


Application for Special Land Use Permit for Alcohol

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Cimuchowski, Heather (Costco Wholesale Corporation)		Name (last name first) Chmielowski, LaQuita (DOWL)	
Mailing Address Attn: Licensing, P.O. Box 35005		Mailing Address 5015 Business Park Boulevard, Suite 4000	
Seattle, WA 98124-3405		Anchorage, AK 99503	
Contact Phone – Day 425-313-8156	Evening	Contact Phone – Day 907-562-2000	Evening
E-mail hcimuchowski@costco.com		E-mail lchmielowski@dowl.com	


*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY OWNER AUTHORIZATION* (if petitioner is not property owner)	
(I)(WE) hereby grant permission to and acknowledge that person shown as the petitioner on this application is applying for a special land use permit for the retail sales of alcoholic beverages on a property under (MY)(OUR) ownership and that as part of the special land use permit process the Assembly may apply conditions which will be (MY)(OUR) responsibility to satisfy.	
Signature  Date 7/17/2023	
Print Name Aaron Zuzack (North Anchorage Real Estate Investors LLC / Browman Development Co.)	

*Disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

ALCOHOLIC BEVERAGE CONTROL BOARD LICENSE PROPOSED		
<input type="radio"/> Beverage Dispensary	<input type="radio"/> Brew Pub	<input type="radio"/> Recreational Site
<input type="radio"/> Beverage Dispensary, Duplicate	<input type="radio"/> Brewery	<input type="radio"/> Other (please explain):
<input type="radio"/> Beverage Dispensary-Tourism	<input type="radio"/> Club	
<input type="radio"/> Beverage Dispensary-Tourism, Duplicate	<input checked="" type="radio"/> Package Store	
Is the proposed license: <input checked="" type="radio"/> New <input type="radio"/> Transfer of location from: (Existing building that formerly contained package store, but with new package store location within building and new operator)		
<input type="radio"/> Amendment		
ABC license number: 6141		

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a retail sale of alcoholic beverages special land use permit in conformance with Title 21 of the Anchorage Municipal, Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the special land use permit. I also understand that assigned hearing dates are tentative and may have to be postponed by the Planning Department, Municipal Clerk, or the Assembly, for administrative reasons.

Signature  Date 7.13.23
☐ Petitioner ☒ Representative
 (Representatives must provide written proof of authorization from petitioner)

LaQuita Chmielowski, PE, LEED AP
Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2023-0094	Meeting Date: 09/26/2023
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PROPERTY INFORMATION

Property Tax # (000-000-00-000): 006-441-40-0

Site Street Address: 1074 N Muldoon Road

Current legal description: (use additional sheet if necessary)

Fragment Lot 17B-4, Tract A, Gateway Subdivision

Zoning: B3-SL

Acreage: 15.067

Grid #: SW1140

COMPREHENSIVE PLAN INFORMATIONImprovement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation:**

- ☐ Neighborhood (Residential)
 ☒ Center
 ☐ Corridor
☐ Open Space
 ☐ Facilities and Institutions
 ☐ Industrial Area

Anchorage 2040 Growth Supporting Features:

- ☐ Transit-supportive Development
 ☐ Greenway-supported Development
☐ Traditional Neighborhood
 ☐ Residential Mixed-use

Eagle River-Chugiak-Peters Creek Land Use Classification:

- ☐ Commercial
 ☐ Industrial
 ☐ Parks/opens space
☐ Public Land Institutions
 ☐ Marginal land
 ☐ Alpine/Slope Affected
☐ Special Study
 ☐ Residential at _____ dwelling units per acre

Girdwood- Turnagain Arm

- ☐ Commercial
 ☐ Industrial
 ☐ Parks/opens space
☐ Public Land Institutions
 ☐ Marginal land
 ☐ Alpine/Slope Affected
☐ Special Study
 ☐ Residential at _____ dwelling units per acre

ENVIRONMENTAL INFORMATION (All or portion site affected)

- Wetland Classification: ☒ None ☐ "C" ☐ "B" ☐ "A"
 Avalanche Zone: ☒ None ☐ Blue Zone ☐ Red Zone
 Floodplain: ☒ None ☐ 100 year ☐ 500 year
 Seismic Zone (Harding/Lawson): ☐ "1" ☒ "2" ☐ "3" ☐ "4" ☐ "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion site)

- ☐ Rezoning - Case Number: -- Non-Conforming Determination: (2022-044466-0) & approval of required changes in the direction of conformity (5/1/23)
☐ Preliminary Plat ☒ Final Plat - Case Number(s): S-12731 (FLSP Update)
☐ Conditional Use - Case Number(s): -- 2023-0003 (Minor Amendment to Approved Major Site Plan Review 2006-155)
☐ Zoning variance - Case Number(s): --
☐ Land Use Enforcement Action for:
☒ Building or Land Use Permit for C23-1132
☐ Wetland permit: ☐ Army Corps of Engineers ☐ Municipality of Anchorage

APPLICATION REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original) ☐ Ownership and beneficial interest form (if applicable)
☒ Completed Alcoholic Beverage Control Board liquor license application form (filed with ABC Board) including all drawings and attachments

7 copies required ☒ Signed application (copies)

☒ Approved parking and landscape plan from Land Use Review

☒ Site plan to scale depicting: building footprints; parking areas; vehicle and pedestrian circulation; lighting; landscaping; signage; and licensed premises location

☒ Building plans to scale depicting: floor plans indicating the location of sales and service areas; building elevations (photographs are acceptable)

☒ Photographs of premises from each street frontage that include and show relationship to adjacent structures and the premises visible street address number

☒ Narrative explaining the project; construction schedule and open for business target date; analysis of approval criteria on page 3

FACILITY OPERATIONAL INFORMATION

What is the proposed or existing business name? (Provide both if name is changing) Costco Business Center #1661

What is the gross leasable floor space in square feet? Package store portion will be approximately 1,995 sf

What will be the normal business hours of operation? Monday - Saturday, 7:00AM - 6:00 PM (Closed Sunday)

What will be the business hours that alcoholic beverages will be sold or dispensed? Monday - Saturday, 10:00AM - 6:00PM

What do you estimate the ratio of food sales to alcohol beverage sales will be? Approximately 10 to 1

9% Alcoholic beverage sales

91% Food sales

Type of entertainment proposed: (Mark all that apply)

☐ Recorded music ☐ Live music ☐ Floor shows ☐ Patron dancing ☐ Sporting events ☐ Other ☒ None

Do you propose entertainment or environmental conditions in the facility that will meet the definition of "indecent material" as set forth in AMC 8.50.020 or "adult entertainment" as set forth in AMC 10.40.050? ☐ Yes ☒ No

Do you propose conditions in the facility that fall under AMC 10.40.050 Adult oriented establishment? ☐ Yes ☒ No

DISTANCE FROM CHURCHES, DAY CARE, AND SCHOOLS

Locate and provide the names and address of all churches, day care, and public or private schools within 200 feet of the site property lines.

Name	Address
None within 200 feet	

PACKAGE STORES

Provide the projected percentage of alcoholic product inventory in the store where the retail unit price is:

0 % less than \$5.00

0 % \$5.00 to \$10.00

60 % \$10.00 to \$25.00

40 % greater than \$25.00

SPECIAL LAND USE PERMIT FOR ALCOHOL APPROVAL CRITERIA

The Assembly may only approve the special land use permit for alcohol if it finds that **all** of the following approval criteria are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations.
2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04.
3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05.
4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts.
5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district.
6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts).
7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible.
8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes.
9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

STANDARDS CHAPTER 10.50 ALCOHOLIC BEVERAGES

In the exercise of its powers and under AS 04.11.480 and 15 AAC 104.145 to protest issue, renewal, and transfer of alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets **each and every factor and standard** set forth below.

CONCENTRATION AND LAND USE

Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected.

How many active liquor licenses are located on the same property as your proposed license?

There are no other liquor licenses on Fragment Lot 17B-4.

Within Tikahtnu Commons, there are two other package store licenses, one Restaurant permit, and three Beverage Dispensaries.

Within 1,000 feet of your site are how many active liquor licenses?

4

How would you rate this area's license concentration on a scale of 1 to 5 with 5 = high?

2

How many active liquor licenses are within the boundaries of the local community council?

