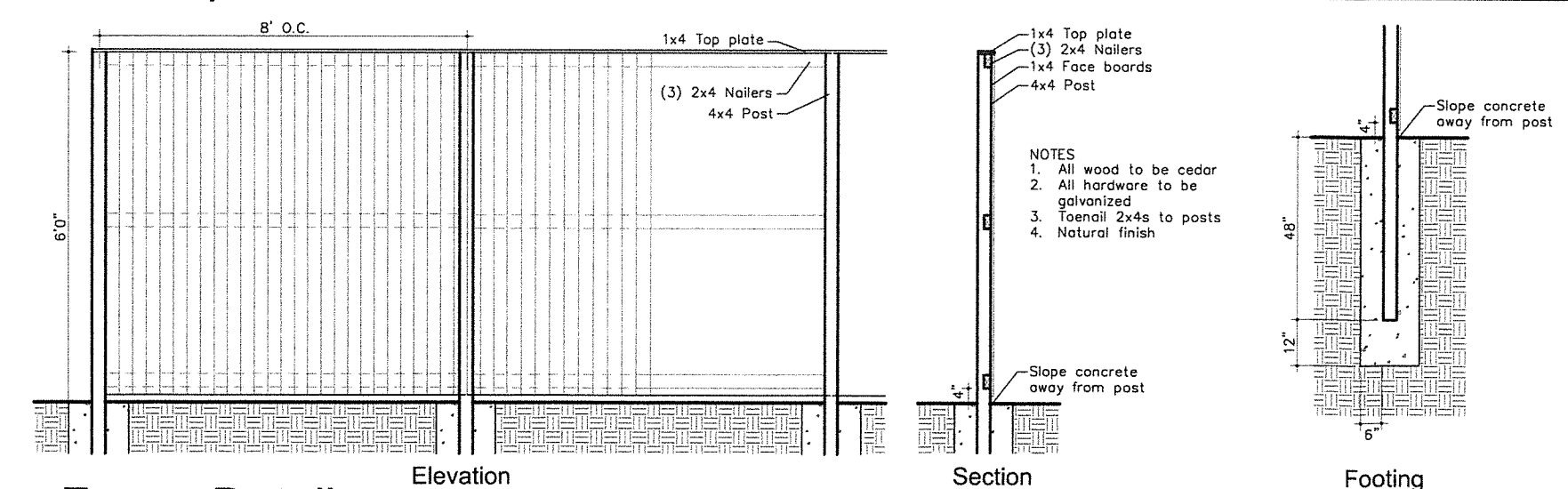
L1.0 Landscape Plan
Birch Meadow Subdivision
Whisperwood Park Drive
Anchorage, Alaska
March 14, 2022

1643 West 10th Avenue
Anchorage, Ak 99501
phone: 907.279.2688

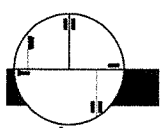
See Sheet L2.0



Landscape Plan

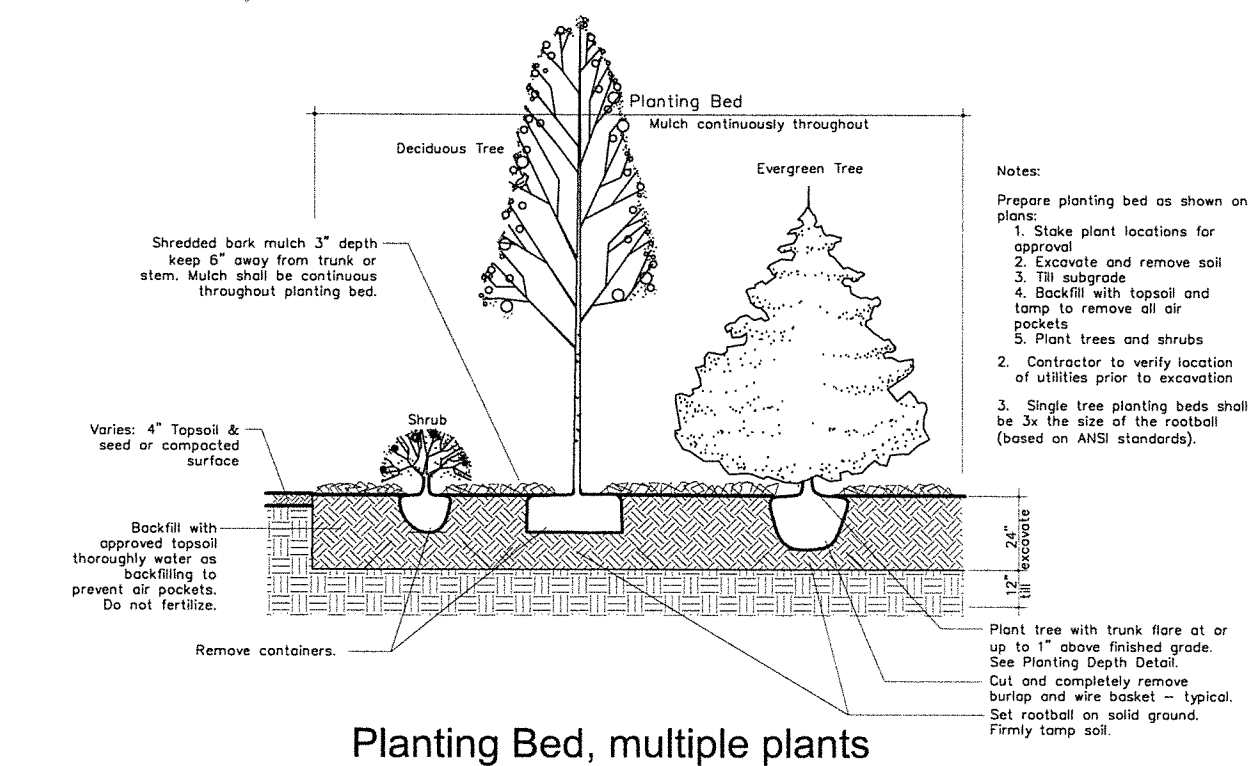


1 Fence Detail

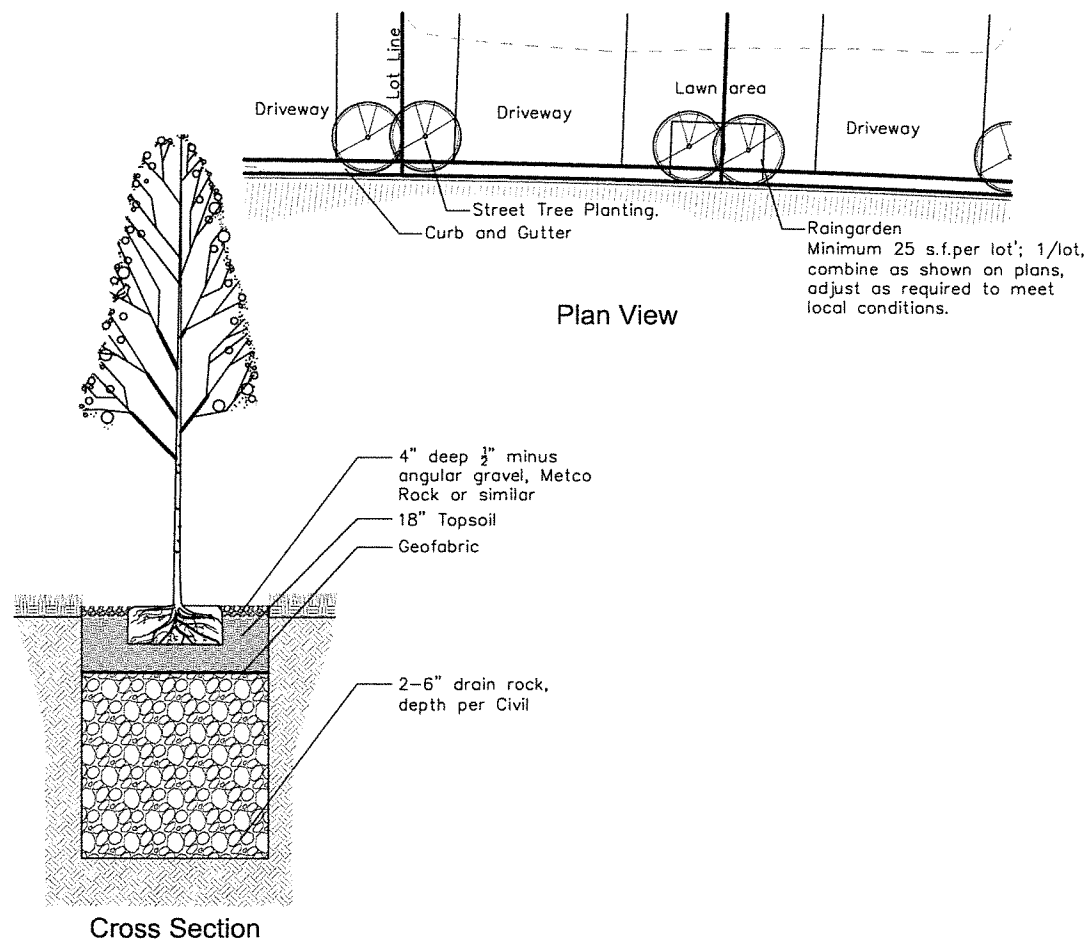


earthscape
1643 West 10th Avenue
Anchorage, Ak 99501
phone: 907.279.2688

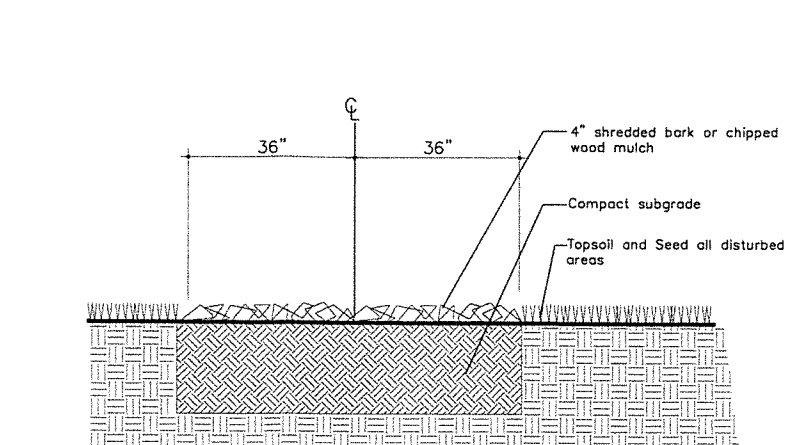
L2.1 Landscape Plan
Birch Meadow Subdivision
Whisperwood Park Drive
Anchorage, Alaska
March 14, 2022



