

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) AK Corp of Seventh Day Adventist		Name (last name first) Brandon Marcott, Triad Engineering, LLC	
Mailing Address 6100 O'Malley Road		Mailing Address P.O. Box 111989	
Anchorage, AK		Anchorage, AK	
Contact Phone – Day	Evening	Contact Phone – Day	Evening
208-739-0399		907-344-3114	
E-mail bat.ak@hotmail.com		E-mail brandonmarcott@triadak.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 006-421-42-000			
Site Street Address: N/A			
Current legal description: (use additional sheet if necessary) Tract A1-1, Checkpoint Subdivision			
Zoning: R4	Acreage: 2.15 Acres	Grid #: SW1238	Underlying plat #: 2020-30

SITE PLAN APPROVAL REQUESTED	
Use: Church (Religious Assembly) & Child Care Center	
<input checked="" type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Brandon Marcott

4.3.22

Signature Owner Representative
(Representatives must provide written proof of authorization)

Date

Brandon Marcott
Print Name

Accepted by:	Fee:	Case Number: <i>2022-0085</i>	Decision Date: <i>08/05/2022</i>
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COMPREHENSIVE PLAN INFORMATION		
Improvement Area (per AMC 21.08.050B.): <input checked="" type="radio"/> Class A <input type="radio"/> Class B		
Anchorage 2040 Land Use Designation(s):		
<input type="checkbox"/> Large Lot Residential	<input type="checkbox"/> Single and Two-family Residential	<input checked="" type="checkbox"/> Compact Mixed Residential – low
<input type="checkbox"/> Compact Mixed Residential–Medium	<input type="checkbox"/> Urban Residential – High	<input type="checkbox"/> Neighborhood Center
<input type="checkbox"/> Town Center	<input type="checkbox"/> Regional Commercial Center	<input type="checkbox"/> City Center
<input type="checkbox"/> Commercial Corridor	<input type="checkbox"/> Main Street Corridor	<input type="checkbox"/> Open Space
<input type="checkbox"/> Facilities and Institutions	<input type="checkbox"/> Industrial	
Anchorage 2040 Growth Supporting Features:		
<input type="checkbox"/> Transit-supportive Development	<input type="checkbox"/> Residential Mixed-use Development	
<input type="checkbox"/> Greenway-supported Development	<input type="checkbox"/> Traditional Neighborhood Development	
Chugiak-Eagle River Land Use Classification:		
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks
<input type="checkbox"/> Town Center	<input type="checkbox"/> Transportation facility	<input type="checkbox"/> Special study area
<input type="checkbox"/> Residential at _____ dwelling units per acre	<input type="checkbox"/> Community Facility	<input type="checkbox"/> Development reserve
Girdwood- Turnagain Arm Land Use Classification:		
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/open space
<input type="checkbox"/> Resort	<input type="checkbox"/> Transportation facility	<input type="checkbox"/> Special study area
<input type="checkbox"/> Commercial/Residential	<input type="checkbox"/> Commercial Recreation	<input type="checkbox"/> Public lands/institutions
<input type="checkbox"/> Residential at _____ dwelling units per acre	<input type="checkbox"/> Reserve	
Neighborhood, District or Other Area-Specific Plan: <u>East Anchorage District Plan</u>		

ENVIRONMENTAL INFORMATION (All or portion of site affected)					
Wetland Classification:	<input checked="" type="radio"/> None	<input type="radio"/> "C"	<input type="radio"/> "B"	<input type="radio"/> "A"	
Avalanche Zone:	<input checked="" type="radio"/> None	<input type="radio"/> Blue Zone	<input type="radio"/> Red Zone		
Floodplain:	<input checked="" type="radio"/> None	<input type="radio"/> 100 year	<input type="radio"/> 500 year		
Seismic Zone (Harding/Lawson):	<input type="radio"/> "1"	<input type="radio"/> "2"	<input checked="" type="radio"/> "3"	<input type="radio"/> "4"	<input type="radio"/> "5"

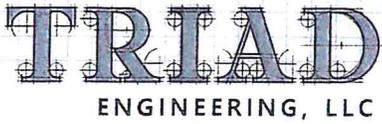
RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)
<input type="checkbox"/> Rezoning - Case Number:
<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): <u>S12542</u>
<input type="checkbox"/> Conditional Use - Case Number(s):
<input type="checkbox"/> Zoning variance - Case Number(s):
<input type="checkbox"/> Land Use Enforcement Action for
<input type="checkbox"/> Building or Land Use Permit for
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)																										
1 copy required:	<input checked="" type="checkbox"/> Signed application (original) <input checked="" type="checkbox"/> Watershed sign off form, completed <input checked="" type="checkbox"/> 8 1/2" by 11" copy of site plan/building plans submittal																									
7 copies required:	<input checked="" type="checkbox"/> Signed application (copies) <input checked="" type="checkbox"/> Project narrative explaining: <table style="width: 100%; border: none;"> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> the project</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> planning objectives</td> </tr> <tr> <td colspan="2" style="padding-left: 20px;"><input checked="" type="checkbox"/> addressing the site plan review criteria on page 3 of this application</td> </tr> </table> <input checked="" type="checkbox"/> Site plan to scale depicting, with dimensions: <table style="width: 100%; border: none;"> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> building footprints</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> parking areas</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> vehicle circulation and driveways</td> </tr> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> pedestrian facilities</td> <td style="padding-left: 20px;"><input type="checkbox"/> lighting</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> grading</td> </tr> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> landscaping</td> <td style="padding-left: 20px;"><input type="checkbox"/> loading facilities</td> <td style="padding-left: 20px;"><input type="checkbox"/> freestanding sign location(s)</td> </tr> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> required open space</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> drainage</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> snow storage area or alternative</td> </tr> </table> strategy <table style="width: 100%; border: none;"> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> trash receptacle location and screening detail</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> fences</td> </tr> <tr> <td style="padding-left: 20px;"><input type="checkbox"/> significant natural features</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> easements</td> </tr> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> project location</td> <td></td> </tr> </table> <input checked="" type="checkbox"/> Building plans to scale depicting, with dimensions: <table style="width: 100%; border: none;"> <tr> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> building elevations</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> floor plans</td> <td style="padding-left: 20px;"><input checked="" type="checkbox"/> exterior colors and textures</td> </tr> </table> <input type="checkbox"/> Assembly Ordinance enacting zoning special limitations, if applicable (Additional information may be required.)	<input checked="" type="checkbox"/> the project	<input checked="" type="checkbox"/> planning objectives	<input checked="" type="checkbox"/> addressing the site plan review criteria on page 3 of this application		<input checked="" type="checkbox"/> building footprints	<input checked="" type="checkbox"/> parking areas	<input checked="" type="checkbox"/> vehicle circulation and driveways	<input checked="" type="checkbox"/> pedestrian facilities	<input type="checkbox"/> lighting	<input checked="" type="checkbox"/> grading	<input checked="" type="checkbox"/> landscaping	<input type="checkbox"/> loading facilities	<input type="checkbox"/> freestanding sign location(s)	<input checked="" type="checkbox"/> required open space	<input checked="" type="checkbox"/> drainage	<input checked="" type="checkbox"/> snow storage area or alternative	<input checked="" type="checkbox"/> trash receptacle location and screening detail	<input checked="" type="checkbox"/> fences	<input type="checkbox"/> significant natural features	<input checked="" type="checkbox"/> easements	<input checked="" type="checkbox"/> project location		<input checked="" type="checkbox"/> building elevations	<input checked="" type="checkbox"/> floor plans	<input checked="" type="checkbox"/> exterior colors and textures
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SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

**PHYSICAL**

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Community Seventh Day Adventist & Child Care Center Development Narrative

Introduction

The proposed project requests an Administrative Site Plan approval for a church use which is a Religious Assembly use as defined within Title 21 as well as a Child Care Center. The project is located east of Newell Street and south of Boundary Avenue in Anchorage, Alaska. The property is currently owned by Alaska Corporation of Seventh Day Adventist. The current zoning of the site is R4.