Approximately 32

TRAINING

If application is made for issue, renewal, or transfer of a license, the applicant must be able to demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program" approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.).

OPERATIONS PROCEDURES

If application is made for issue, renewal, or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in section 10.50.035 of municipal code.

- ☐ Yes ☒ No Happy hours?
☐ Yes ☒ No Games or contests that include consumption of alcoholic beverages?
☒ Yes ☐ No Patron access and assistance to public transportation?
☒ Yes ☐ No Notice of penalties for driving while intoxicated posted or will be posted?
☒ Yes ☐ No Non-alcoholic drinks available to patrons?
☐ Yes ☒ No Solicitation or encouragement of alcoholic beverage consumption?

PUBLIC SAFETY

When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

What are the proposed precautions to maintain order and prevent unlawful conduct at the licensed premises?

- Inside facility:** The store is open to members only. Membership cards are checked at the door and scanned at check-out.
 The liquor sales inventory will be limited to roughly 50 items. This will be different from any liquor store in the area which sells hundreds of different items.
 Employees that handle liquor sales will be specially trained in lawful liquor sales. The liquor area will be employee observed 100% of open hours, with all liquor purchases completed in the specified liquor area.
- Outside facility:** Outside the facility, there will be hourly walks by trained employees who will report any abnormal situations to senior management.

PAYMENT OF TAXES AND DEBTS

When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security" for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to Pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

- ☒ Yes ☐ No Are real estate and business property taxes current?
☐ Yes ☒ No Are there any other debts owed to the Municipality of Anchorage?

PUBLIC HEALTH

If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety, such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

- ☒ Yes ☐ No As the applicant and operator can you comply? If no, explain:



SPECIAL LAND USE PERMIT

Package Store at Tikahtnu Costco Business Center

Case 2023-0094

1122.63563.01

JULY 2023

Prepared for:

Costco Wholesale Corporation
Licensing, P.O. Box 35005
Seattle, WA 98124-3405

Prepared by:



5015 Business Park Boulevard,
Suite 4000
Anchorage, AK 99503



July 10, 2023

Mr. Dave Whitfield
Municipality of Anchorage, Current Planning Manager
4700 Elmore Road
Anchorage, Alaska 99507

Subject: Letter of Authorization

Dear Mr. Whitfield,

Costco Wholesale Corporation has entered into a lease agreement with North Anchorage Real Estate Investors LLC for the use of Fragment Lot 17B-4, Tract A, Gateway Subdivision (Parcel ID 006-441-40-0). The property is located at 1074 North Muldoon Road, within the Tikahtnu Commons shopping center.

Costco authorizes DOWL to pursue planning actions for the above referenced parcel. If you have any questions, please contact me at your convenience at 425 427-7010 or via email gdswearingen@costco.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Gary Swearingen", with a long horizontal flourish extending to the right.

Gary D. Swearingen
Assistant Secretary and Corporate Counsel

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APPENDICES

Appendix 1: Maps and Land Use Information

Appendix 2: Site and Building Plans and Photos

Appendix 3: State Alcohol License #6141

1.0 INTRODUCTION

DOWL, on behalf of Costco Wholesale Corporation, is applying for a new Special Land Use Permit (SLUP) for an Alcohol Package Store at the new Costco Business Center #1661 located at 1074 North Muldoon Road in Anchorage. The new Costco store will be located in an existing building that is commonly known as the former Sam's Club, located on Fragment Lot 17B-4, Tract A, Gateway Subdivision (Parcel 006-441-40-0). The site is part of the Tikahtnu Commons shopping center, located in the Northeast Community Council area (as shown in site and vicinity maps in Appendix 1).

A Costco Business Center operates the same as a traditional Costco and is open to all Costco members, but it is designed with businesses in mind. The Costco Business Center offers different items than what may be available at a traditional Costco, such as commercial appliances, janitorial supplies, and a variety of groceries targeted to restaurants, convenience stores, and other businesses.

The new package store will be an approximately 1,995 square foot area within the larger wholesale retail store. The former Sam's Club in this location was also a wholesale retail store that contained an alcohol package store, but the SLUP that was previously in place has expired and the alcohol sales were located in a different part of the building, which is why the new SLUP application is needed.

2.0 BACKGROUND

2.1 Entitlements Background

In order to prepare for the new Costco development, the property owner (North Anchorage Real Estate Investors LLC / Browman Development Co.) has completed a non-conforming determination (2022-044466-0) with required changes in the direction of conformity, an administrative site plan review for large retail establishment (2023-003, an amendment to original approval 2006-155), and a fragment lot site plan update (S-12731). Building renovations are in progress, and the store is planned to be open in late 2023. Approved site and building plans are included in Appendix 2.

Costco obtained approval for an Alaska Alcoholic Beverage Control Board (ABC) license number 6141 for a package liquor store at this location, which is also included in this SLUP application package. Documentation from the ABC license approval is included in Appendix 3.

2.2 Surrounding Area

The property is zoned B3-SL, General Business District with Special Limitations. Fragment Lot 17B-4, Tract A, Gateway Subdivision is bounded by Muldoon Road to the north and east, the Glenn Highway to the south, and other fragment lots within the Tikahtnu Commons shopping center to the west. Joint Base Elmendorf-Richardson lies to the west and north of the shopping center. To the east across Muldoon Road is PLI, Public Lands and Institutions zoning, with R-4, Multifamily Residential zoning to the south (across the Glenn Highway). A zoning map is

included in Appendix 1. Access to the site is via two separate signalized intersections from Muldoon Road. Muldoon Road is classified as a major arterial, and the Glenn Highway is a freeway. Tikahtnu Commons and the proposed Costco Business Center site are located within the Northeast Community Council.

There are no protected land uses (including schools, child care facilities, and religious assemblies) within 200 feet of the Costco Business Center property boundaries. The locations of these types of uses in the vicinity are shown in the Protected Land Uses map in Appendix 1.

Liquor licenses in the area are shown in the Liquor Licenses map in Appendix 1. There are currently four licenses for uses involving the sale or service of alcoholic beverages within 1,000 feet of the Costco Business Center's property boundaries, and two others also within the overall shopping center. There are approximately 32 active liquor licenses in the Northeast Community Council, mostly to the south along Muldoon Road. Tikahtnu Commons serves the broader region, and the package store in the proposed Costco Business Center will be replacing a license that existed in the past, so the requested license is not expected to negatively impact the area through an increase in the concentration of alcohol-related uses.

2.3 Operations and Safety

The package store will be approximately 1,995 square feet within the 160,708 square feet of the overall Costco Business Center, which is approximately 1.24% of the store area. The package store has already received an approved ABC license 6141 (included in Appendix 3).

The Business Center will be open Monday through Saturday, 7:00am to 6:00pm, and closed on Sundays. The liquor store portion will be open from 10:00am to 6:00pm, in compliance with permitted times to operate per Anchorage code. Similar to the other two Costco locations in Anchorage, the portion where alcohol is sold will be closed to customers during open store hours when alcohol is not being sold.

No entertainment, adult entertainment, indecent material, happy hours, games or contests involving alcoholic beverages, or solicitation or encouragement of alcoholic beverage consumption are proposed for this site. To maintain public safety and order and prevent unlawful conduct, there are precautions proposed for both inside and outside the facility.

The store is open to members only. Membership cards are checked at the door and scanned at check-out. The liquor sales inventory will be limited to roughly 50 items. This will be different from any liquor store in the area which sells hundreds of different items. Employees that handle liquor sales will be specially trained in lawful liquor sales. The liquor area will be employee observed 100% of open hours, with all liquor purchases completed in the specified liquor area. Outside the facility, there will be hourly walks by trained employees who will report any abnormal situations to senior management.

3.0 SPECIAL LAND USE PERMIT APPROVAL CRITERIA

The SLUP approval criteria are satisfied as follows:

- 1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations.**

The 2040 Land Use Plan identifies this area as a Regional Commercial Center. This designation is for large-scale commercial retail destinations serving a citywide or regional market. Tikahtnu Commons is a commercial shopping center with a mix of retail stores, restaurants, and a movie theatre, which is consistent with the 2040 Land Use Plan.