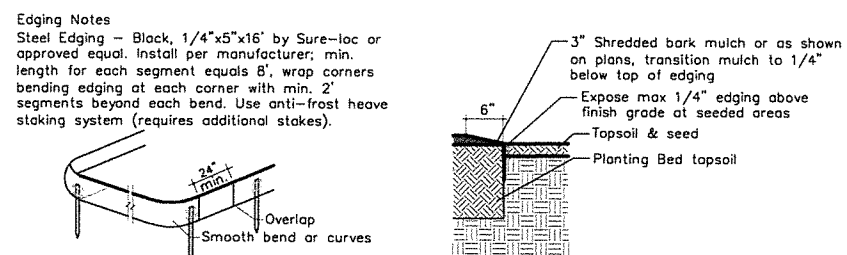
① Plant Bed Details



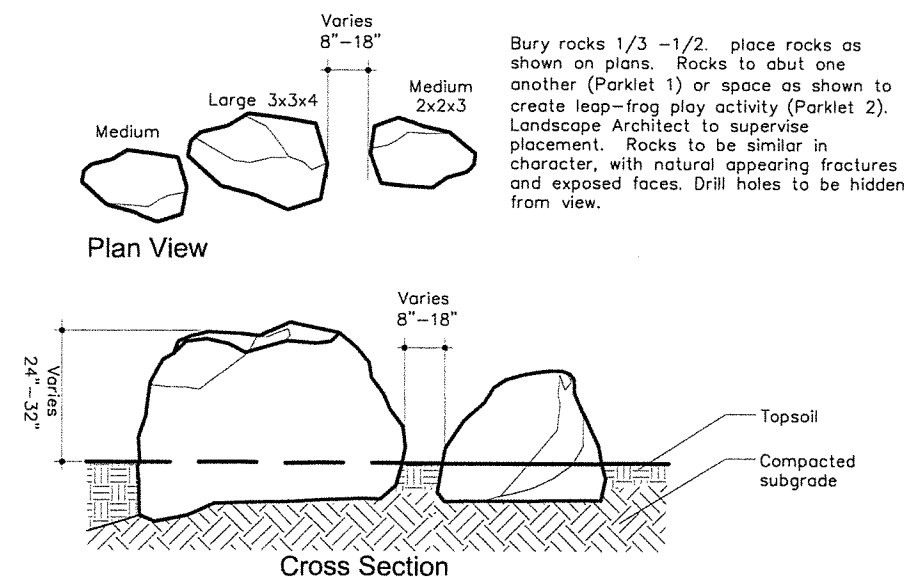
② Rain Garden Detail



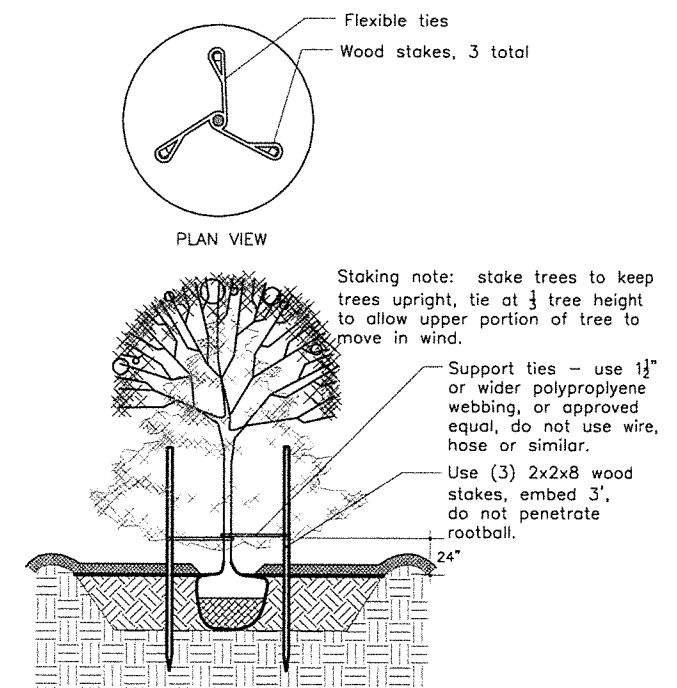
③ Wood Chip Trail Detail



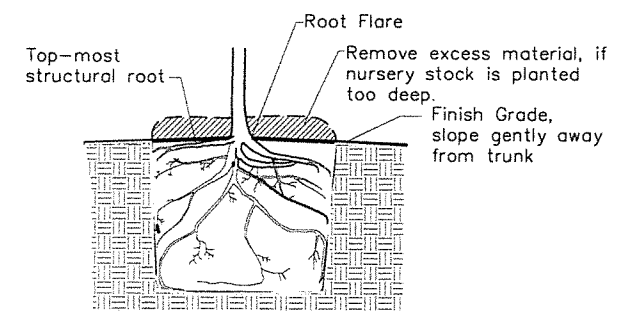
④ Edging Detail



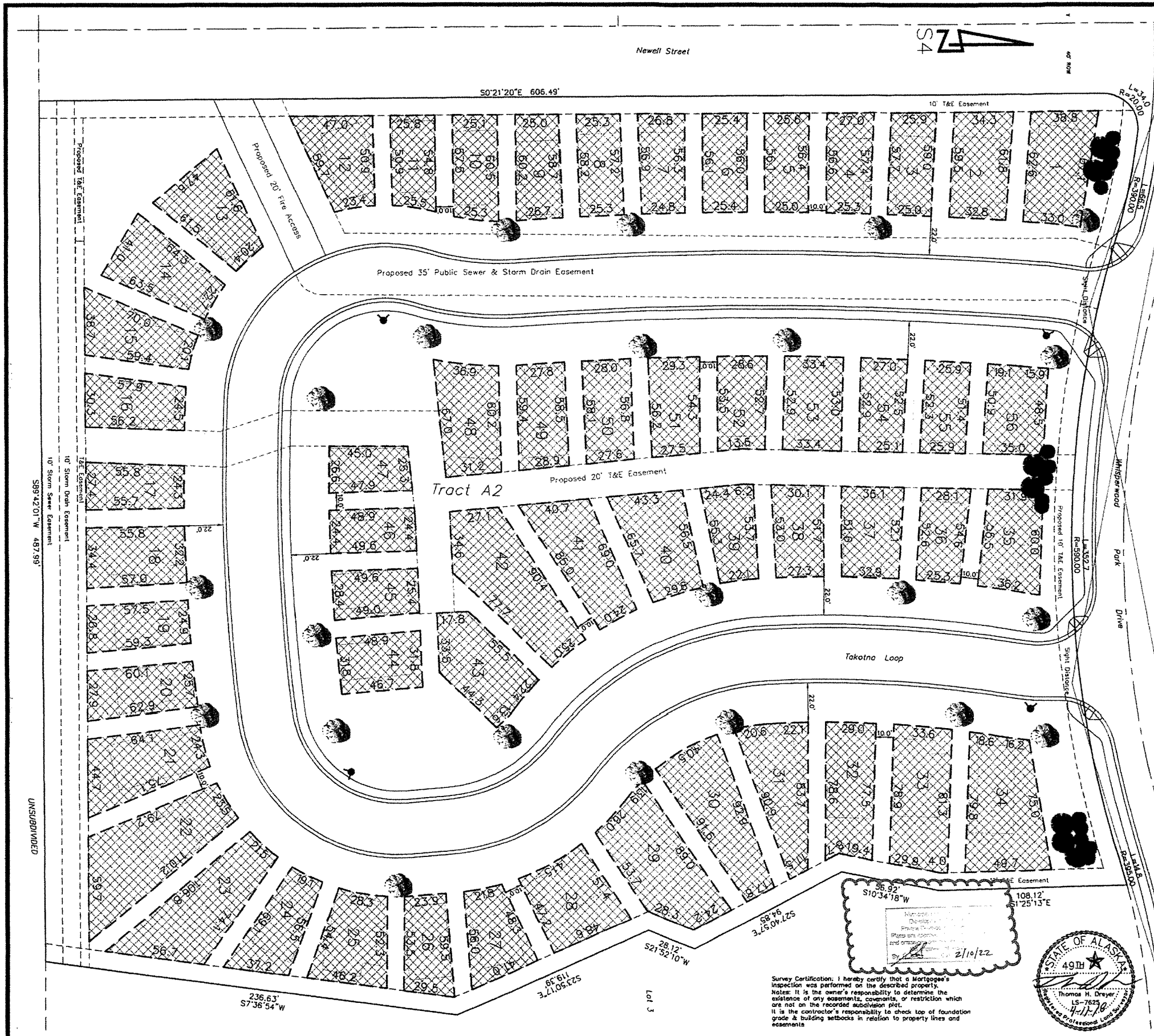
⑤ Boulder Detail



⑥ Tree Staking Detail



⑦ Planting Depth Detail



Plant Schedule:

Symbol	Quantity	Common Name / Botanical Name	Size	Notes
●	15	POKING COTONEASTER/COTONEASTER ACUTIFOLIA	18"	mid sized, green to scarlet
●	7	SPRUCE/POCEA GLAUCA	5'	
●	23	AMUR CHERRY/PRUNUS MANCHO	1.5" Cal. 8'	mid sized, copper bark

House Pad area

Landscape Notes:

- All disturbed areas to be planted with a grass seed mix of 50% Kentucky Bluegrass and 50% Fescue grass. 1lb per 100 sq. ft. of lawn.