The proposed development intends to construct one building in two phases along with associated parking. The overall maximum occupancy for a church use will be 230 upon full build out and completion of Phase 2. The current legal description of the site is Tract A1-1, Checkpoint Subdivision (Plat 2020-0030). Tract A1-1 is 2.15 acres in size and abuts Newell Street and Boundary Avenue ROW. Vehicular and pedestrian access to the site will be from Newell Street which is a collector road owned and maintained by the MOA. Property to the north is the Glenn Highway which is owned and maintained by ADOT. Properties to the east and south are currently vacant and zoned R4. Property to the west, across Newell Street, is zoned B3. Current land use around the subject property is generally vacant with gradual infill of residential housing occurring further to the south and east.

The property developer and applicant is Community Seventh Day Adventist. The architect is David Shull. The project engineer is Triad Engineering, LLC. The project surveyor is The Boutet Company, Inc. Site construction is anticipated to begin in the fall of 2022 with building construction beginning late fall 2022.

Request for Approval

This application requests approval for this Administrative Site Plan Review for this development. Please see the narrative below and attached plan sets for more information.

Application Requirements

The proposed development is a Religious Assembly use as well as a Child Care Center within the R4 district. This is a permitted use under the Administrative Site Plan Review process (AMC Table 21.05-1 Community Uses). The applicable sections of Title 21 are as follows:

- AMC 21.05.010 – Table of Allowed Uses
- AMC 21.05.040B – Child Care
- AMC 21.05.040C.7 - Religious Assembly
- AMC 21.05.040C.2 – Community Center

- AMC 21.06.030 - Dimensional Standards and Measurements
- AMC 21.07.060E2.f – Standards for Pedestrian Facilities
- AMC 21.07.080E.1 – Site Perimeter Landscaping Requirements
- AMC 21.07.080E.2.c – Parking Lot Interior Landscaping Requirements
- AMC 21.07.090E – Off-street Parking Requirements
- AMC 21.07.090I – Passenger Loading Zones

AMC 21.05.010 – Table of Allowed Uses

Chapter 21.05: Use Regulations
 Sec.21.05.010 Table of Allowed Uses

TABLE 21.05-1: TABLE OF ALLOWED USES – RESIDENTIAL, COMMERCIAL, INDUSTRIAL, AND OTHER DISTRICTS
 P = Permitted Use S = Administrative Site Plan Review C = Conditional Use M = Major Site Plan Review
 For uses allowed in the A, TA, and TR districts, see section 21.04.050.
 All other uses not shown are prohibited.

Use Category	Use Type	RESIDENTIAL														COMMERCIAL					INDUST.			OTHER					Definitions and Use-Specific Standards	
		R-1	R-1A	R-2A	R-2D	R-2M	R-3	R-3A	R-4	R-4A	R-5	R-6	R-7	R-8	R-9	R-10	B-1A	B-1B	B-3	RO	MC	I-1	I-2'	MI	AF	DR	PR	PLI		W
	Crematorium																					P	P						C	21.05.040C.3.
	Government administration and civic facility																P/S/M	P/S/M	P/S/M	P/S/M	P/S/M	C		P/S/M				M	P/S/M	21.05.040C.4
	Homeless and transient shelter																												C	21.05.040C.5
	Neighborhood recreation center	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	P	P									S	21.05.040C.6.
	Religious assembly	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	P	P	P	P		P	P						P	21.05.040C.7.
	Social service facility						C	C	C	C							C	P	P	C									P	21.05.040C.8.
Cultural Facility	Aquarium																	M		M			M				M	M	21.05.040D.1.	
	Botanical gardens																										S	S	21.05.040D.2.	
	Library	S	S	S	S	S	S	S	S	S						M	M	M	M									M	21.05.040D.3.	
	Museum or cultural center																	M	M		M	C					M	M	21.05.040D.4.	
	Zoo																										C	C	21.05.040D.5.	
Educational Facility	Boarding school						M	M	M	M									P	M								M	21.05.040E.1.	
	College or university									M							M	M	M	M								M	21.05.040E.2.	
	Elementary school or middle school	P/M	P/M	P/M	P/M	P/M	P/M	P/M	P/M	P/M	P/M	P/M	P/M				P/M	P/M	P/M									P/M	21.05.040E.3.	

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		R-1	R-1A	R-2A	R-2D	R-2M	R-3	R-3A	R-4	R-4A	R-5	R-6	R-7	R-8	R-9	R-10	B-1A	B-1B	B-3	RO	MC	I-1		I-2	MI	AF	DR	PR	PLI
	Habilitative care facility, small (up to 8 residents)	P	P	P	P	P	P	P	P	P	P	P	P				P	P	P									P	21.05.030B.3.
	Habilitative care facility, medium (9-25 residents)	C	C	C	C	C	P	P	P	P	C	C	C				P	P	P									C	21.05.030B.3.
	Habilitative care facility, large (26+ residents)						P	P	P	P							P	P	P									C	21.05.030B.3.
	Rooming-house				C	P	P	P	P	C	C	C	C	C		P	P	P	P										21.05.030B.4.
	Transitional living facility						P	P	P	P							P	P									C	21.05.030B.6.	
COMMUNITY USES																													
Adult Care	Adult care facility (3-8 persons)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P									P	21.05.040A.
	Adult care facility (9 or more persons)	C	C	C	C	C	C	C	C	C							P	P	P										
Child Care	Child care center (9 or more children)	C	C	C	C	S	S	S	S	S	S	S	S	S	S	P	P	P	P									P	21.05.040B.1.
	Child care home (up to 8 children)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P										21.05.040B.2.
Community Service	Cemetery or mausoleum																											P	21.05.040C.1.
	Community center						S	S	S	S							S	S	S								C	S	21.05.040C.2.

AMC 21.05.040B Child Care

Definition - Child care center has the same meaning as set forth in AMC chapter 16.55 for child care and educational center, and may care for nine or more children. Operation of a child care center is not a home occupation pursuant to subsection 21.05.070D.11. This use includes pre-schools that are not associated or collocated with an elementary, middle, or high school.

The proposed building could potentially be used as a child care center that cares for nine or more children.

b. Use-Specific Standards

i. Access

The site shall have direct access from a street constructed to municipal standards.

The site has direct access to Newell Street which is an MOA owned/maintained collector road built to municipal standards on its easterly side.

ii. Usable Outdoor Space

Usable outdoor space shall be provided pursuant to AMC section 16.55.450. Exempt child care centers, as per chapter 16.55, are not required to meet the usable outdoor space requirement.

Ample usable outdoor space is available immediately adjacent to the easterly side of the building as shown on the site plan.

iii. Vegetated Open Space in Residential Districts *In residential zoning districts where a child care center requires conditional use approval, a minimum of 25 percent of the lot shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the planning and zoning commission determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses. In all other residential zoning districts where a child care center is allowed, a minimum of 15 percent of the lot area shall remain as required above, unless the decision making body determines that retention of less than 15 percent allows for sufficient buffering of adjacent uses.*

25% percent of the lot is retained as vegetated open space.

iv. Parking and Setbacks

In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

No parking or loading is proposed within any setbacks.

v. Adjacent Residential

L1 visual enhancement landscaping shall be provided along each lot line that abuts a lot within a residential district. A child care center in a nonresidential district, that is adjacent to a residential use or district, shall provide L2 buffer landscaping along the adjacent lot line. If the child care center is on a site where it is not a primary use, the director may determine that an alternative landscaping or fencing plan allows for sufficient buffering of adjacent uses, or that landscaping is unnecessary because the lot size is sufficiently large in relation to the use and that it will not create a high impact at the lot perimeter abutting the residential district.