The existing building has remained vacant for a few years after the departure of the former Sam's Club wholesale retail store (including alcohol package store). The vacant building is now proposed to be redeveloped as a Costco Business Center, which offers retail goods to its members, similar to the former Sam's Club. The Costco Business Center will include an alcohol package store, similar to the other Costco locations in Anchorage. The package liquor store that is the subject of this SLUP will be approximately 1,995 square feet that is located within the 160,708 square foot retail building (about 1.24% of the overall store area). The package store has already received an approved ABC license 6141. The reuse of the building as general retail is consistent with the 2040 Land Use Plan and the intent of the Tikahtnu Commons shopping center development.

- 2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district specific standard set forth in chapter 21.04.**

The property is zoned B3-SL, General Business District with Special Limitations. The special limitations associated with the property did not change the permitted uses within the B-3 zoning district; the special limitations are included in Appendix 1. General Retail and Liquor Store are both permitted in the B-3 zone, so the proposed use is consistent with the B-3 zone.

At approximately 160,708 square feet after renovations, the development exceeds the 20,000 square feet threshold to be classified as a Large Retail Establishment per AMC 21.07.120.A, which requires a major site plan review. The Costco development obtained approval for a minor amendment to the site plan (case 2023-003). Specific finishes to be used on the exterior of the building have already been reviewed and approved by MOA Planning as part of the minor amendment to the site plan. Approved site and building plans are included in Appendix 2.

- 3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05.**

The Costco Business Center is classified as General Retail, which is a permitted use in the B-3 zone. The use-specific standards for General Retail are outlined in AMC 21.05.050.H.7. The use-specific standards are as follows:

- *Any general retail use with a drive-through service shall comply with the "drive-through service" accessory use standards in subsection 21.05.070.D.7.*

- This standard is not applicable for this site since drive-through services will not be provided at the site.
- *General retail establishments in the I-1 district shall have a maximum gross floor area of 20,000 square feet.*
 - This standard is not applicable since the site is zoned B3-SL, not I-1.

The Liquor Store portion of the development is also subject to AMC 21.05.050.H.9. The only use-specific standard is the requirement for the SLUP that is the subject of this application.

4. The site size, dimensions, shape, location, and topography are adequate of the needs of the proposed use and any mitigation needed to address potential impacts.

The site is currently developed and was the location of the former Sam's Club, which was a similar facility to the Costco Business Center. The building and parking on Fragment Lot 17B-4 are part of the overall Tikahtnu Commons development with ample space and parking. The alcohol package store will be an approximately 1,995 square foot area within the Costco Business Center, which will be approximately 160,708 square feet after renovations. This represents around 1.24% of the overall building area and will be located in the interior of the large floor area. This arrangement is typical for Costco locations (including in the two Costco locations in Anchorage).

The store is open to members only. Membership cards are checked at the door and scanned at check-out. Employees also check sales receipts at the exit of the store. Employees that handle liquor sales will be specially trained in lawful liquor sales. The liquor area will be employee observed 100% of open hours, with all liquor purchases completed in the specified liquor area. Outside the facility, there will be hourly walks by trained employees who will report any abnormal situations to senior management.

5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district.

Prior to the proposed Costco Business Center, the building and site were used as a Sam's Club. Sam's Club was a very similar use to a Costco Business Center, as a membership-based wholesale retailer that also included an alcohol package store. Therefore, the proposed use will not alter the character of the surrounding area; it will support Tikahtnu Commons by filling a vacancy at the shopping center with a similar use. Parking is located throughout the shopping center and access is via two signalized intersections at Muldoon Road.

Both General Retail and Liquor Store are permitted uses in the B3-SL zoning district and consistent with the Anchorage 2040 Land Use Plan designation of Regional Commercial Center.

6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust and other external impacts).

Fragment Lot 17B-4, Tract A, Gateway Subdivision is bounded by Muldoon Road to the north and east, the Glenn Highway to the south, and other fragment lots within the Tikahtnu Commons shopping center to the west. Joint Base Elmendorf-Richardson lies to the west and north of the shopping center. To the east across Muldoon Road is PLI, Public Lands and Institutions zoning, with R-4, Multifamily Residential zoning to the south (across the Glenn Highway). Access to the site is via two separate signalized intersections from Muldoon Road. Muldoon Road is classified as a major arterial. A traffic impact analysis was completed as part of the original development of Tikahtnu Commons.

The proposed Costco Business Center (containing an alcohol package store in 1.24% of the floor area) is compatible with the Tikahtnu Commons shopping center as it will be located in the former Sam's Club location, which was a very similar use (members-only wholesale retailer with a large footprint and containing a package store). Costco has already obtained an administrative site plan approval (case 2023-0003). The existing building and associated parking is located within the larger Tikahtnu Commons Shopping Center and surrounded by major roads (at the intersection of Muldoon Road and the Glenn Highway).

The site, including the existing building, is shielded from the adjacent rights of way by existing landscaped buffers including mature trees. Lighting on the site is consistent with lighting throughout the existing shopping center. The site is paved, so there are no dust impacts anticipated. No alcohol will be consumed onsite, since this application is for a package store and not a place where alcohol is served; therefore, there are no noise or odor impacts anticipated beyond the existing context of the shopping center adjacent to Muldoon Road and the highway.

The Business Center will be open Monday through Saturday, 7:00am to 6:00pm, and closed on Sundays. The liquor store portion will be open from 10:00am to 6:00pm, in compliance with permitted times to operate per Anchorage code. Similar to the other two Costco locations in Anchorage, the portion where alcohol is sold will be closed to customers during open store hours when alcohol is not being sold.

7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible.

The proposed Costco Business Center will be located in an existing building that was previously a Sam's Club with very similar operations. There are no expected adverse impacts as a result of the new Costco Business Center.

No entertainment, adult entertainment, indecent material, happy hours, games or contests involving alcoholic beverages, or solicitation or encouragement of alcoholic beverage consumption are proposed for this site. To maintain public safety and order and prevent unlawful conduct, there are precautions proposed for both inside and outside the facility.

The store is open to members only. Membership cards are checked at the door and scanned at check-out. The liquor sales inventory will be limited to roughly 50 items. This will be different from any liquor store in the area which sells hundreds of different items. Employees that handle

liquor sales will be specially trained in lawful liquor sales. The liquor area will be employee observed 100% of open hours, with all liquor purchases completed in the specified liquor area.

Outside the facility, there will be hourly walks by trained employees who will report any abnormal situations to senior management.

- 8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrians, bicycle and transit circulation, and safety for all modes.**

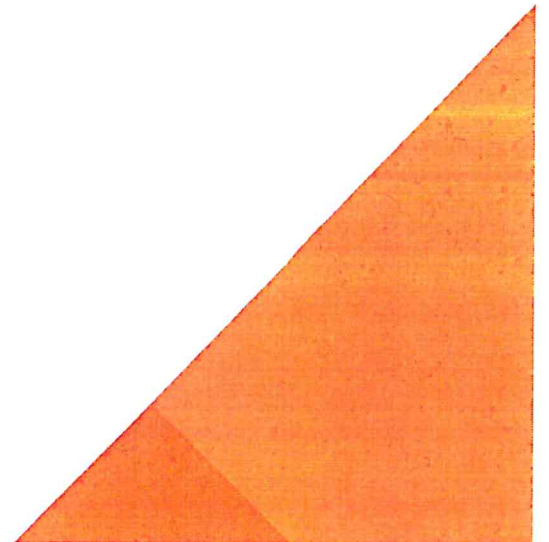
Fragment Lot 17B-4, Tract A, Gateway Subdivision is bounded by Muldoon Road to the north and east, the Glenn Highway to the south, and other fragment lots within the Tikahtnu Commons shopping center to the west. According to the OSHP, the Glenn Highway is classified as a freeway and Muldoon Road is classified as a major arterial. Two driveways for the shopping center are signalized at the intersection with Muldoon. Given the location at the intersection of these major roads and Tikahtnu Commons' designation as a Regional Commercial Center, this is an appropriate location for the Costco Business Center, including the package liquor store.