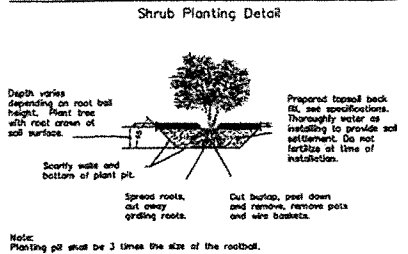
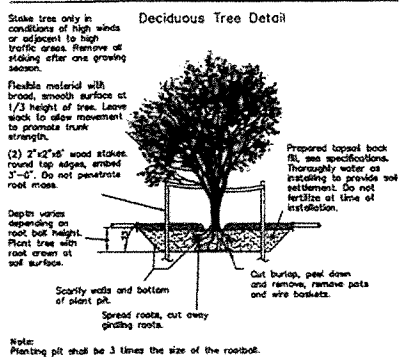
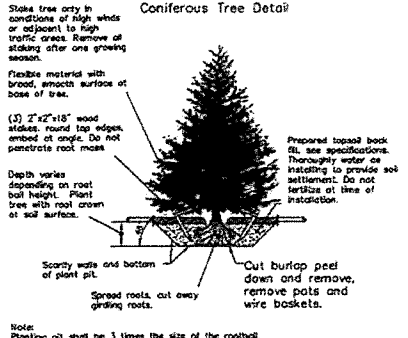
All areas are devoted to buildings, drives, parking and usable yards. All grass areas are at least 10' wide and no trees are required per code.

Easement Note:

Easements shown are per proposed plat Checkpoint Subdivision Tracts A1 & A2, Case No. S12162. Easements are plotted and dimensioned for reference purposes only. The recorded easement documents and plats should be used to verify and establish location, rights and permitted uses. Some easements shown are proposed and may be recorded on the plat or by document.

Planting Details:

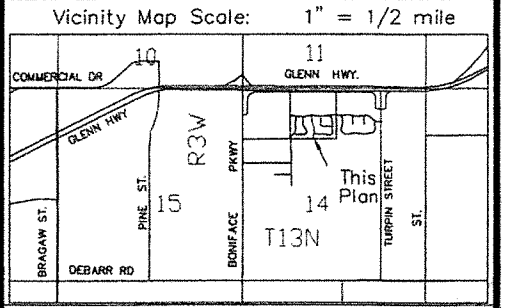
Not to Scale



Site Plan Notes

- For street sections, snow storage, elevations, disturbed ground, grading & drainage see sheet C4
- House Pad Areas are shown for proposed house locations and may be adjusted per proposed house plans.
- All buildings will have a minimum of 10' separation from each other.
- All driveways will be a minimum of 22' from back of curb or back of sidewalk.
- 56 Single family units with four-bedrooms and two car garages each.
- Each unit will have four parking spaces with two in the garage and two in the driveway.

Sheet S1 of 19



A Site Layout & Landscape Plan of proposed:

Tract A2
Checkpoint Subdivision

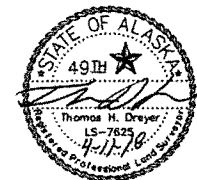
Existing:
South half of Tract A, Checkpoint Subdivision, per plat 2012-96

S4
Group

Tom H. Dwyer, P.L.S.
124 E 7th Avenue
Anchorage, Alaska 99501
(907) 306-6104
matt@s4ak.com

Drawn by: CB	Scale: 1" = 30'	Grid: SW1238
Field Book: 103	Job: 2013-42	Date: 4/11/2018

Survey Certification: I hereby certify that a Mortgagee's Inspection was performed on the described property. Notes: It is the owner's responsibility to determine the existence of any easements, covenants, or restriction which are not on the recorded subdivision plat. It is the contractor's responsibility to check top of foundation grade & building setbacks in relation to property lines and easements.



Application for Design Variance

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Spinell Homes		Name (last name first) The Boutet Company	
Mailing Address 1900 West Northern Lights		Mailing Address 601 East 57th Place, Suite 102	
Anchorage, AK., 99517		Anchorage, AK., 99518	
Contact Phone – Day 907-343-1600	Evening	Contact Phone – Day 907-522-6776	Evening
E-mail Andre@spinellhomes.com		E-mail thoffman@tbcak.com	

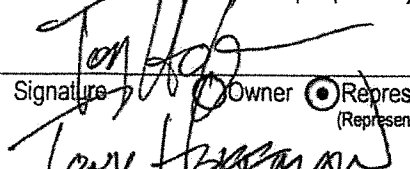
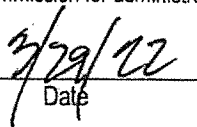
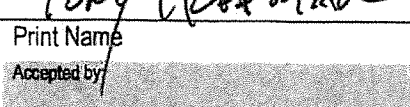
*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000): 0064214100014		
Site Street Address:		
Current legal description: (use additional sheet if necessary) Tract A2, Checkpoint Subd., Plat 2018-39		
Zoning: R-3	Acreage: 6.657	Grid #: SW1238

PETITIONING FOR
Relief from the requirement to: Comply with the dimensional standards for open space requirements for required open space

CODE CITATIONS
AMC 21. 07.110 H b
AMC 21.

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I am petitioning for variance in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the variance. I understand that the burden of evidence to show compliance with the variance standards rests with me, the applicant. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Urban Design Commission for administrative reasons.

Signature 	<input type="radio"/> Owner <input checked="" type="radio"/> Representative (Representatives must provide written proof of authorization)	Date 
Print Name Tony H. H. H.		
Accepted by 	Poster & Affidavit	Fee
Case Number: 2022-0034	Meeting Date: P2C 07/11/2022	

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- ☐ Rezoning - Case Number:
- ☐ Preliminary Plat ☒ Final Plat - Case Number(s): 2018-39
- ☐ Conditional Use - Case Number(s):
- ☐ Zoning variance - Case Number(s):
- ☐ Land Use Enforcement Action for
- ☐ Building or Land Use Permit for
- ☐ Wetland permit: ☐ Army Corps of Engineers ☐ Municipality of Anchorage

APPLICATION REQUIREMENTS

(One of each applicable item is required for initial submittal, additional copies are required after initial submittal)

- 1 copy required: ☐ Signed application (original)
- 16 copies required: ☐ Signed application (copies)
- ☐ Variance narrative, addressing:
- ☐ The need for the variance
 - ☐ The effect of granting the variance
 - ☐ An analysis of how the proposal meets the variance standards below
 - ☐ As-built survey showing existing conditions, to scale (no more than 2 years old)
 - ☐ Proposed plot plan, site plan, or building elevations, to scale (new construction)
 - ☐ Photographs or renderings

(Additional information may be required.)

VARIANCE STANDARDS

The Urban Design Commission may only grant a variance if the Commission finds that **all** of the following 8 standards are substantially met. Each standard must have a response in as much detail as it takes to explain how your property's condition satisfies the standard. The burden of proof rests with you.

- a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard;
- b. The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;
- c. The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;
- d. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code;
- e. The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies;
- f. Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; and
- g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.
- h. In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.

Birch Meadow Subdivision
ZONING DESIGN VARIANCE NARRATIVE
Open Space Requirements
Conditional Use for a Planned Unit Development
(A.M.C. 21.07.110 H.2.b)

Anchorage Municipal Code AMC 21.07.110 H.2b states that "A minimum of 30 percent of the site shall be reserved as open space which shall meet the following standards..."

After which 6 dimensional criteria are outlined that must be met for the open space to be compliant.

A variance is requested to allow the inclusion of front yard areas as open space that is reserved for homeowners, and for relief from items b.i, b.ii, b.iii, and b.v. .

Following are the open space requirements and calculations for each item:

AMC 21.07.110 H.2b A minimum of 30% of the site shall be reserved as open space and shall meet the following requirements:
Project site=289,502 s.f. 30%=89,985 s.f. minimum. 154,555 s.f. is provided on the plan

- i. *1/2 of all open space shall be contiguous: 89,985 s.f. X 50%= 44,993 s.f. minimum. 69,312 s.f. contiguous is shown on the east and south boundaries of the subdivision. However, the contiguous open space in the rear yards may be fenced in the future by the homeowners, and may not meet the strict interpretation of the criteria.*
- ii. *Open Space shall not include..... Some of the open space shown is comprised of snow storage areas, and may not meet the interpretation of the criteria.*
- iii. *In class A districts, no portion of the required open space shall be less than 2,000 square feet in area or less than 30 feet in its smallest dimension, except for individual yards, balconies, or decks pursuant to b.iv. and b.v. below; a large amount of the open space provided is in the front yards, and will act as a community open space for children, and will create an open atmosphere for the community. A restriction against fences in the front yards will be placed in the homeowner documents.*
- iv. **N/A**
- v. *A minimum of 12 percent and a maximum of 50 percent of required open space shall consist of yards which shall be reserved for the residents of individual dwelling units; **We are proposing inclusion of the open space that is provided as yard space in the front and side yard areas (indicated as "PRIVATE OPEN SPACE" and SEMI PRIVATE (133, 864 s.f. total) of the homes into the overall calculation. While this far exceeds the maximum of the criteria, portions of it could still be considered as common open space in the calculation.***

Narrative: The front yards will be planted with birch trees and rain gardens creating a compact area designed with function, quality of life and community interaction in mind. **Fences will not be permitted** beyond the front face of the buildings to promote visual accessibility. The front yards of a neighborhood serve as a semi-private-public open space allowing for visual and physical accessibility as well as communication and interaction amongst neighbors to socialize and foster a healthy community. To guarantee the front yards will continue to function as an open space, **regulations prohibiting front yard fences will be put in place in the HOA documents** that prohibit construction of fences in the front yards.