L2 landscaping is provided to the south and east adjacent to residential districts.

vi. Snow Storage

In residential districts, snow storage areas equal to at least 15 percent of the total area of the site used for parking, drives, walkways, and other surfaces that need to be kept clear of snow, shall be designated on the site plan. Such areas designated for snow storage shall be landscaped only with grasses and flowers and shall have flat or concave ground surface with positive drainage away from structures and pavements. Snow storage is not allowed in front setbacks except in association with single-family or two-family structures. Snow storage is allowed in 50 percent of side and rear setbacks, if trees and other vegetation designated for preservation will not be damaged. If snow is to be hauled off-site, temporary snow storage areas shall be shown on the site plan.

Snow storage area equivalent to 15% of the parking and walkway areas is provided on the site plan.

vii. Continuing Conditional Uses

This section shall not apply to any use continuing as a lawful conditional use on February 28, 2006.

Not applicable.

AMC 21.05.040C.7 Religious Assembly

Definition – A building or structure, or group of buildings or structures, intended primarily for the conducting of organized religious services. Accessory uses may include, but are not limited to, parsonages, meeting rooms, child care provided for persons while they are attending religious functions, broadcast ministries, bookstores, vehicle service and repair facilities (for bus ministries and staff vehicles), lawn and garden sheds, warehouse and storage buildings, community service centers, gymnasiums, food distribution ministries. Schools associated with religious assemblies are not an accessory use.

The proposed building will be used as a church for the Community Seventh Day Adventists.

a. Use Specific Standards

i. Religious assembly uses shall comply with the use-specific standards set forth above under “community center.”

The proposed use and site plan comply with “community center” standards as discussed below.

ii. Columbaria, which are structures having recesses in the walls to receive urns containing ashes of the dead, or columbarium walls, are permitted accessory uses with religious assemblies.

Not applicable.

iii. Maximum Height - Except for those elements excepted in subsection 21.06.030D.6., a religious assembly may not exceed the height permitted in the zoning district in which it is located. However, in districts where the maximum height is less than 40 feet, the maximum height for a religious assembly may increase to 40 feet, so long as the building is setback from any point on the property line at least twice the maximum actual height.

Building height is approximately 27 feet measured to the peak of the roof.

iv. Religious Assembly in Industrial Districts- Religious assembly uses in the I-1 and I-2 districts shall have a maximum gross floor area of 20,000 square feet.

Not Applicable.

AMC 21.05.040C.2 Community Center

a. Definition - A facility that is intended primarily to serve the meeting, cultural, social services, administrative, athletic, or entertainment needs of the community as a whole, operated by the government or as a non-profit facility, and generally open to the public.

The proposed facility meets this definition.

b. Use-Specific Standards (also apply to “Religious Assembly”)

i. Applicability- The standards of this subsection shall apply to all community centers and religious assemblies within a residential zoning district.

The proposed use is within the R4 zoning district which is a residential district.

ii. Minimum Lot Area and Width- Notwithstanding any smaller minimum lot area required by tables 21.06-1 and 21.06-2, community centers and religious assemblies subject to this subsection shall have a minimum lot area of 14,000 square feet and a minimum lot width of 100 feet.

The total area of the tract is 94,023 square feet and has a lot width of 177.20 feet.

iii. Traffic Access- Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Chapter 21.05: Use Regulations Sec.21.05.040 Community Uses: Definitions and Use-Specific Standards Title 21: Land Use Planning February 14, 2018 Anchorage, Alaska Page 5-36 Highways Plan. All ingress and egress traffic shall be directly onto such street.

The existing Tract contains a minimum lot width of 177.20 feet and abuts Newell Street which is defined as a collector road within the OSH&P. All access to the site is proposed from Newell Street.

iv. Buffering Standards- L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.

L2 buffer landscaping is provided to the south and east where the development abuts residential districts. Optional design standards are utilized along the southerly boundary with Tract A1-2. A 6' tall fence is provided to allow a reduced width of 10' along the drive aisle.

v. Vegetated Open Space - In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.

R4 is a residential district therefore 23,506 square feet is required for open space. The proposed site plan provides 28,140 square feet for open space.

vi. Parking and Setbacks - In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

No parking is proposed within any setbacks.

AMC 21.10.060 Dimensional Standards and Measurements

- **Minimum lot area 6,000 ft²** – 94,023 ft² provided
- **Minimum lot width 50 ft** – 177.20 ft provided
- **Max lot coverage 60%** - 7.5% provided
- **Maximum setback requirements**
 - **Front 10 ft** – 310 ft provided to west property line
 - **Rear 10 ft** – 123 ft provided to east property line. Tract has double frontage on Newell Street and Boundary Avenue so rear setback is one-half the front setback so 5 ft.
 - **Side 5 ft plus one foot for each 5 feet in height exceeding 35 feet** – 15 ft provided to south property line.
- **Maximum number of principal structures per lot or tract**
 - **More than one principle structure may be allowed on any lot or tract in accordance with subsection 21.07.110F.2**

N/A - Only one principal structure is proposed.

- **Maximum height of structures**
 - **Principal: 45 ft – 27 feet**

AMC 21.07.060E2.f – Standards for Pedestrian Facilities

f. Development on lots along existing streets in class A zoning districts shall install sidewalks in the following situations:

i. In R-4, R-4A, and commercial districts.

Newell Street contains existing sidewalks along the easterly side of the corridor. Boundary Avenue does not contain pedestrian amenities. The proposed site plan shows a 5-foot-wide attached sidewalk along Boundary Avenue.

AMC 21.07.080E.1 Site Perimeter Landscaping Requirements

b. Applicability – Site perimeter landscaping shall be provided along the perimeter property line of development sites in accordance with table 21.07-2.

- **North Property Local Street – L1 required. 30' Screening Easement is existing.**
- **East Property R4 – L2**
- **West Property Collector – L1**
- **South Property R4 – L2**

AMC 21.07.080E.2.c Parking Lot Interior Landscaping Requirements

Parking lot interior landscaping is intended to visually enhance and break up the area of larger parking lots. Parking lot interior landscaping is required for and parking lot with 40 or more parking spaces. The area of the parking lot shall be determined by the total paved area including parking, circulation aisles, and appurtenant driveways. Development in the DT districts is exempt from the requirements in this subsection, and shall instead follow the parking lot landscaping standards set forth in 21.11.070D.1

The parking lot contains 46 stalls so parking lot interior landscaping is required. The total parking and drive aisle area is 22,790 square feet.

i. Parking lot interior landscaping requirements are as follows:

a. 40 to 100 parking spaces: An area equal to at least five percent of the parking lot shall be devoted to landscaping.

1,140 square feet of landscaping is required and 1,256 square feet is provided.

ii. Areas eligible to be counted as parking lot interior landscaping in subsection c.i. above shall be surrounded by parking area and/or driveway on at least three sides, except that up to 50 percent of the total parking lot interior landscaping, up to a maximum of 800 square feet, may include landscaping areas with parking area and/or driveway on only two sides (such as corner areas of parking lots).

Of the 1,256 square feet of parking lot interior landscaping provided, 562 square feet or 45% has parking area and/or driveway on only two sides.