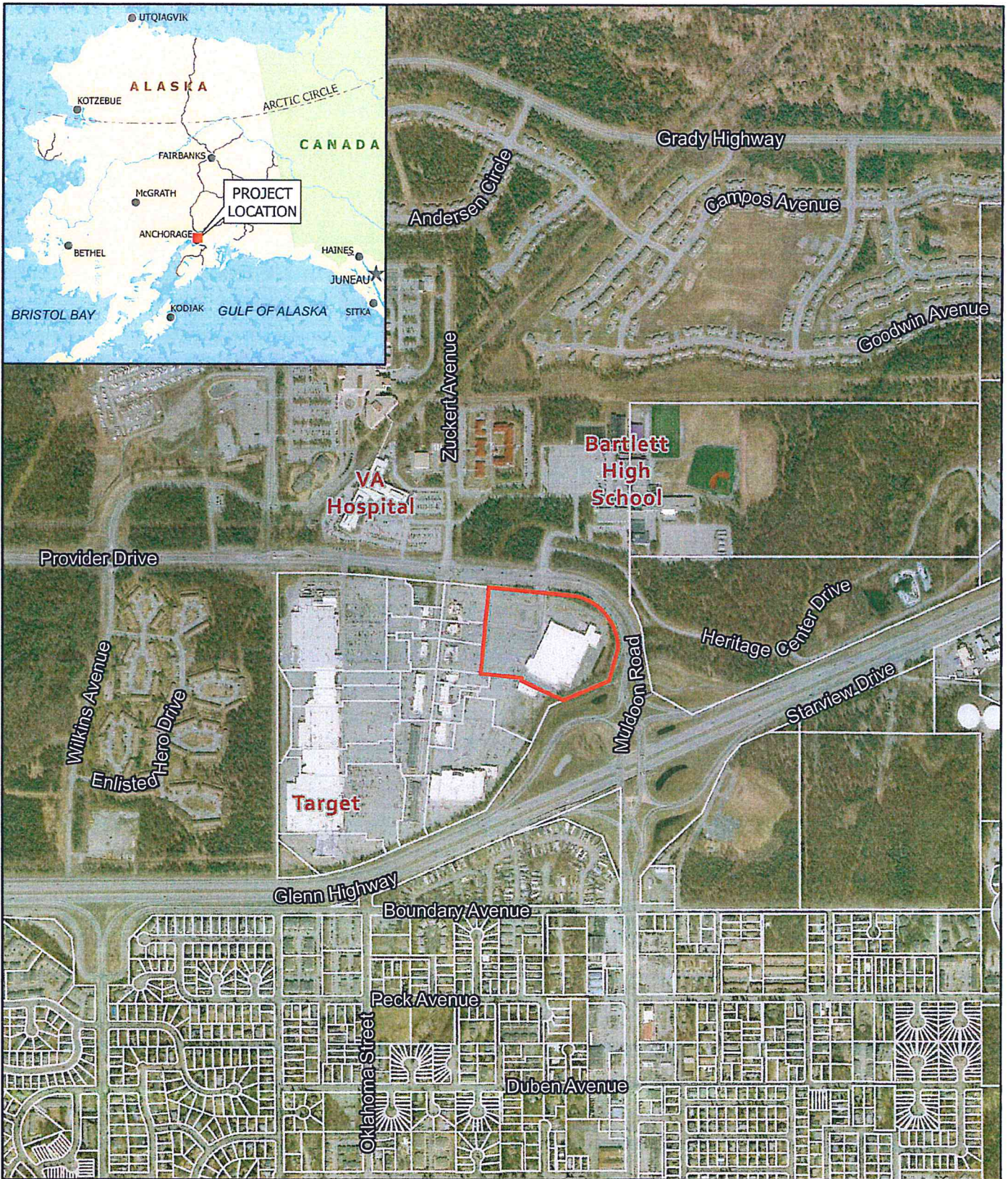
Due to the overall parking provided at the shopping center, there are no anticipated off-site parking impacts. The shopping center is served by People Mover transit route 25, which connects to the Muldoon Transit Hub, Tudor, C Street, and downtown. There are also non-motorized pathways and/or sidewalks along the Glenn Highway and Muldoon Road, which connect with the sidewalks within the Tikahtnu Commons development.

- 9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.**

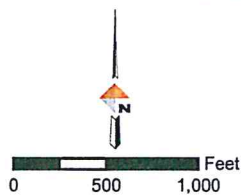
The Costco Business Center building is currently served by municipal water, sewer, and storm drain infrastructure. Police and fire protection are provided by the Municipality of Anchorage. There are no additional infrastructure requirements for any public facilities or services.