We are pursuing a variance since we are requesting addition of the front yard areas into the calculation, as well as the rear yards which may be fenced in the future. While these areas may not fit into the strict interpretation of the criteria, these areas will definitely be utilized as open spaces for the homeowners, whether in common or as private areas. Also, by combining all these elements of open space, **we are well in excess of the requirement.**

While an argument can be made that the rear yards are also private open space, providing assurances that the front yards will remain open and without fences is a way to ensure they will remain so in the future.

Undoubtedly, this development will have numerous kids playing in each other's front yards because there are no fences, and in turn that will create the sense of community that is intended by the common open space requirement.

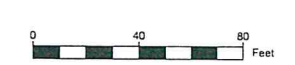
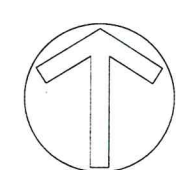
Refer to the open space exhibit.

Variance Standards

- a. *The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard.* **The design of the project, with open front yards and outer perimeter areas, will achieve the desired effect of an open development.**
- b. *The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;* **The Anchorage 2040 Land Use Plan is targeted at changes in support of this variance. Goals 4-10 and 4-17 specify changes in Title 21 to implement flexibility in housing plans, styles and development. LUP 4.2 promotes "innovative compact housing types and options" which is what we are seeking to accomplish.**
- c. *The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;* **Creating a large front yard open common space in the subdivision will give the subdivision a feeling of wide open spaces, and will promote neighborhood interaction.**
- d. *The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code;* **Since this subdivision is fronted on a "closed loop" road, adjacent properties are not affected.**
- e. *The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies;* **Granting this variance request will not change the character of the zoning district or the character of the adjacent developments. It will enhance the proposed subdivision, and promote interaction of the residents.**
- f. *Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation;* **All ADA compliancy issues were reviewed by Municipal Private Development at the time of approval. Granting this variance will not have any effect on ADA compliance.**
- g. *The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.* **There will be no detrimental effects to the health safety or welfare o the public. The open nature of the development, in addition to the "closed loop" road system, will both help promote children to engage in outdoor activities and exercise, and provide a safe environment for walking and other outdoor activities.**
- h. *In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.* **N/A**

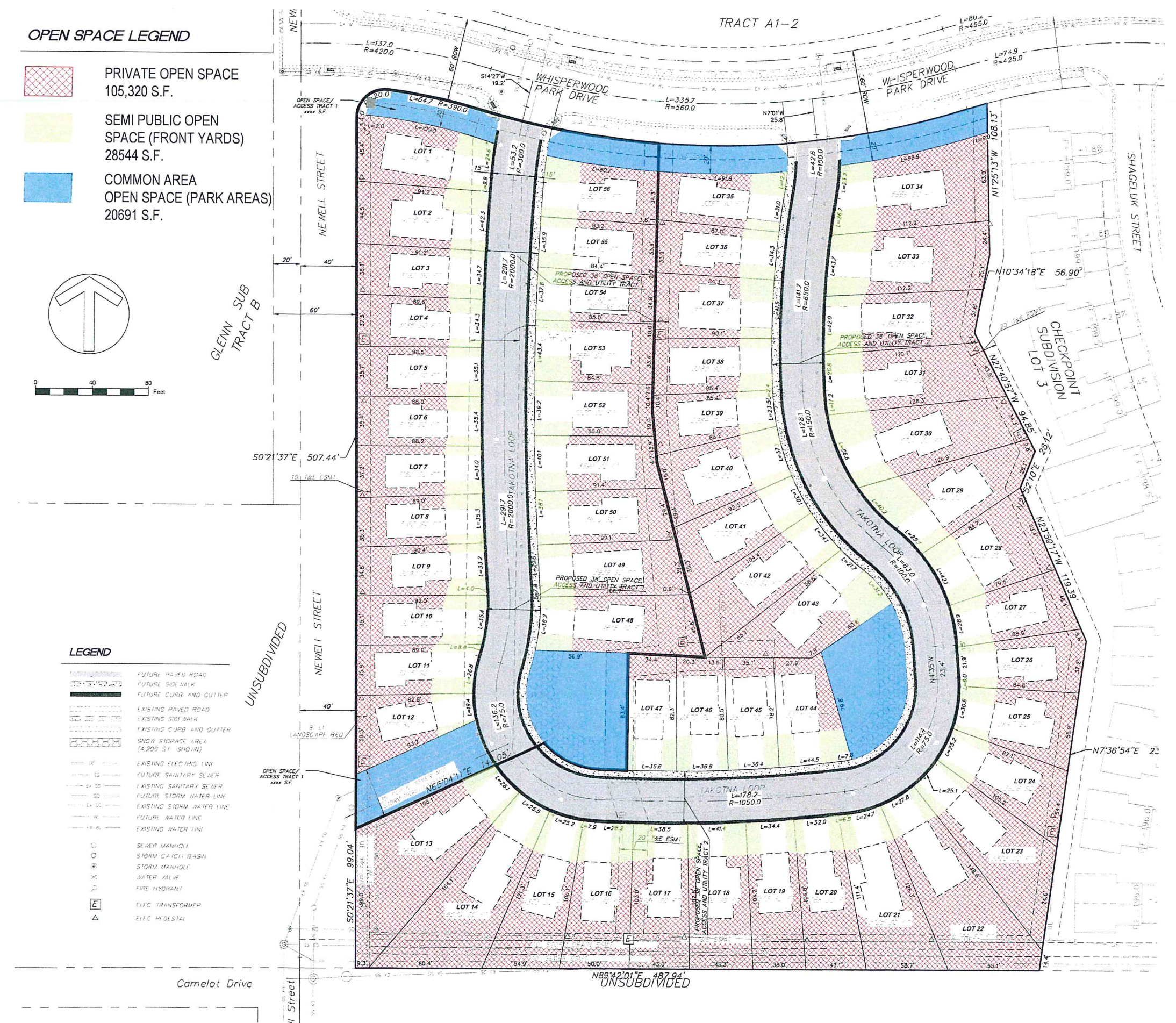
OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
105,320 S.F.
- SEMI PUBLIC OPEN SPACE (FRONT YARDS)
28544 S.F.
- COMMON AREA
OPEN SPACE (PARK AREAS)
20691 S.F.



LEGEND

- FUTURE PAVED ROAD
- FUTURE SIDEWALK
- FUTURE CURB AND GUTTER
- EXISTING PAVED ROAD
- EXISTING SIDEWALK
- EXISTING CURB AND GUTTER
- SNOW STORAGE AREA (4,200 S.F. SHOWN)
- EXISTING ELECTRIC LINE
- FUTURE SANITARY SEWER
- EXISTING SANITARY SEWER
- FUTURE STORM WATER LINE
- EXISTING STORM WATER LINE
- FUTURE WATER LINE
- EXISTING WATER LINE
- SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- WATER VALVE
- FIRE HYDRANT
- ELEC. TRANSFORMER
- ELEC. PEDISTAL



Application for Design Variance

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first)	Spinell Homes	Name (last name first)	The Boutet Company
Mailing Address	1900 West Northern Lights	Mailing Address	601 East 57th Place, Suite 102
Anchorage, AK., 99517		Anchorage, AK., 99518	
Contact Phone – Day	907-343-1600	Contact Phone – Day	907-522-6776
Evening		Evening	
E-mail	Andre@spinellhomes.com	E-mail	thoffman@tbcak.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000): 0064214100014		
Site Street Address:		
Current legal description: (use additional sheet if necessary)		
Tract A2, Checkpoint Subd., Plat 2018-39		
Zoning: R-3	Acreage: 6.657	Grid #: SW1238

PETITIONING FOR
Relief from the requirement to: Build sidewalk on both sides of the street; Relief from the CUA requirement to install L2 landscaping on Newell Street; Relief from the CUA requirement to install L3 screening landscaping on the boundary; relief from the CUA requirement to provide a setback 1 1/2 times the bldg height

CODE CITATIONS
AMC 21. 07.060.E.2.b (Sidewalks)
AMC 21. .07.110 H.2.c.iii and c.iv (PUD Landscaping) AMC 21.07.110H.2.c.v (PUD Setbacks)

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I am petitioning for variance in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the variance. I understand that the burden of evidence to show compliance with the variance standards rests with me, the applicant. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Urban Design Commission for administrative reasons.

Signature	<input type="radio"/> Owner <input checked="" type="radio"/> Representative (Representatives must provide written proof of authorization)	Date
Print Name	Tom Hoffman	

Accepted by:	Poster & Affidavit:	Fee:	Case Number:	Meeting Date:
			2022-0034	P2C 07/11/2022

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

<input type="checkbox"/> Rezoning - Case Number:
<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): 2018-39
<input type="checkbox"/> Conditional Use - Case Number(s):
<input type="checkbox"/> Zoning variance - Case Number(s):
<input type="checkbox"/> Land Use Enforcement Action for
<input checked="" type="checkbox"/> Building or Land Use Permit for Master F&G C15-2197, AWWU PS16-007
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage

APPLICATION REQUIREMENTS

(One of each applicable item is required for initial submittal, additional copies are required after initial submittal)

1 copy required:	<input type="checkbox"/> Signed application (original)
16 copies required:	<input type="checkbox"/> Signed application (copies) <input type="checkbox"/> Variance narrative, addressing: <input type="checkbox"/> The need for the variance <input type="checkbox"/> The effect of granting the variance <input type="checkbox"/> An analysis of how the proposal meets the variance standards below <input type="checkbox"/> As-built survey showing existing conditions, to scale (no more than 2 years old) <input type="checkbox"/> Proposed plot plan, site plan, or building elevations, to scale (new construction) <input type="checkbox"/> Photographs or renderings

(Additional information may be required.)

VARIANCE STANDARDS

The Urban Design Commission may only grant a variance if the Commission finds that **all** of the following 8 standards are substantially met. Each standard must have a response in as much detail as it takes to explain how your property's condition satisfies the standard. The burden of proof rests with you.