AMC 21.07.090E Off-street Parking Requirements

1. **Minimum Number of Spaces Required – Unless otherwise expressly stated in this title, off-street parking spaces shall be provided in accordance with table 21.07-4, Off-Street Parking Spaces Required and subsection E.2. below. Reductions, exemptions, and alternatives to the required minimum number of parking spaces are provided in subsection 21.07.090F. below.**
 - **Community Service – Community Center or Religious Assembly**
 - **1 per 5 persons in principle assembly area based on maximum occupancy provisions of AMC title 23 – 230 maximum occupancy proposed.**
 - **46 total stalls required – 46 stalls provided**

AMC 21.07.090I Passenger Loading Zones

All institutional, entertainment, and commercial uses such as schools/daycare, stadiums, and theaters that have high-volume peak traffic volumes shall provide an area for drop-offs and pickups that meets the following requirements:

1. Passenger Loading Zone

In addition to the required minimum number of parking spaces established in subsection 21.07.090E., the traffic engineer may require one or more passenger loading zone spaces, depending on the type, intensity, and traffic patterns of the proposed use. The passenger loading zone for large commercial establishments or other intensive uses may be required by the traffic engineer to include one or more spaces dedicated to taxi cabs and/or other specialized high occupancy vehicles.

Nine passenger loaded spaces are provided within the site plan

2. Passenger Loading Zone Dimensions

Any passenger loading zone that is provided for a development shall consist of one or more passenger drop-off/pick-up spaces parallel to the driveway or circulation aisle adjacent to the building. Each space shall be a minimum of 20 feet in length and eight or more feet in width, with an access aisle at least five feet wide abutting the full length of the space. As an alternative, subject to approval of the traffic engineer, a passenger loading zone may consist of one or more parking spaces that meets the accessible parking space dimensional standards of subsection 21.07.090J.7. However, designated passenger loading zone spaces shall not count towards the accessible parking space requirement.

One space per 800 gross floor area is required which equates to nine spaces. Nine spaces are provided with four located at the drive thru/drop-off area at the front of the building. These spaces are 20-feet long and provide a 5-foot-wide accessible space immediately adjacent to them. Five additional passenger loading spaces are provided in the central parking area. These spaces are configured such that a standard 9-foot-wide stall can be striped and signed “no parking” to provide the required accessible aisle. This passenger loading areas would be provided if the end use was a Child Care Center. They are not required for a use as a Religious Assembly.

3. Plan

The parking facility layout, circulation, and design plan shall show the location and design of proposed passenger loading zones. For certain intensive uses, the traffic engineer may require the plan to include a traffic control plan addressing projected usage, hours of operation, peak loading/unloading time, plans for directing traffic, safety measures, and other information deemed necessary by the traffic engineer to designing a safe and well functioning drop-off area. Chapter 21.07: Development and Design Standards Sec. 21.07.090 Off-Street Parking and Loading Title 21: Land Use Planning January 10, 2018 Anchorage, Alaska Page 7-109

The site plan identifies the passenger loading zones.

4. Accessible Route

An accessible pedestrian route to the building or facility entrance shall be provided pursuant to subsection 21.07.090J.9., Accessible Routes.

All passenger loading zones are adjacent to an accessible route to the facility entrance.

5. Schools

Passenger loading zones shall be required for schools (public or private). Length, location, and design of the passenger loading zones shall be approved by the traffic engineer.

Not applicable.

Site Plan Review Standards (21.03.180)

- 1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent or land use approval;***

The site plan conforms to the previously approved and recorded plat for Tract A1-1, Checkpoint Subdivision. Additionally, this site plan complies with the Title 21 requirements for both the R4 and East Anchorage District Plan by providing a pathway connection along Boundary Avenue.

- 2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06 Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards;***

The development and design standards associated with these chapters have been addressed in detail above.

- 3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and***

Significant adverse impacts from this development are not anticipated. The proposed development has direct access to a recently constructed collector street. Newell Street has been constructed in 2021/2022 to collector standards with pedestrian facilities on the easterly side of the corridor. An attached sidewalk is proposed along Boundary Avenue in compliance with the R4 district requirements and the East Anchorage District Plan.

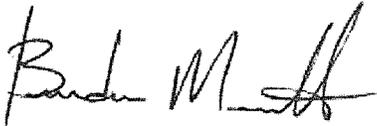
- 4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.***

This area is well served by public infrastructure and will provide a pedestrian connection along Boundary Avenue which is shown on the Vision Concept Map (pg 19) of the East Anchorage District Plan. Adding a sidewalk along Boundary also complies with Goal 3 of the East Anchorage District Plan which is to “Make East Anchorage safe for walking and biking.”

Thank you for your time and consideration in this matter. If you have any questions or require additional information, please call 344-3114 or email me at brandonmarcott@triadak.com.

Sincerely,

Triad Engineering, LLC

A handwritten signature in black ink, appearing to read "Brandon Marcott". The signature is fluid and cursive, with the first name "Brandon" written in a larger, more prominent script than the last name "Marcott".

Brandon Marcott, P.E.



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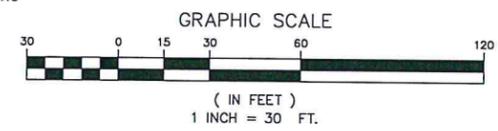
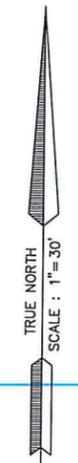
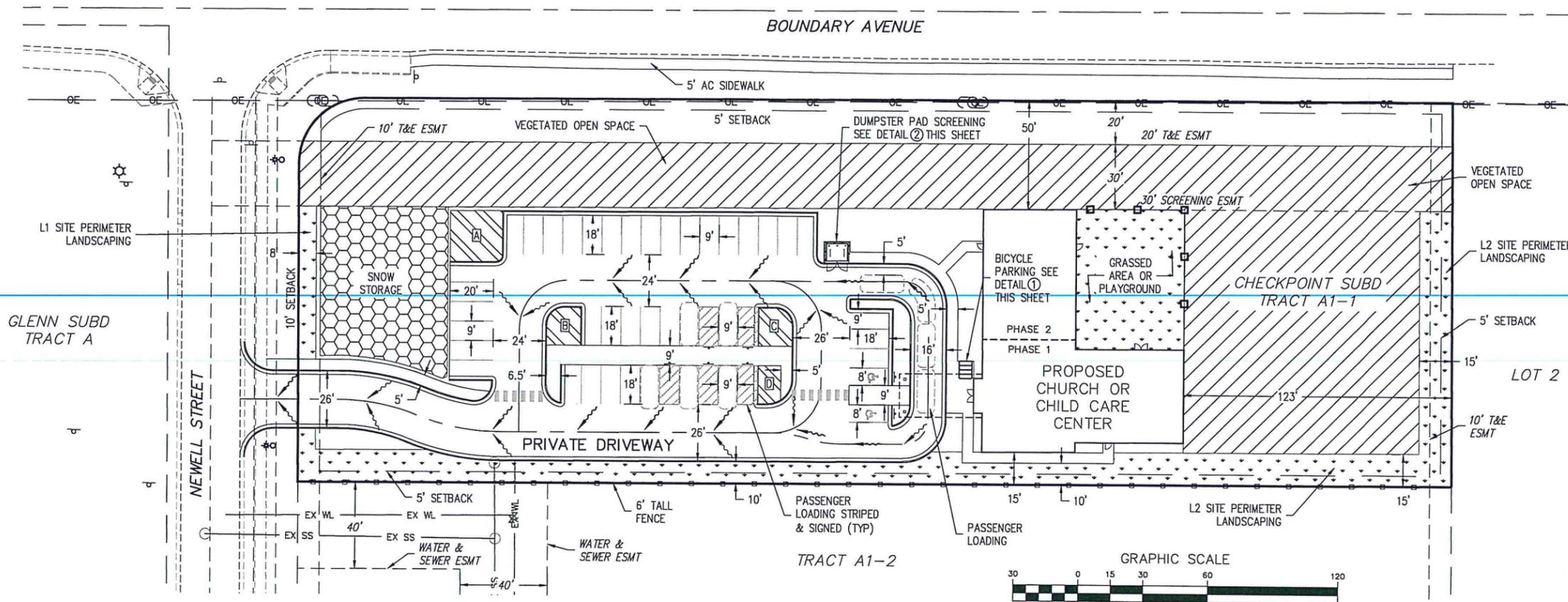
RECORD DRAWING