APPENDIX 1: MAPS AND LAND USE INFORMATION





- Subject Property Boundary
- MOA Parcel Boundary



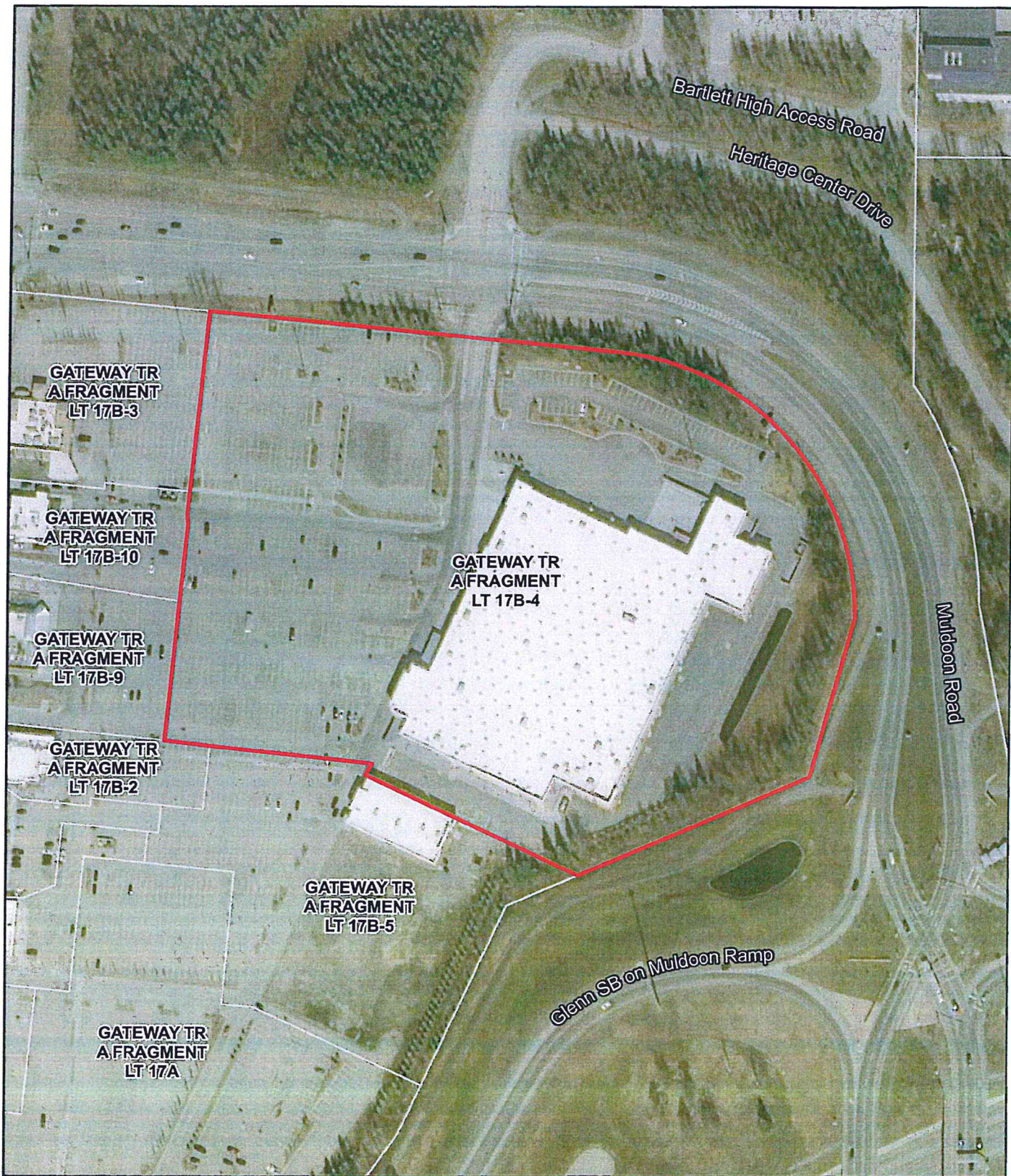
Location Vicinity Map

Costco Anchorage Business Center

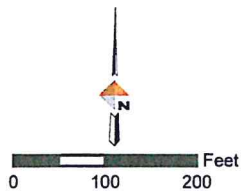


Date: October 2022

Figure 1



- Subject Property Boundary
- MOA Parcel Boundary



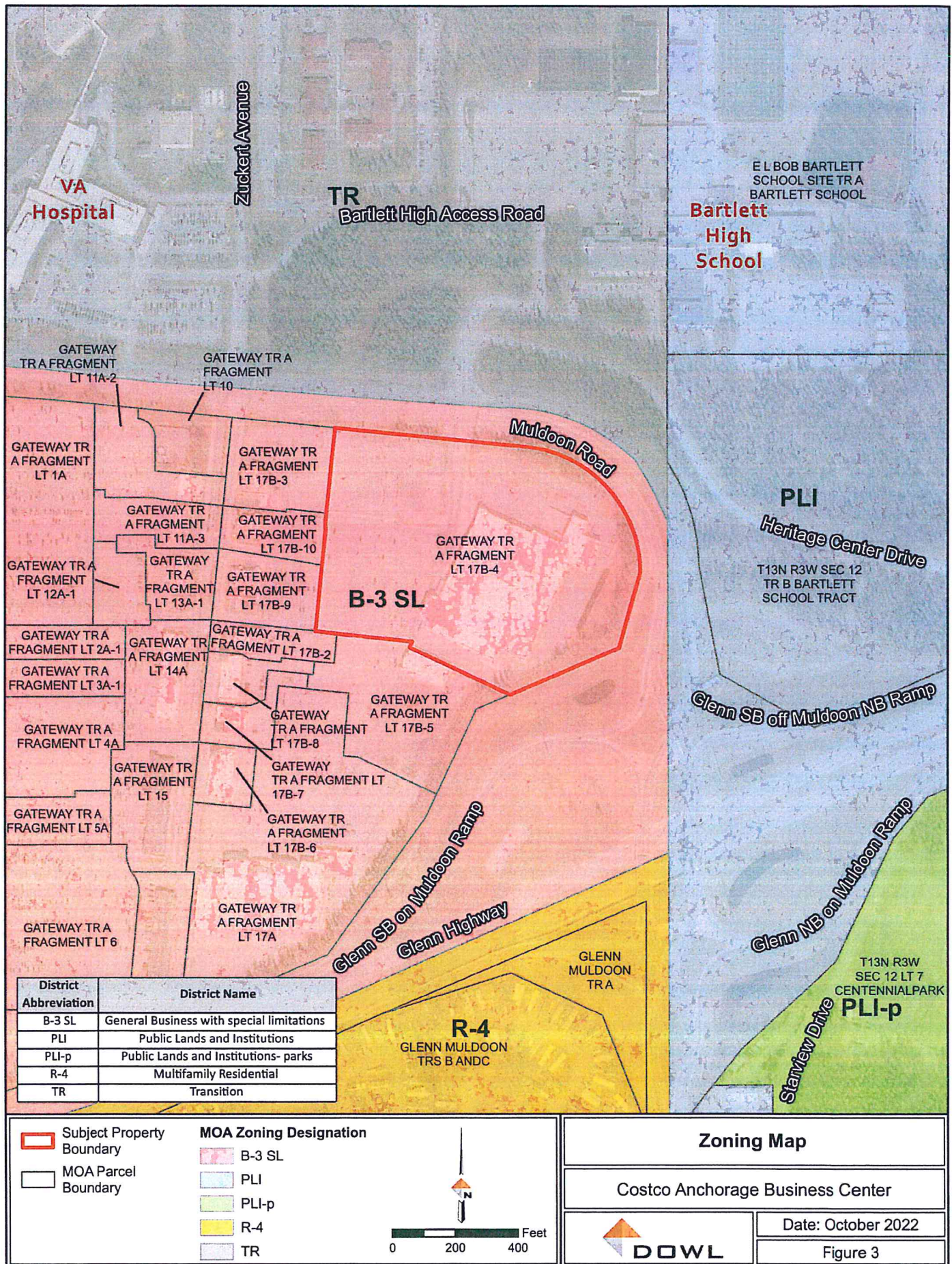
Site Map

Costco Anchorage Business Center



Date: October 2022

Figure 2



Submitted by: Chair of the Assembly at
the Request of the Mayor
Prepared by: Planning Department
For reading: March 27, 2007

CLERK'S OFFICE
AMENDED AND APPROVED
Date: 4-17-07 Anchorage, Alaska
AO 2007-54

AN ORDINANCE AMENDING THE ZONING MAP AND PROVIDING FOR THE
REZONING OF APPROXIMATELY 95.2 ACRES, FROM T (TRANSITION)
DISTRICT TO B-3 SL (GENERAL BUSINESS DISTRICT WITH SPECIAL
LIMITATIONS) FOR ELMENDORF "95" SUBDIVISION, TRACTS A AND B;
GENERALLY LOCATED AT THE NORTHWEST CORNER OF NORTH
MULDOON ROAD AND THE GLENN HIGHWAY.

(Northeast Community Council) (Planning and Zoning Commission Case 2006-154)

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1. The zoning map shall be amended by designating the following described
property as B-3 SL (General Business District with Special Limitations) zone:

Elmendorf "95" Subdivision, Tract A and Tract B, containing approximately 95.2 acres as
shown on Exhibit "A."

Section 2. This zoning map amendment is subject to the following special limitations:

~~1. Development of the petition site is limited to the site plan (Planning Case 2006-155) approved by the Planning and Zoning Commission, or as subsequently amended.~~

1[2]. Maximum height of any structure shall be no more than 200 ~~75~~ feet unless otherwise approved as a conditional use. Under no circumstances shall a structure exceed 200 feet in height.

2[3]. No building structures shall be constructed within 60 feet of the west property line.

3[4]. The uses anticipated within the Accident Potential Zone (APZ) shall fully comply with the allowed uses outlined in Patent No. 50-92-0050. These facilities include: Utility Structures (including, but not limited to, vaults, conduits, transformers, switches, power poles, conductors, subsurface gas lines, communication facilities, storm drain lines, storm drain retention/detention facilities, sewer and water facilities); parking lot; loading areas and facilities; mercantile and/or retail building structures, and the storage/stocking areas within proposed mercantile and/or retail building structures. All of the building structures are considered low-density mercantile and/or retail establishments, and are all in conformance with our understanding of the specific use guidelines of the APZ contained in the patent for this tract. The uses located within the APZ shall conform to the limitations and

restrictions currently outlined in the patent, unless formerly released by the military and the Bureau of Land Management.

Section 3. The special limitations set forth in this ordinance prevail over any inconsistent provisions of Title 21 of the Anchorage Municipal Code, unless specifically provided otherwise. All provisions of Title 21 of the Anchorage Municipal Code not specifically affected by a special limitation set forth in this ordinance, shall apply in the same manner as if the district classification applied by the ordinance was not subject to special limitations.

Section 4. This ordinance shall become effective within 10 days after the Director of the Planning Department has received the written consent of the owners of the property within the area described in Section 1 above to the special limitations contained herein. The rezone approval contained herein shall automatically expire, and be null and void if the written consent is not received within 120 days after the date on which this ordinance is passed and approved. The Director of the Planning Department shall change the zoning map accordingly.