- a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard;
- b. The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;
- c. The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;
- d. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code;
- e. The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies;
- f. Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; and
- g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.
- h. In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.

Birch Meadow Subdivision
ZONING DESIGN VARIANCE NARRATIVE
Sidewalk Requirements
(A.M.C. 21.07.060E.2.b)

Anchorage Municipal Code AMC 21.07.060E.2.b states that “In all class A zoning districts except for industrial districts, sidewalks shall be installed on both sides of all streets (local, collector, arterial, public or private, including loop streets). Where indicated in the comprehensive plan, a pathway may replace a sidewalk on one side. In industrial zoning districts, a sidewalk shall be installed on one side of all local streets, and on both sides of local streets if the new sidewalks would connect to existing sidewalks on both ends and the needed sidewalk length is no greater than one quarter mile.).....”

We are requesting that the private roads be installed as designed and approved with sidewalks on one side of the street.

Variance Standards

- a. *The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard. The design of the project, with sidewalks on one side create a compact development allowing for more front yard space. They will still have a full width road.*
- b. *The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard; The need for more housing, and more compact housing styles is clearly stated in the 2040 comprehensive plan. Policy 4.2 states “Allow and encourage innovative compact housing types and a variety of housing options that respond to changing preferences.” And Goal 4 of the 2040 plan states “Anchorage’s neighborhoods provide a range of places to live, meeting the housing needs of residents at all income levels, household sizes, interests, ages, abilities, and races and ethnicities. “ To that end, Action item 4-10 states “Amend Title 21 to reduce restrictions that currently deter construction of compact housing types; and expand provisions that allow for compact housing types, including small-lot housing, cottage houses with shared courtyards, townhouses, and small-scale garden apartments”. Until that is done, the CUP process is the only way to accomplish this goal.*
- c. *The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard; The road cross section with one sidewalk allows for a more compact development, which ultimately provides more housing and is a benefit to the community.*
- d. *The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code; The current housing project to the east already is developed with one sidewalk. The trailer park immediately south (4 Seasons Mobile Home Park) has no sidewalks. This variance will be in harmony with the adjacent residential development, and will not affect their use at all.*
- e. *The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies; Granting this variance request will not change the character of the zoning district or the character of the adjacent developments.*
- f. *Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; All ADA compliancy issues have been reviewed by Municipal Private Development in the initial approval.*
- g. *The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality. There will be no detrimental effects to the health safety or welfare o the public. The plan with one sidewalk has already been thoroughly reviewed and approved by all the Municipal agencies.*
- h. *In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign. N/A*

Birch Meadow Subdivision
ZONING DESIGN VARIANCE NARRATIVE
Conditional Use Application for a
Residential Planned Unit Development Requirements -Building Setback
(A.M.C. 21.07.110 H.2.c.v)

Anchorage Municipal Code AMC 21.07.110 H.2.c.v states that “Any two adjacent buildings within a PUD shall be separated from each other by a distance equal to one-half the height of the taller building”

We are requesting that the subdivision plan be approved with the elimination of this requirement and allow the standard R-3 building setbacks to govern the homes .

Variance Standards

- a. *The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard. The lots and building pads, as designed have a 5’ setback from the side lot lines. The required setback from property lines in the R-3 zone, for a detached single-family building is 5 feet. In this design scenario, where we are trying to develop a subdivision with smaller, compact lots, the difference of an additional 3-5 feet on the side yard will create a loss of approximately 10-15 homesites, creating an undesirable development density.*
- b. *The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard; The need for more housing, and more compact housing styles is clearly stated in the 2040 comprehensive plan. Policy 4.2 states “Allow and encourage innovative compact housing types and a variety of housing options that respond to changing preferences.”*
- c. *The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard; This variance will allow for the denser home development, which typically results in lower house prices, which is a desirable effect.*
- d. *The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code; The adjacent development to the east (Lauren Glen) is separated by 20’ rear yard setbacks, and will not be affected by this minor change at all.*
- e. *The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies; This variance will not change the character of the R-3 zoning it lies within. In fact, by allowing the variance the development will be able to maintain a density closer to the traditional R-3 zoning, which is usually multifamily buildings separated by 10 feet.*
- f. *Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; This variance will have no impact on ADA facilities in the area.*
- g. *The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality. Granting this variance will have no effect on the health and welfare of the community. It complies with the fire code separation, allowing for effective fire response.*
- h. *In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign. N/A*

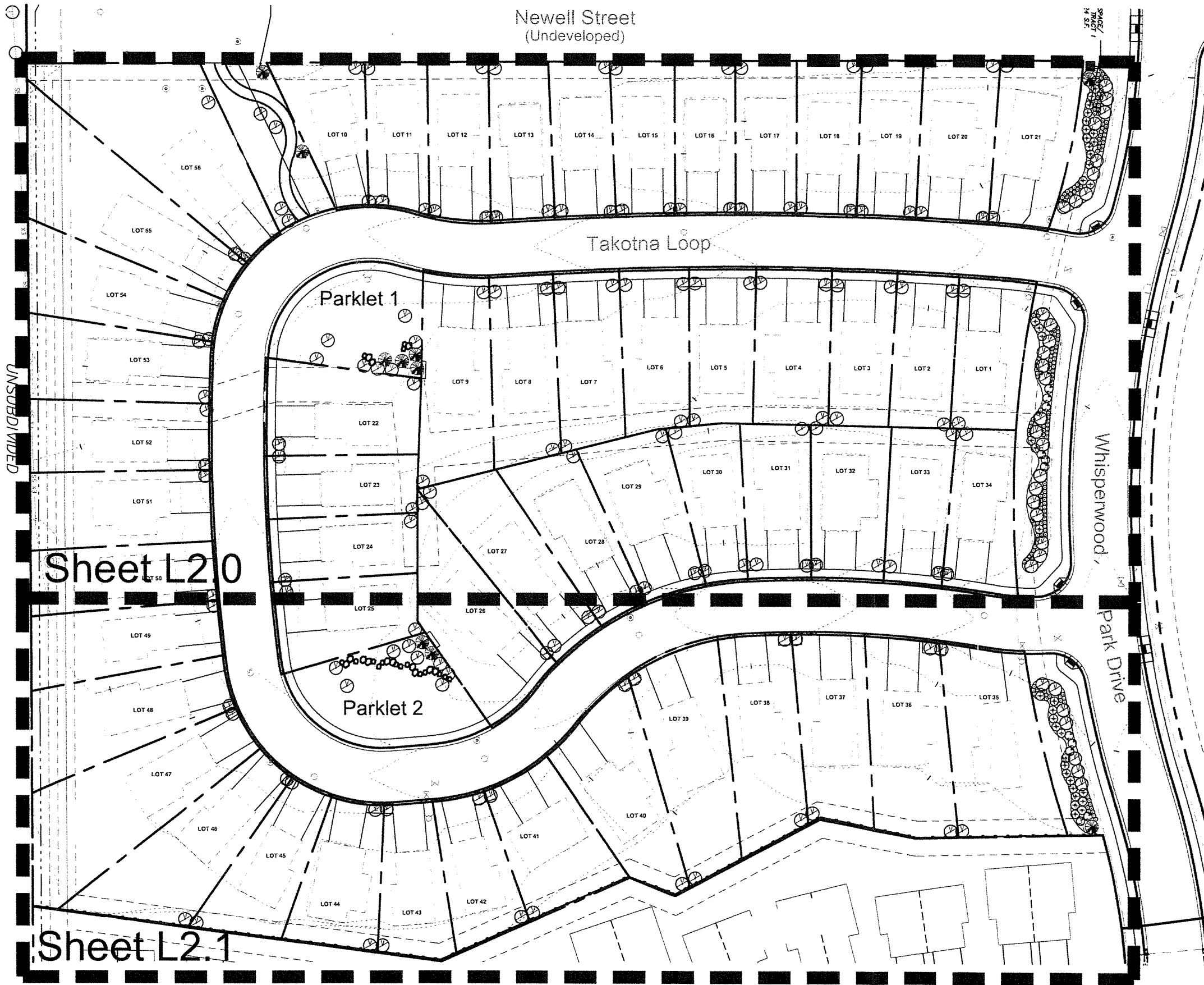
Birch Meadow Subdivision
ZONING DESIGN VARIANCE NARRATIVE
Conditional Use Application for a
Residential Planned Unit Development Requirements -Landscaping
(A.M.C. 21.07.110 H.2.c.iii and c.iv)

Anchorage Municipal Code AMC 21.07.110 H.2.c.iii states that "L2 buffer landscaping shall be planted along each boundary of the PUD adjacent to a nonresidential district or a right-of-way designated for collector or greater capacity on the Official Streets And Highways Plan.)....." and Anchorage Municipal Code AMC 21.07.110 H.2.c.iv states "Common open space with L3 screening landscaping shall be provided along any lot line abutting a residential neighborhood where any abutting lot is greater than 150 percent of the average lot size along that lot line of the PUD."

We are requesting that the attached landscape plan (4 sheet plan by Earthscape) be approved as it is designed. The attached landscape plan demonstrates that the proposed development plan exceeds the code required landscaping in parklets, rear yard tree planting and other areas. Also, it should be pointed out that the proposed landscape plan far exceeds the plan as currently approved by the Municipality for the subdivision (see S4 landscape plan approved 2-10-22).