1. DATA PROVIDED
BY: _____
TITLE: _____ DATE: _____

2. DATA TRANSFERRED
BY: _____
COMPANY: _____ DATE: _____

3. DATA TRANSFER CHECKED
Based on periodic field observations by the Engineer (or an individual under his/her direct supervision), the Contractor-provided data appears to represent the project as constructed.
BY: _____
COMPANY: _____ DATE: _____

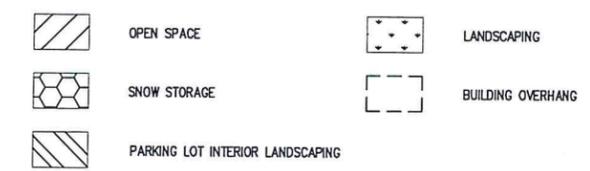
COMMUNITY SEVENTH DAY ADVENTIST CHURCH & CHILD CARE CENTER SITE PLAN



SITE PLAN DATA – COMMUNITY SDA CHURCH & CHILD CARE CENTER

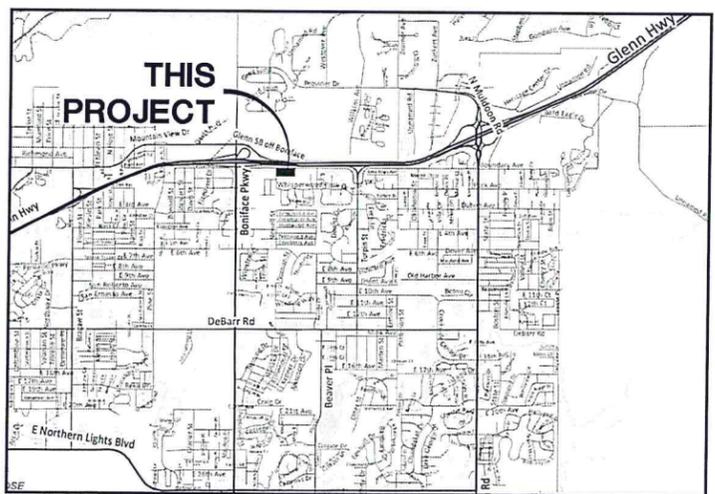
SITE REQUIREMENT	REQUIRED	PROVIDED	ADDITIONAL NOTES
CURRENT ZONING	R-4	-	
PROPOSED USE	-	RELIGIOUS ASSEMBLY OR CHILD CARE CENTER	RELIGIOUS ASSEMBLY SHALL COMPLY WITH "COMMUNITY CENTER" STANDARDS
MINIMUM LOT AREA	6,000 FT ²	94,023 FT ²	
BUILDING FOOTPRINT	MAX 60% ALLOWED	7.5%	7,030 FT ² TOTAL BLDG FOOTPRINT
PARKING	CHURCH – 1/5 PERSONS = 46 CHILD CARE – 1/400 GFA = 18	46 STALLS	1 STALL PER 5 BASED ON MAXIMUM OCCUPANCY OF 230
PASSENGER LOADING	CHILD CARE – 1/800 GFA = 8.8	9	NONE REQUIRED FOR CHURCH USE
ACCESSIBLE SPACES	2 STALLS	2 STALLS	1 STALL VAN ACCESSIBLE
LOADING BERTH	NOT REQUIRED	NONE	LESS THAN 25,000 FT ²
BUILDING HEIGHT	MAXIMUM HEIGHT 45 FT	27.50 FT	MEASURED TO PEAK OF ROOF
BUILDING SETBACKS	FRONT – 10 FT	310 FT	TO WEST PL
	REAR – 10 FT	123 FT	TO EAST PL
	SIDE – 5 FT	15 FT	+1 FT EVERY 5 FT ABOVE 35 FT
PARKING & WALKWAY AREA	N/A	25,667 FT ²	
SNOW STORAGE	3,851 FT ²	4,244 FT ²	15% OF PARKING AREA FOR CHILD CARE USE
PARKING LOT INTERIOR LANDSCAPING	1,140 FT ²	1,256 FT ² (SEE TABLE)	40 TO 100 STALLS REQUIRES 5% OF PARKING LOT BE LANDSCAPING
OPEN SPACE	23,506 FT ²	28,140 FT ²	25% OF LOT PER 21.05.040C.2.b.v
	NORTH – L1	L3 (EXISTING)	R-4 & LOCAL STREET
	SOUTH – L2	L2	R-4 (COM) & R-4 (RES)
	EAST – L2	L2	R-4 (COM) & R-4 (RES)
LANDSCAPING	WEST – L1	L1	R-4 & B-3/COLLECTOR
BICYCLE PARKING	YES	4 STALLS	MORE THAN 40 PARKING STALLS

LEGEND



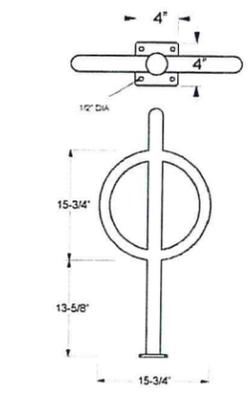
INTERIOR LANDSCAPING AREA

LOCATION	AREA	NOTES
A	562 FT ²	CORNER
B	257 FT ²	3 SIDES
C	257 FT ²	3 SIDES
D	180 FT ²	3 SIDES
TOTAL	1,256 FT²	

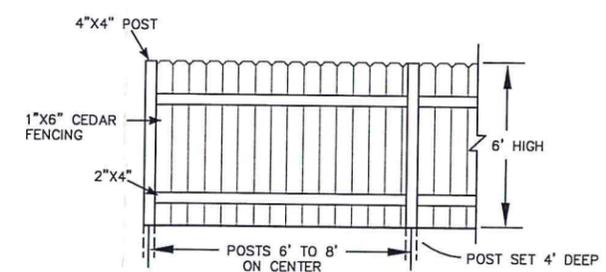


LOCATION MAP

SCALE : 1 Inch = 36,000 Feet



① BICYCLE STALL PARKING
SCALE: NTS 4 SPACES (2 UNITS)