Section 5. The improvements required in the final approved Traffic Impact Analysis (TIA) for Planning and Zoning Case 2006-155 shall be installed prior to issuance of any Conditional or Final Certificate of Occupancy for any development on this site. The improvements shall include:

- a. Reconstruct Oilwell Road to a five lane facility from the Glenn Highway to the Elmendorf Gate, including all turn lanes as shown in the TIA.**
- b. Construct the new intersection of Oilwell Road/Bartlett High/ANHC/East Mall access intersection to include signalization and connection to the signal interconnection system.**
- c. Relocate the interior road to connect Bartlett High/ANHC to the new Oilwell Road/Bartlett High/ANHC signal location as shown in Figure 4-1 of the TIA.**

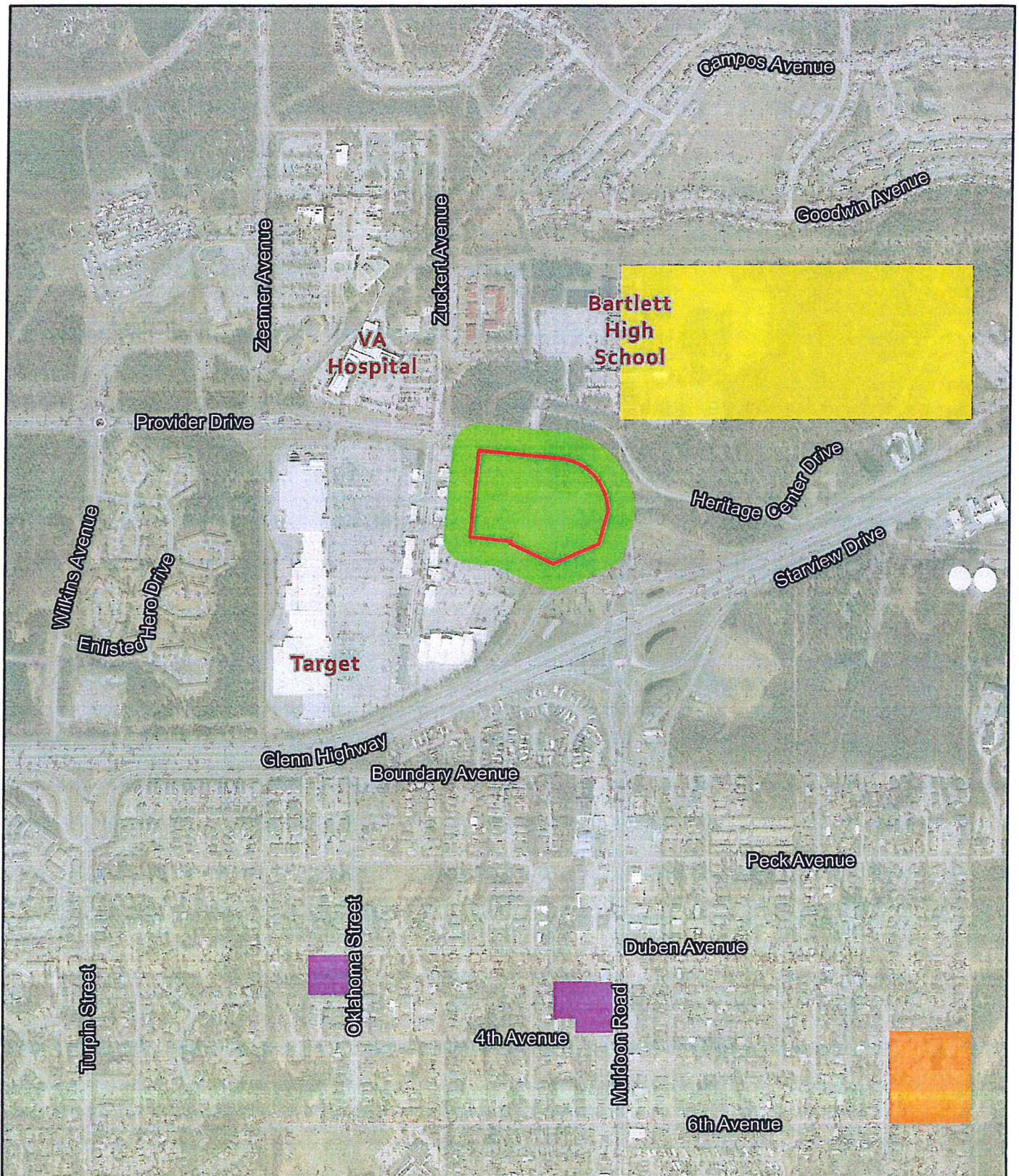
When the site development reaches 810,000 square feet of retail structure development, the TIA shall be addressed to determine the need to enter into an agreement with the State of Alaska Department of Transportation and Public Facilities for further improvements.

PASSED AND APPROVED by the Anchorage Assembly this 17th
day of April 2007.

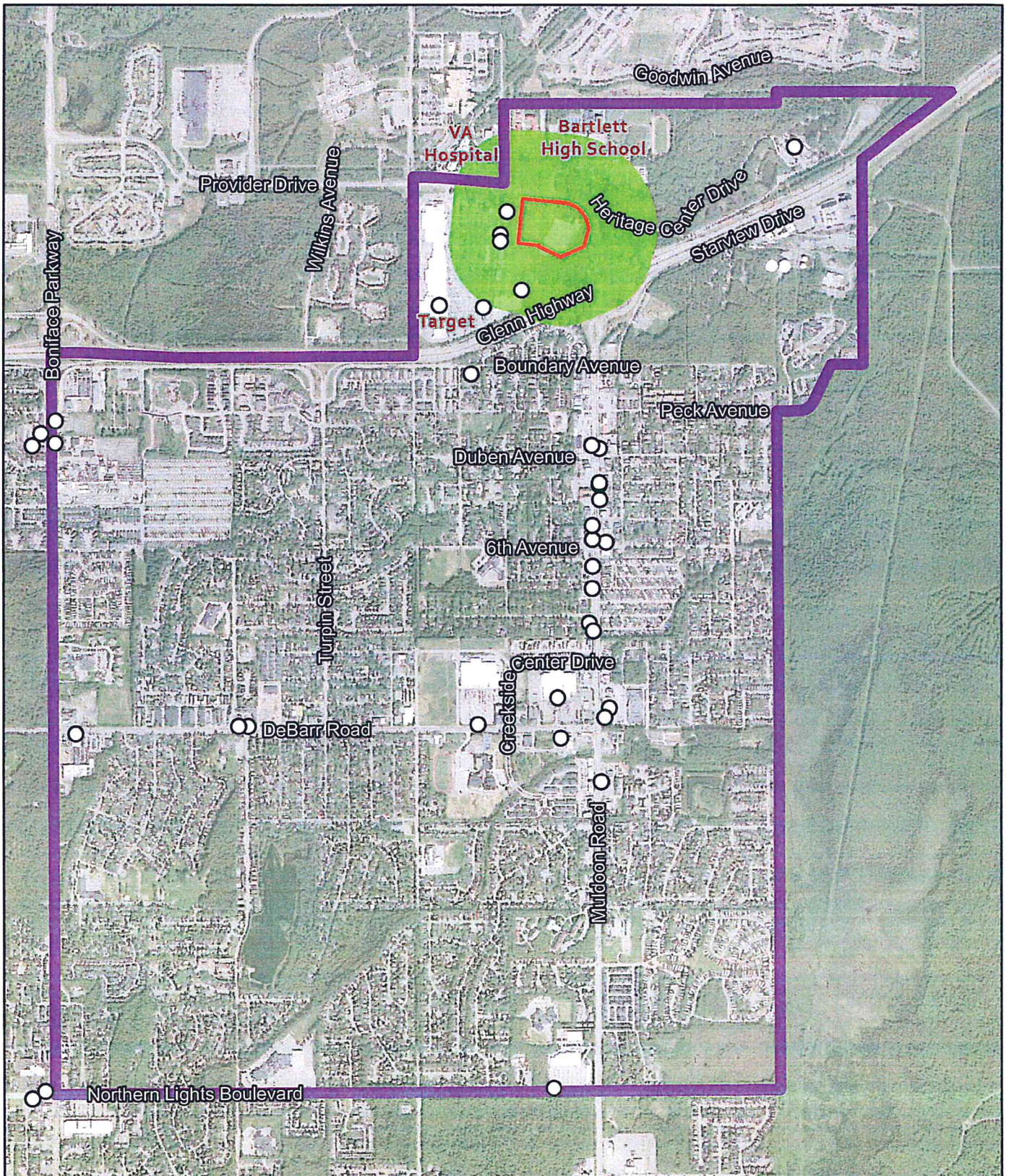
ATTEST:




Chair

Bruce S. Jenson
Municipal Clerk

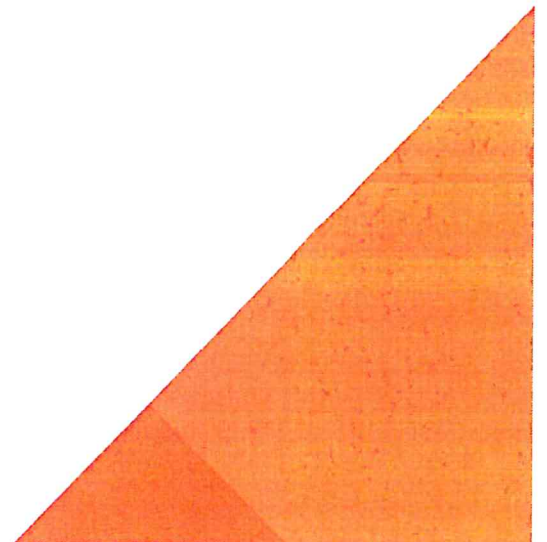


<ul style="list-style-type: none"> 200ft Buffer Subject Property Boundary 	<ul style="list-style-type: none"> Child Care Facility Religious Assembly School 		Protected Land Uses	
			Costco Anchorage Business Center	
				Date: July 2023 Figure 4