Variance Standards

- a. *The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard.* **See attached landscape plan for alternative design.**
- b. *The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;* **The attached landscape plan for alternative design demonstrates that we can exceed the code required landscaping in parklets, rear yard tree planting and other areas**
- c. *The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;* **The landscape plan will develop landscaping that will be more visible, and provide more screening and other benefits than what would be required by strict adherence to the code.**
- d. *The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code;* **The proposed landscaping will not affect the adjacent properties, and will provide more landscaping than already exists in the area.**
- e. *The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies;* **The proposed landscaping does not have any effect of changing the residential character of the area.**
- f. *Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation;* **Persons with ADA requirements will not be affected by this variance.**
- g. *The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.* **There is no effect on health and welfare to the public by this requested variance.**
- h. *In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.* **N/A**



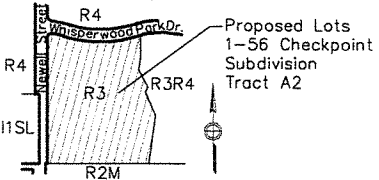
Overall Landscape Plan

Landscape Permit Summary

LANDSCAPING REQUIREMENTS (Title 21)

Zoning: R3

Adjacent zoning:



21.07-2 Min. Site Perimeter Landscaping

North property line, along Whisperwood requires L1 - Visual Enhancement Landscaping;
East property line adjacent to R3 does not require landscaping;
South property line, adjacent to R2M does not require landscaping;
West property line, adjacent to Newell Street requires L1-Visual Enhancement landscaping. However with the undeveloped right-of-way and existing vegetation, planting in other portions of the site better meets landscape requirements.

L1 Visual Enhancement Landscaping

Applicable Standards:
Min. average planting bed = 8' (min width 5', max 50' run)
1 tree + 6 shrubs/20 lf

21.07.080 E.10.b. Types of Landscaping 4. Trees for residential development

Applicable Standards:
Individual lots shall have min. 1 tree.
Min 20 trees/acre. 2" cal. and min. 6' tall coniferous trees

Landscape Summary

North Property Line = 478 l.f. along Whisperwood. Requires 34 trees and 144 shrubs

Shown: 34 trees, 207 shrubs

East Property Line
Landscaping not required

South Property Line:
Landscaping not required

West Property Line = 618 l.f.
Requires 39 trees, 229 shrubs
Shown: 156 trees spread throughout site + 63 additional shrubs along Whisperwood Drive.

Applicable Standards:
Individual lots each have 1 tree/lot.
Acreage: 6.6 acres

Requires min. 46 trees. Shown 190 trees including 2 trees/lot.

Plant Schedule

Common Name	Botanical Name	Quantity	Spacing (min.)	Size	Notes
Trees					
Birch	Betula papyrifera	88	8' o.c.	2" cal.	See Note 3
Birch-Transplant	Betula papyrifera	92	8' o.c.	varies	See Note 4
Spruce	Picea pungens	10	as shown	6' tall	See Note 4
Shrubs					
Serviceberry	Amelanchier alnifolia	38	5' o.c.	24" tall	Nursery grown
Spiraea	Spiraea 'Gold Flame'	158	28" o.c.	12" tall	Nursery grown
Rose	Rosa rugosa	11	28" o.c.	24" tall	Nursery grown

Notes

- All plants shall meet American Standard for Nursery Stock (ANSI z601-2014), AmericanHort. 2130 Stella Court, Columbus OH 43215 www.AmericanHort.org.
- All plants to be field located by the Contractor for Owner approval prior to planting. Landscape Architect/Owner adjust locations as required to avoid utilities, drainage swales or existing vegetation. Plants shall be weed free at time of planting.
- Birch shall be 1/2 foliage and 1/2 trunk. (Does not include transplanted birch).
- Birch-Transplant: includes existing birch and related groundcover plants. On-site birch to be transplanted per Owner approval. Size varies from less than 1" cal. to over 2", group smaller trees as possible to avoid root disruption. Transplant using standards and guidelines recommended for nursery practices related to transplanting.
- Mulch continuously throughout all planting beds with 3" deep shredded bark mulch, approved compost or as determined by Owner. See details.
- Completely pre-fill all planting beds with water and allow to drain. Contact Owner if beds do not drain within 3 hours, do not plant in poorly drained soils.
- Topsoil and seed all disturbed areas. DO NOT SEED PLANTING BEDS. Use MASS Schedule A Seed Mix. All seeded areas shall receive 4-inches of topsoil measured after compaction, transition to existing grade.
- All plant species to be hardy and known to thrive in Alaska. Substitutions only approved by Owner approval. Mayday (Prunus padus) and Canada Red (Prunus virginiana) or plants listed on the Selected Invasive Plant Species of Alaska list, USFS, 2007 shall not be used.
- Landscape warranty period shall be 1 year. Replace all dead or dying plants within 7 days of notification.



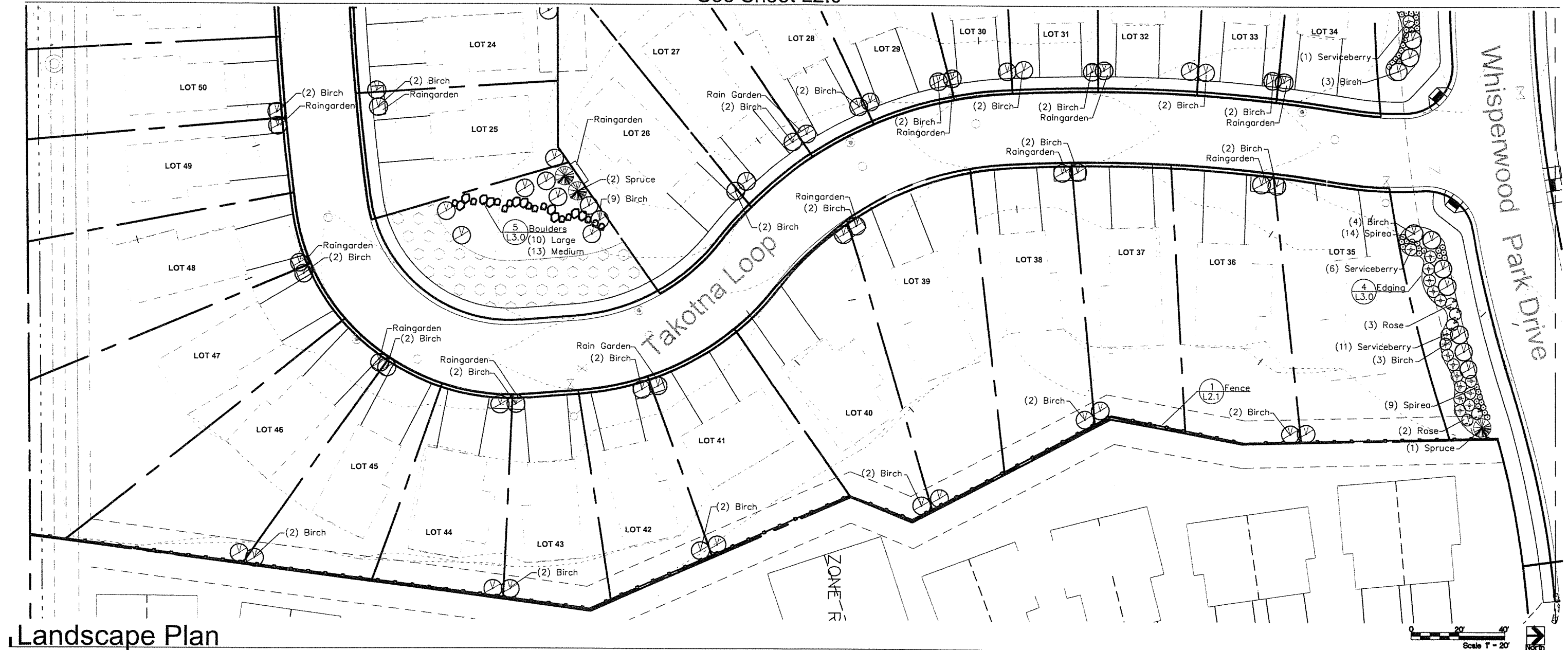
1643 West 10th Avenue
Anchorage, Ak 99501
phone: 907.279.2688

L1.0 Landscape Plan Birch Meadow Subdivision

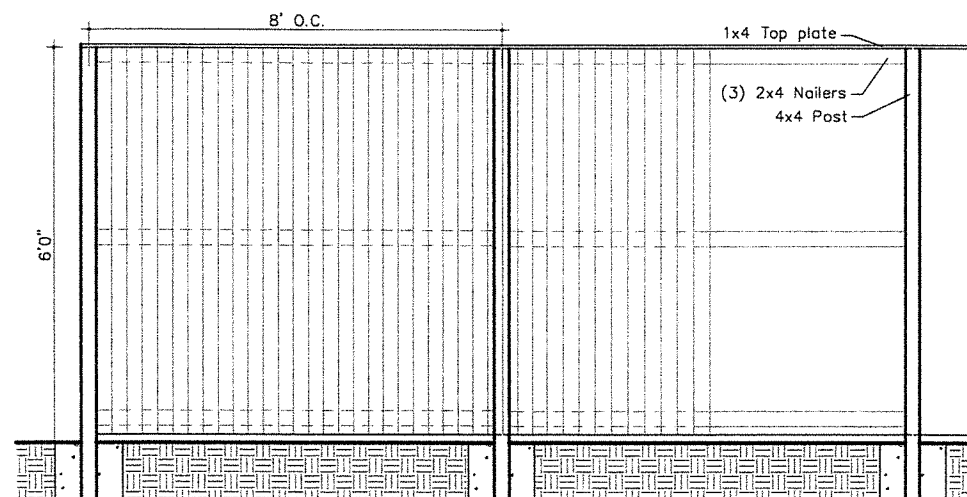
Whisperwood Park Drive
Anchorage, Alaska