② DUMPSTER PAD SCREENING
SCALE: NTS

LANDSCAPING NOTES

1. SEE THE LANDSCAPING PLAN FOR ADDITIONAL LANDSCAPING INFORMATION.

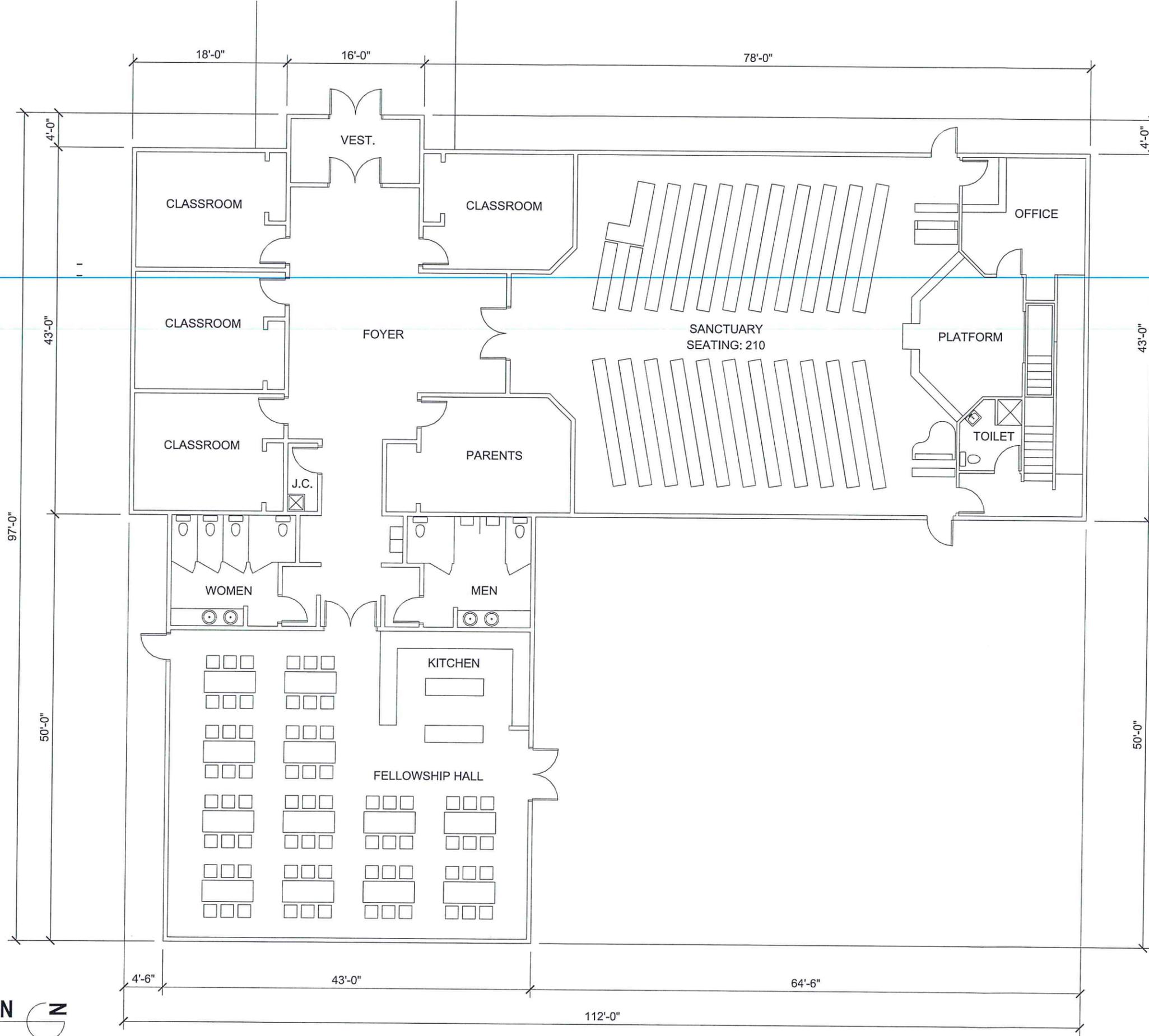
DATE	BY	CHKD	REVISIONS

DESIGNED	DRAWN	CHECKED	DATE
BM	BM	GM	JUNE 2022
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			VERT: N/A

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FLOOR PLAN

SCALE: 3/16" = 1'-0"



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CLIENT NAME
**ANCHORAGE SEVENTH-DAY
ADVENTIST CHURCH**
1700 EAST STARK STREET, GRESHAM, OREGON

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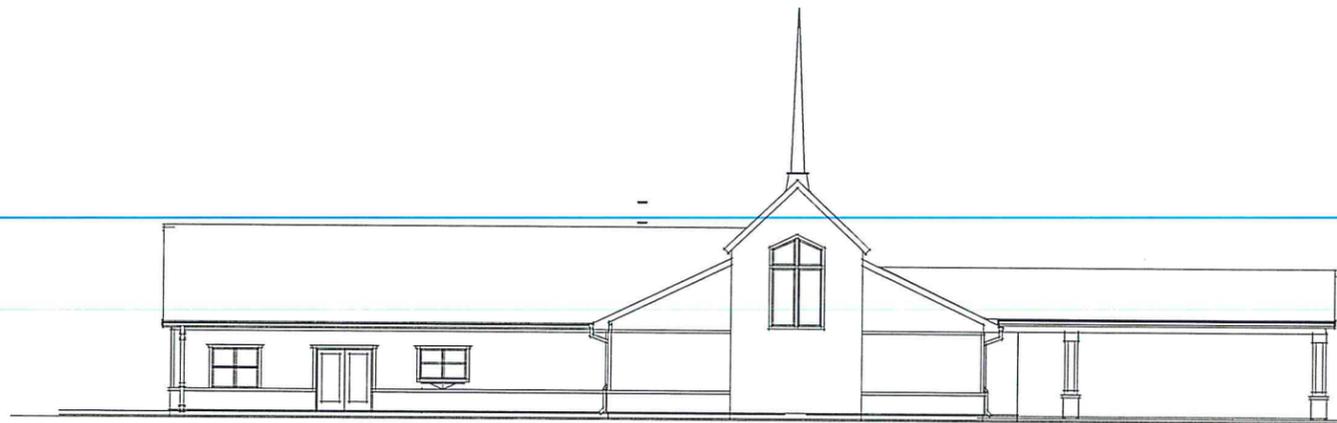
FOR	SITE PLAN REVIEW
DATE	05.31.22