<ul style="list-style-type: none"> ○ Current MOA Liquor Licenses ■ 1,000ft Buffer ■ Northeast Community Council ■ Subject Property Boundary <div style="text-align: center;">   </div>	<div style="text-align: center;"> Liquor Licenses in Northeast Community Council </div> <div style="text-align: center;"> Costco Anchorage Business Center </div> <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  </div> <div style="text-align: center;"> Date: July 2023 Figure 5 </div> </div>	
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APPENDIX 2:
SITE AND BUILDING PLANS
AND PHOTOS



Costco Business Center at Tikahtnu Commons

Special Land Use Permit – Alcohol Package Store – Site and Address Photos



Photos 1 and 2: 1074 North Muldoon Road, the site of the Costco Business Center at Tikahtnu Commons, which is proposed to include a package liquor store. At left of Photo 2 is the driveway that leads to Muldoon Road (beyond the trees visible in the photo).

Costco Business Center at Tikahtnu Commons

Special Land Use Permit – Alcohol Package Store – Site and Address Photos



Photos 3 and 4: Two views of the proposed Costco Business Center from Muldoon Road to the north, facing south. Photo 3 is to the east of the signalized entrance to the shopping center at Golden Bear Drive. Photo 4 was taken from a point to the west of the driveway.

Costco Business Center at Tikahtnu Commons

Special Land Use Permit – Alcohol Package Store – Site and Address Photos



Photos 5 and 6: Two views of the proposed Costco Business Center from Muldoon Road to the northeast and east.

The Administrative Review of a Minor Amendment to an approved Major Site Plan Review is APPROVED subject to:

FM
OK
5-30-23

FM
OK
5-30-23

1. Resolve with Planning, compliance with the required material boards for building elevations.
2. Resolve with Planning, bringing characteristics of use into conformance, as required by AMC 21.13.060C. *See attached*
3. The future refueling station will need to meet current queuing requirements of AMC Title 21 and be oriented in a way that does not impact main access road signalized intersection ingress and egress.
4. Resolve with the Traffic Engineering Department:
See attached Sign-off from Traffic
 - a. The accessible parking spaces on Sheet C3.3 do not appear to meet ADA and Title 21 requirements for accessible aisle locations and orientation. The design appears to be a mix of parallel and perpendicular spaces in two of the perpendicular parking rows. Parallel space dimensions need to meet length requirements of AMC 21.07.090 Table 21.07-7. There are several spaces missing aisles.
 - b. Provide dimensions on Sheet C3.4 for circulation aisles from parking spaces to existing landscape islands to ensure that there is 24 feet for two-way circulation.

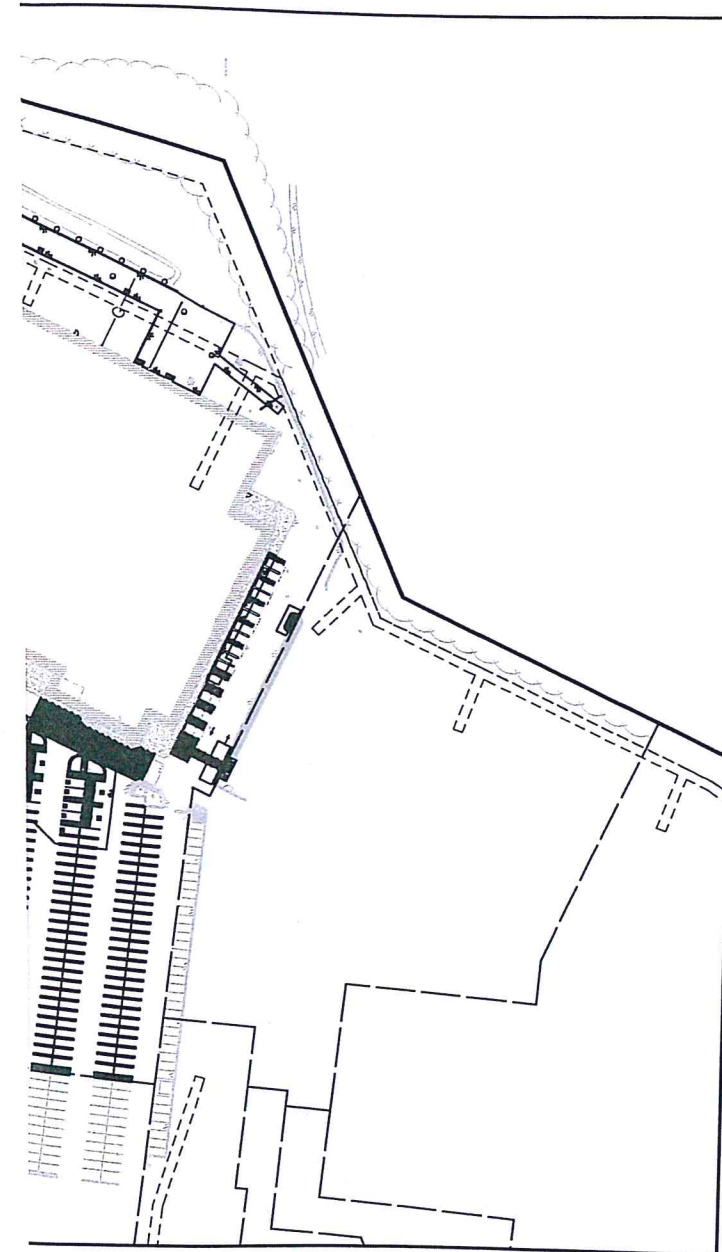
Sincerely,



Craig Lyon
Planning Director

FCO
CENTER

ON ROAD
ASKA 99504



DRAWING SHEET INDEX

C1.0 - COVER SHEET
C1.1 - NOTES, ABBREVIATIONS, AND LEGEND
C2.0 - EXISTING SITE CONDITIONS
C3.0 - OVERALL SITE MAP
C3.1 - SITE PLAN
C3.2 - SITE PLAN
C3.3 - SITE PLAN
C3.4 - SITE PLAN
C3.5 - SITE PLAN
C3.6 - SITE PLAN DETAILS
C3.7 - SITE PLAN DETAILS
C4.0 - OVERALL GRADING AND DRAINAGE PLAN
C4.1 - GRADING AND DRAINAGE PLAN
C4.2 - GRADING AND DRAINAGE PLAN
C4.3 - GRADING AND DRAINAGE PLAN
C4.4 - GRADING AND DRAINAGE PLAN
C4.5 - GRADING AND DRAINAGE PLAN
C4.6 - ADA GRADING DETAIL
C4.7 - STORM DRAIN PROFILES
C4.8 - STORM DRAIN DETAILS
C4.9 - SITE SECTIONS
L1.0 - LANDSCAPING PLAN
L1.1 - LANDSCAPING PLAN
L1.2 - LANDSCAPING PLAN
L1.3 - LANDSCAPING PLAN
L1.4 - LANDSCAPING PLAN

CONTACTS

OWNER/DEVELOPER (APPLICANT):
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027
TEL: (425) 313-6052

ARCHITECT:
MG2 ARCHITECTURE
1101 SECOND AVENUE, STE 100
SEATTLE, WA 98101
TEL: (206) 962-6500

CIVIL ENGINEER/SURVEYOR:
DOWL ENGINEERS
5015 BUSINESS PARK BLVD. SUITE 4000
ANCHORAGE, AK 99503
TEL: (907) 562-2000

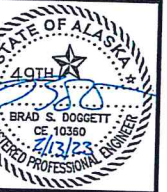
APPROVED

DATE 5-30-23

BY *Craig Lyon*

MUNICIPALITY OF ANCHORAGE
PLANNING DEPARTMENT

REV	DATE	DESCRIPTION	BY	MAC
1	05/28/23	PR-01		



DOWL
AECLB48
5015 Business Park Blvd, Suite 4000
Anchorage, Alaska 99503
907-562-2000
WWW.DOWL.COM