March 14, 2022

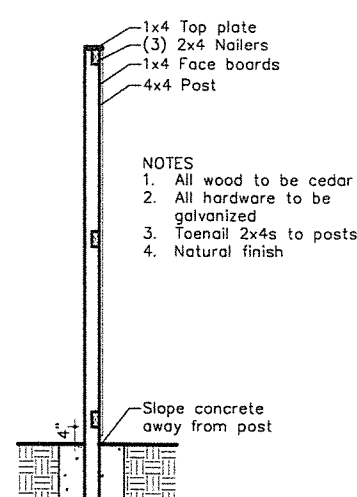
See Sheet L2.0



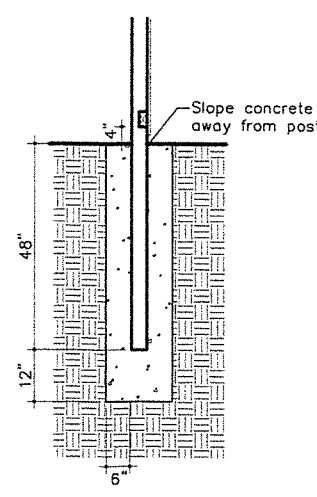
Landscape Plan



Elevation

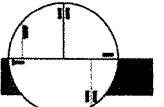


Section



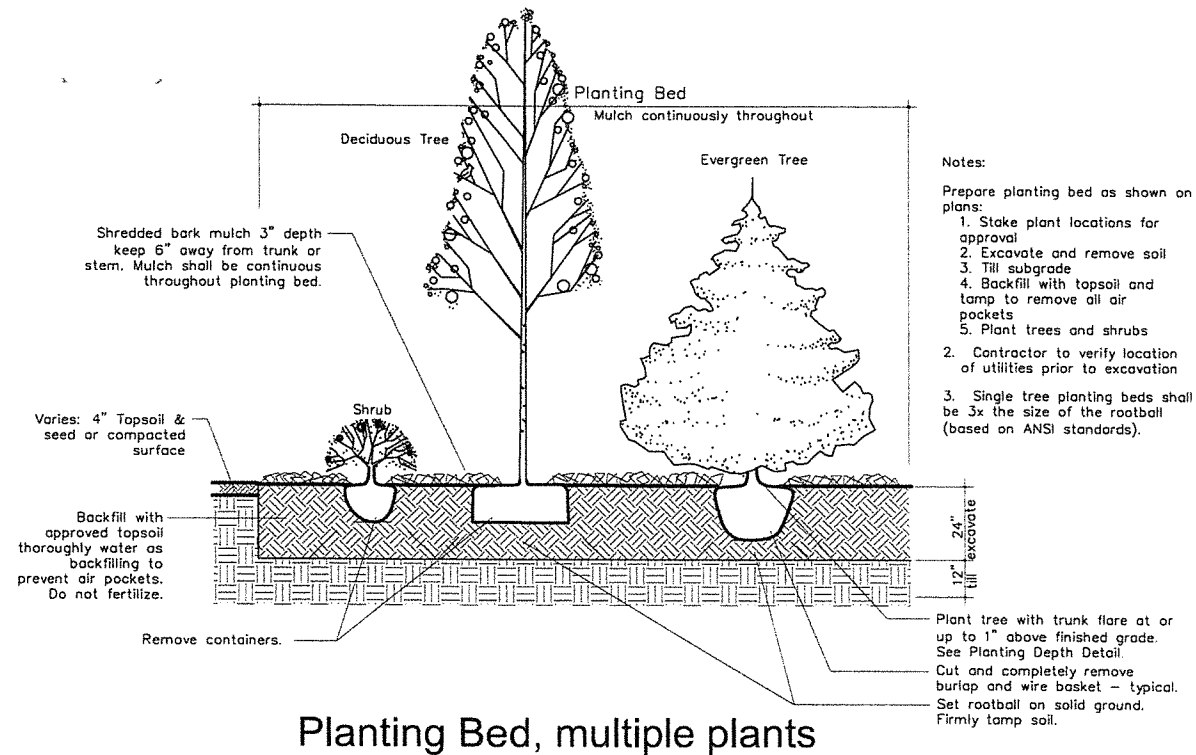
Footings

① Fence Detail

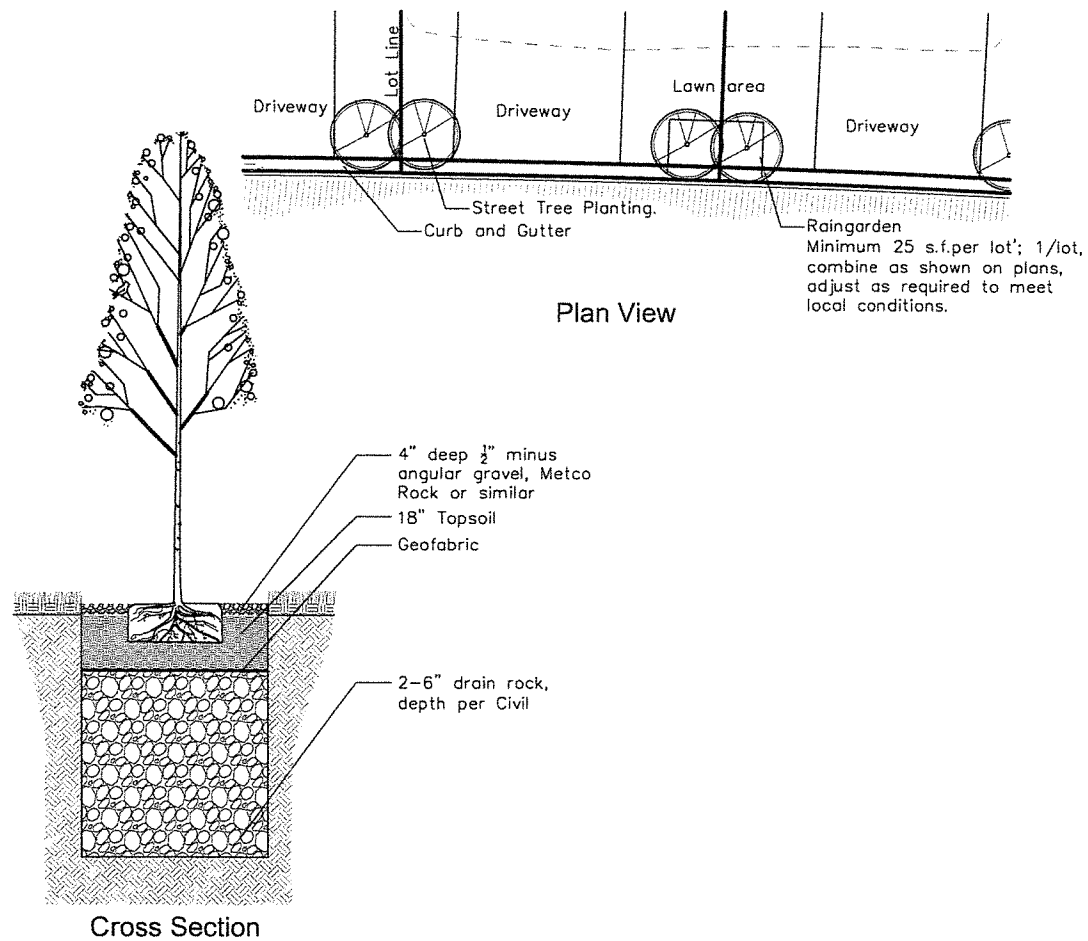


earthescape
1643 West 10th Avenue
Anchorage, Ak 99501
phone: 907.279.2688

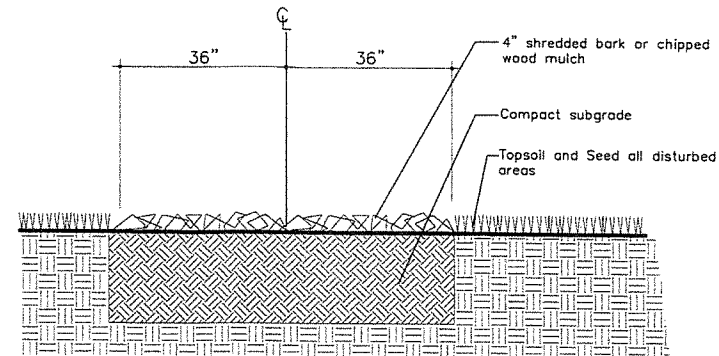
L2.1 Landscape Plan
Birch Meadow Subdivision
Whisperwood Park Drive
Anchorage, Alaska
March 14, 2022



① Plant Bed Details



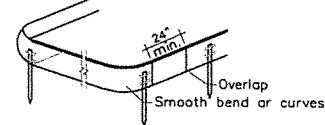
② Rain Garden Detail



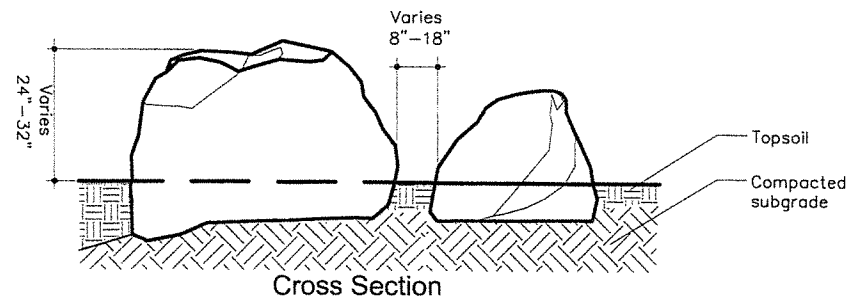
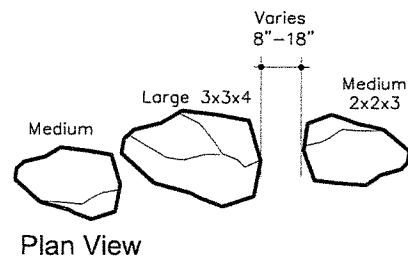
③ Wood Chip Trail Detail

Edging Notes

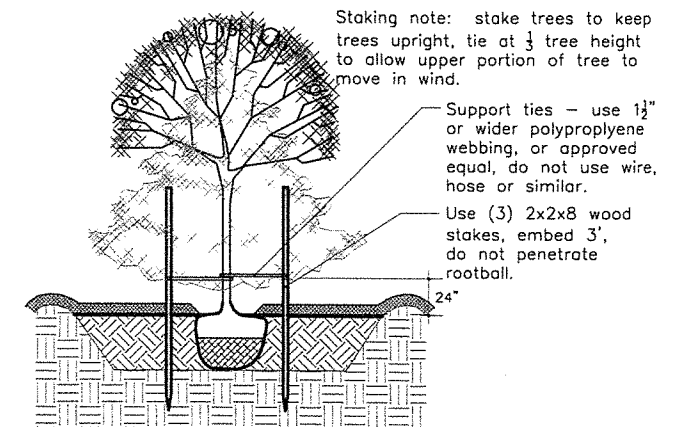
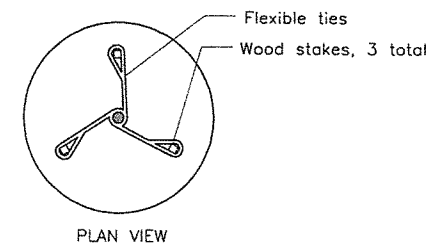
Steel Edging - Black, 1/4"x5"x16" by Sure-loc or approved equal. Install per manufacturer; min. length for each segment equals 8', wrap corners bending edging at each corner with min. 2' segments beyond each bend. Use anti-frost heave staking system (requires additional stakes).