REVISIONS

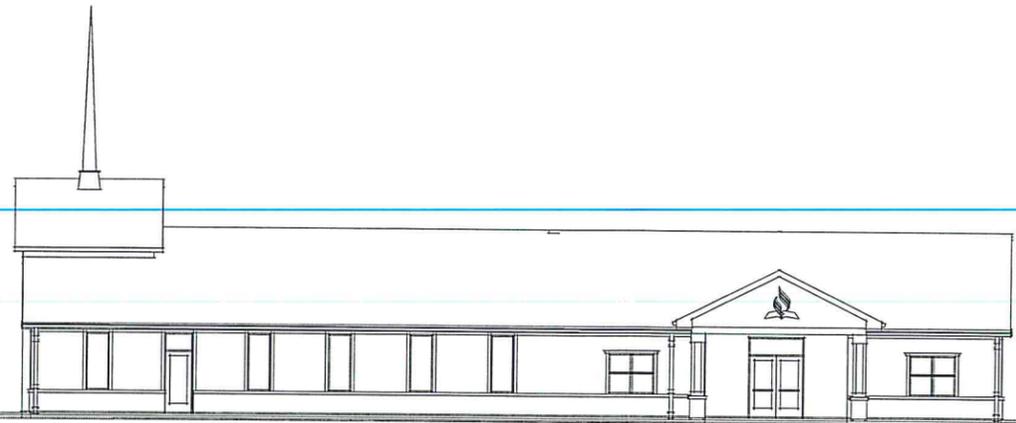
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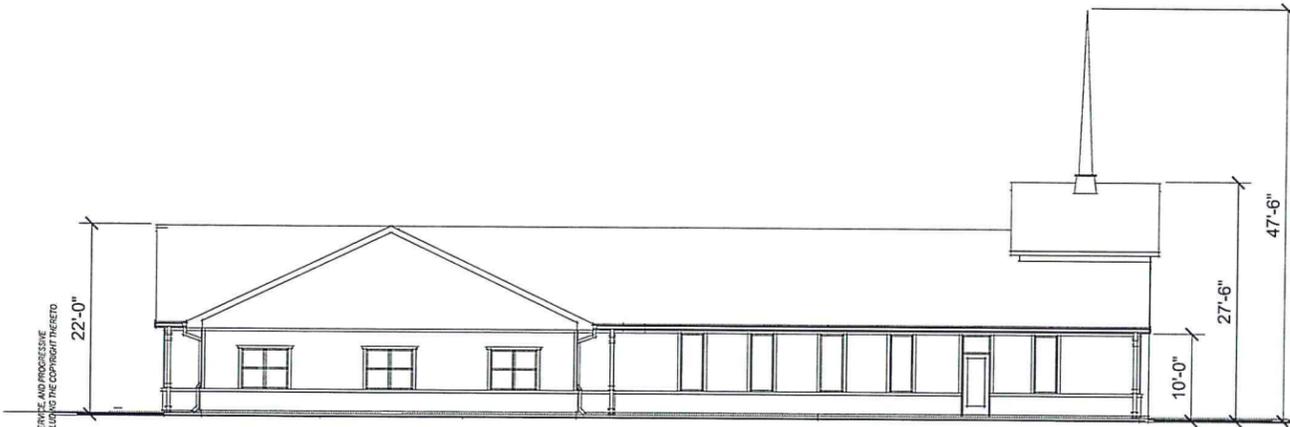
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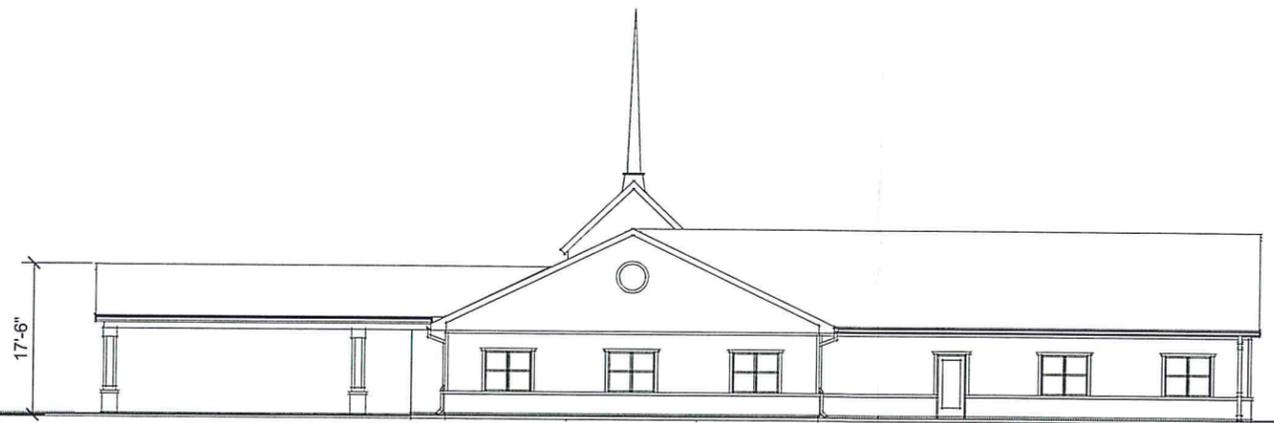
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

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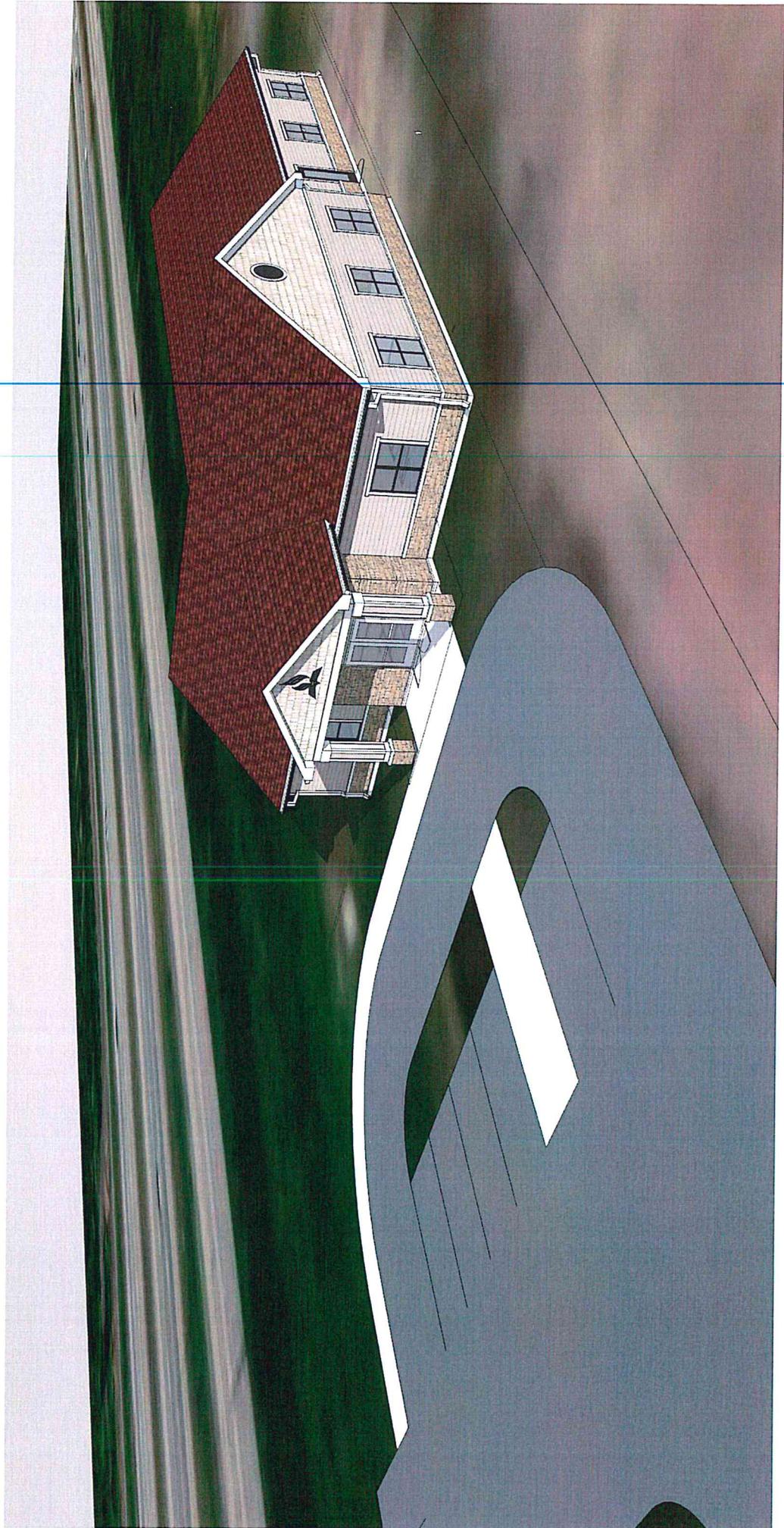
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ANCHORAGE COMMUNITY SEVENTH-DAY ADVENTIST CHURCH