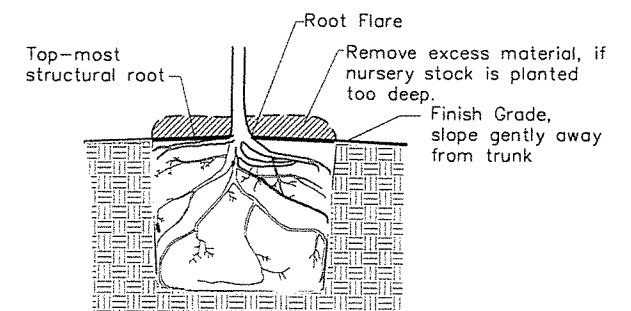
④ Edging Detail



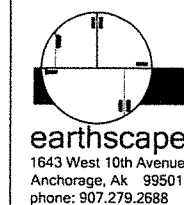
⑤ Boulder Detail



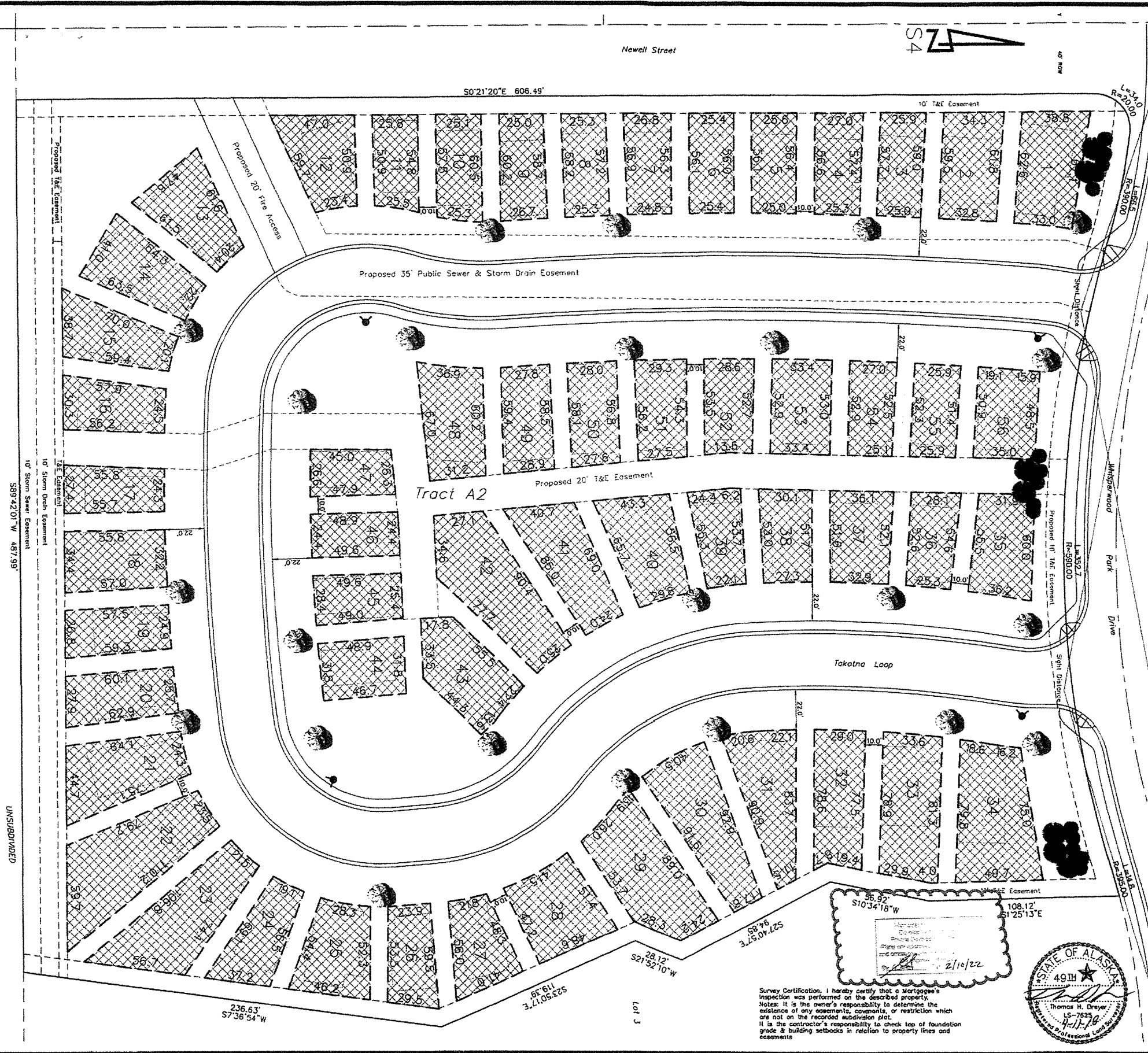
⑥ Tree Staking Detail



⑦ Planting Depth Detail



L3.0 Landscape Details
Birch Meadow Subdivision
Whisperwood Park Drive
Anchorage, Alaska
March 14, 2022



Plant Schedule:

Symbol	Quantity	Common Name / Botanical Name	Size	Notes
	15	POING COTONEASTER/COTONEASTER AZUTIFOLIA	18"	mid sized, green to scarlet
	7	SPRUCE/PICEA GLAUCA	5'	
	23	AMUR CHOKEDERRY/PRUNUS MAORI	1.5' Cal. 8"	mid sized, copper bark



Landscape Notes:

- All disturbed areas to be planted with a grass seed mix of 50% Kentucky Bluegrass and 50% Fescue grass. 1lb per 100 sq. ft. of lawn.

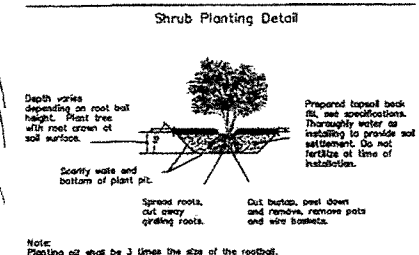
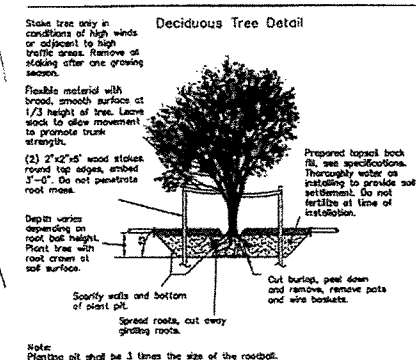
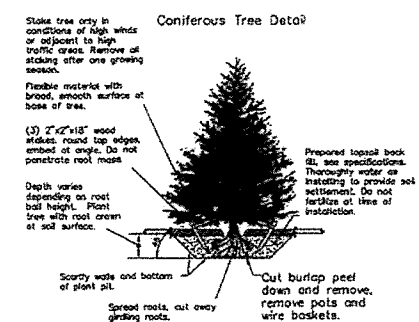
All areas are devoted to buildings, drives, parking and usable yards. All grass areas are at least 10' wide and no trees are required per code.

Easement Note:

Easements shown are per proposed plat Checkpoint Subdivision Tracts A1 & A2, Case No. S12162. Easements are plotted and dimensioned for reference purposes only. The recorded easement documents and plats should be used to verify and establish location, rights and permitted uses. Some easements shown are proposed and may be recorded on the plat or by document.

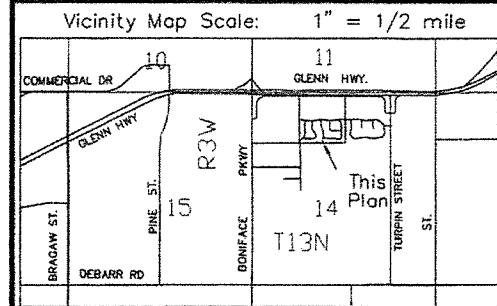
Planting Details:

Not to Scale



- Site Plan Notes
- For street sections, snow storage, elevations, disturbed ground, grading & drainage see sheet C4
 - House Pad Areas are shown for proposed house locations and may be adjusted per proposed house plans.
 - All buildings will have a minimum of 10' separation from each other.
 - All driveways will be a minimum of 22' from back of curb or back of sidewalk.
 - 56 Single family units with four-bedrooms and two car garages each.
 - Each unit will have four parking spaces with two in the garage and two in the driveway.

Sheet S1 of 19



A Site Layout & Landscape Plan of proposed:

Tract A2 Checkpoint Subdivision

Existing:
South half of Tract A, Checkpoint Subdivision, per plat 2012-96



Tom H Dreyer, P.L.S.
124 E 7th Avenue
Anchorage, Alaska 99501
(907) 300-6104
mailing@SAAK.com

Drawn by: CB	Scale 1" = 30'	Grid SW1238
Field Book: 103	Job 2013-42	Date: 4/11/2018