PHASE 1 – VIEW TO NORTHEAST

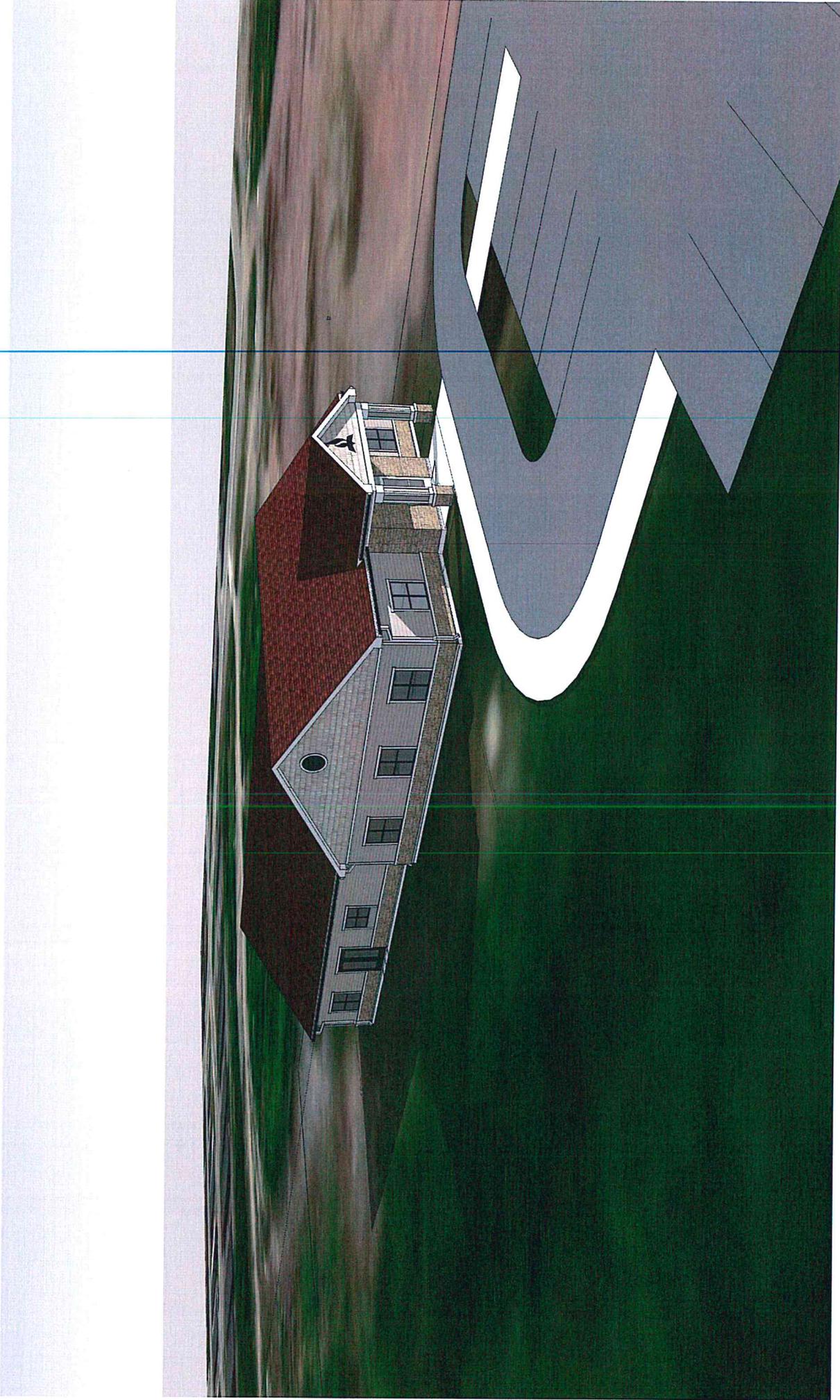
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ANCHORAGE COMMUNITY SEVENTH-DAY ADVENTIST CHURCH

PHASE 2 – VIEW TO NORTHEAST

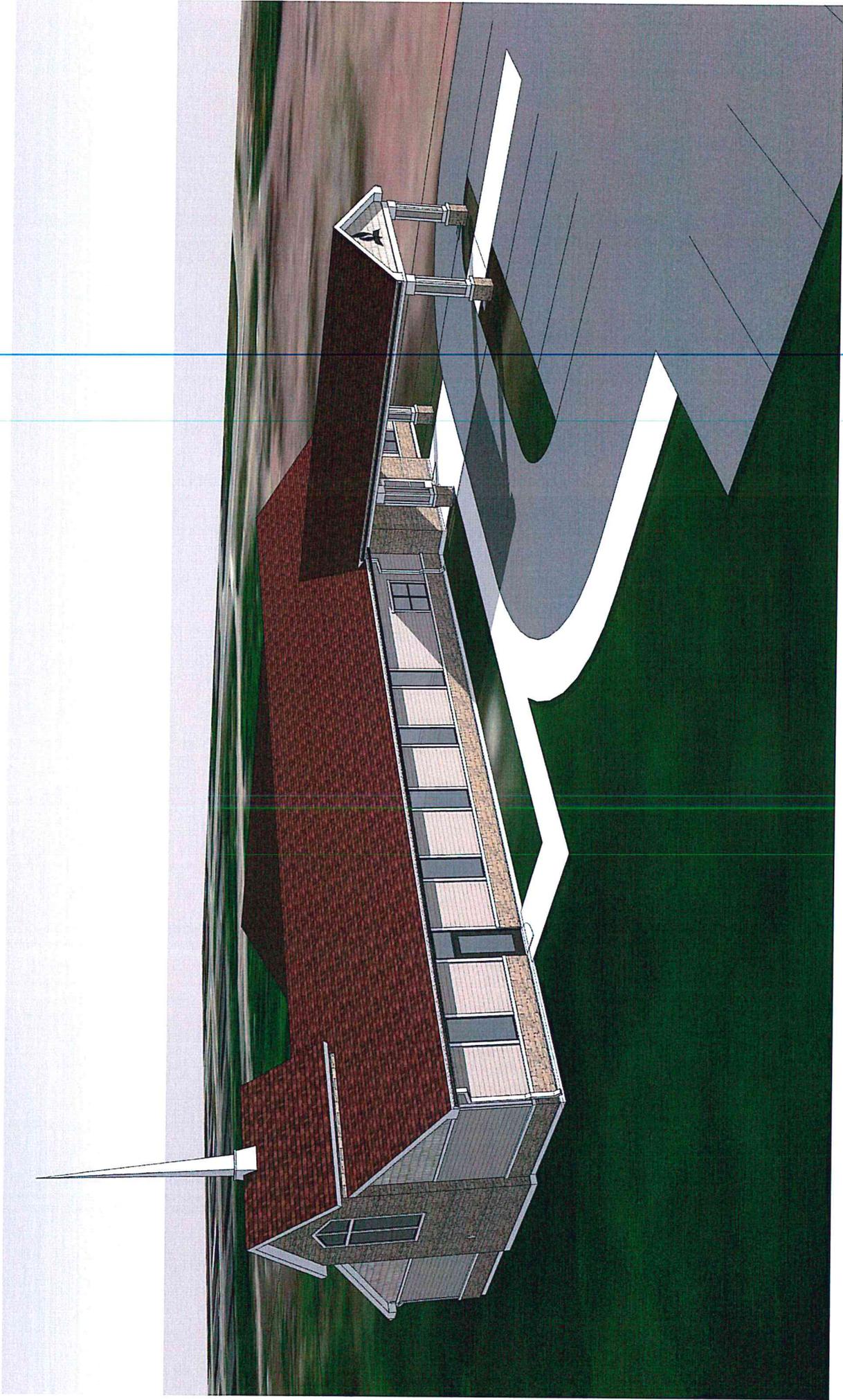
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ANCHORAGE COMMUNITY SEVENTH-DAY ADVENTIST CHURCH

PHASE 1 – VIEW TO SOUTHEAST

03.17.22



ANCHORAGE COMMUNITY SEVENTH-DAY ADVENTIST CHURCH

PHASE 2 – VIEW TO SOUTHEAST

03.17.22