COSTCO
ANCHORAGE BUSINESS CENTER
COVER SHEET
1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

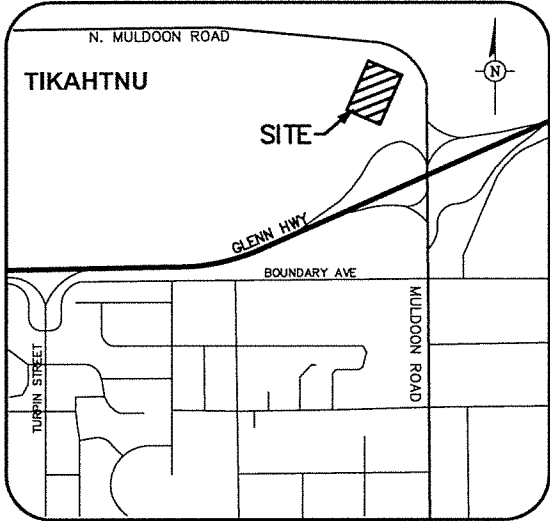
PROJECT	63563.01
DATE	4/11/2023
SHEET	
C1.0	

COSTCO BUSINESS CENTER

1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

VICINITY MAP

1"=2000'



LEGAL DESCRIPTION

GATEWAY TRACT A
FRAGMENT LOT 17B-2, 17B-4, 17B-5, 17B-9, AND
17B-10

TAX PARCEL NUMBER

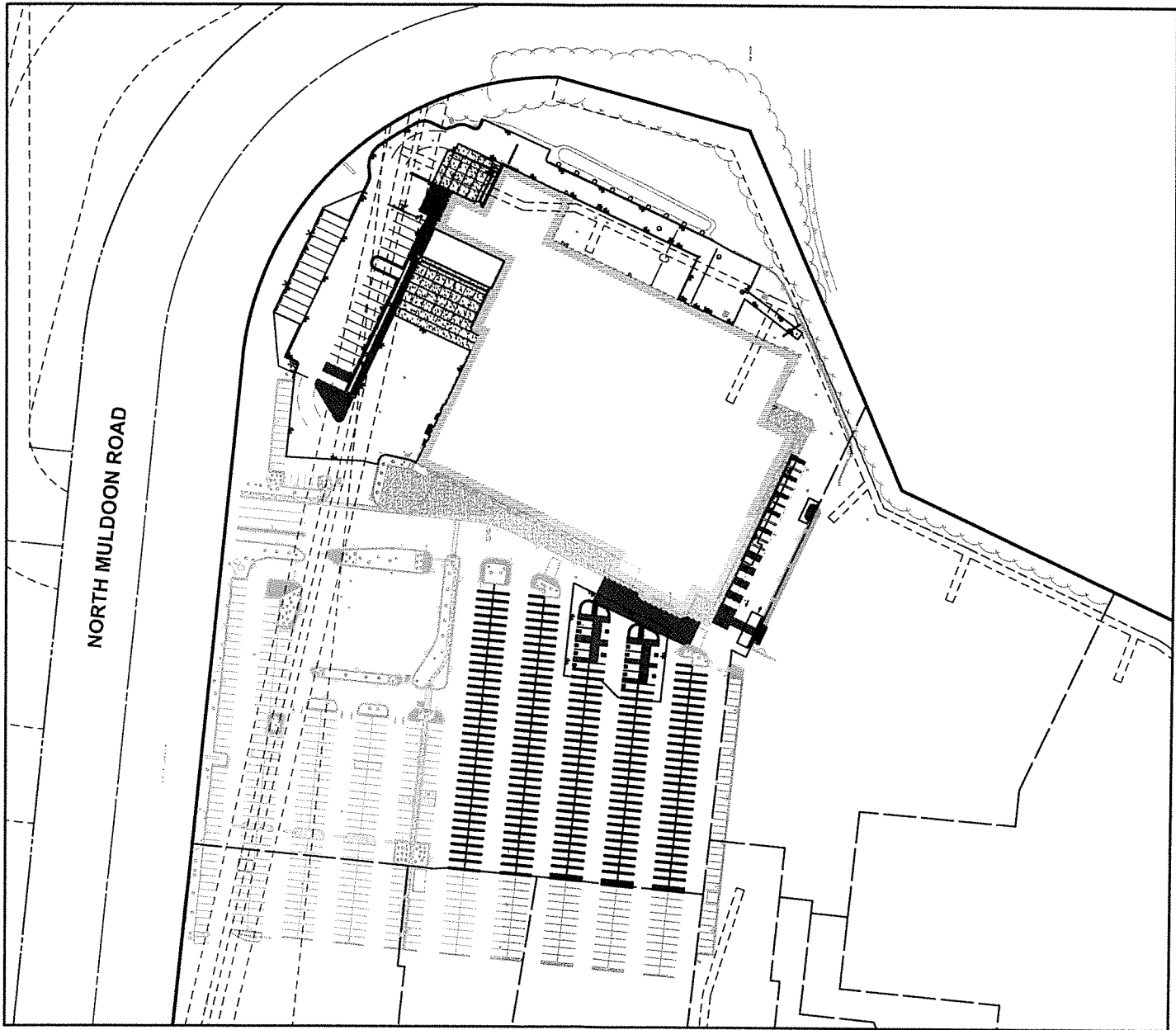
LOT 17B-2 00644135000
LOT 17B-4 00644140000
LOT 17B-5 00644141000
LOT 17B-9 00644145000
LOT 17B-10 00644146000

VERTICAL CONTROL

ELEVATIONS ARE NAVD-88 GEOID12B ORTHOMETRIC
HEIGHTS IN U.S. SURVEY FEET AND ARE BASED ON
AN OPUS SOLUTION AT POINT 1. THE BASIS OF
ELEVATIONS IS LOCAL SURVEY CONTROL POINT 1. A
2" ALUMINUM CAP STAMPED "TCC-1", HAVING AN
OPUS DERIVED GEOID12B ORTHOMETRIC ELEVATION
OF 239.19 FEET.

HORIZONTAL CONTROL

COORDINATES ARE BASED ON AN ASSUMED DATUM
IN US FEET. BEARINGS ARE BASED ON THE PLAT OF
GATEWAY SUBDIVISION TRACT A FILED AS PLAT NO.
2012-26 IN THE ANCHORAGE RECORDING DISTRICT,
THIRD JUDICIAL DISTRICT, STATE OF ALASKA.



DRAWING SHEET INDEX

- C1.0 - COVER SHEET
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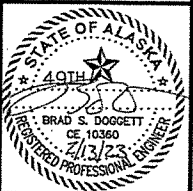
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5015 BUSINESS PARK BLVD. SUITE 4000
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TEL: (907) 562-2000

REV	DATE	DESCRIPTION	BY	MAG
1	03/28/23	PR-01		



DOWL
AEC1848
WWW.DOWL.COM
5015 Business Park Blvd, Suite 4000
Anchorage, Alaska 99503
907-562-2000

COSTCO
ANCHORAGE BUSINESS CENTER
COVER SHEET
1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

PROJECT	63563.01
DATE	4/11/2023

© DOWL 2023
SHEET

C1.0

J:\22\63563-01\65CAD\Civil\SA20-CS-CV-63563.dwg PLOT DATE 2023-4-11 14:14 SAVED DATE 2023-04-10 11:34 USER: mehiorallo

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINE
		CENTERLINE
		FRAG LOT LINE
		EASEMENT LINE
		CURB AND GUTTER
		PORTLAND CEMENT CONCRETE
		BUILDING
		ASPHALT PAVEMENT
		CHAIN LINK FENCE
		OVERHEAD ELECTRIC LINE
		UNDERGROUND ELECTRIC LINE
		TRAFFIC MARKING
		STORM DRAIN
		WATER LINE
		SANITARY SEWER
		STORM DRAIN STRUCTURE
		WATER VALVE
		FIRE HYDRANT
		SANITARY SEWER STRUCTURE
		LIGHT POLE
		TRANSFORMER
		GAS LINE
		GAS METER
		FIBER OPTIC LINE
		BOLLARD
		SIGN
		GRADE
		MAJOR CONTOUR
		MINOR CONTOUR
		VEGETATION
		GRADE BREAK
		SWALE
		SURVEY MONUMENT
		CONTROL POINT
		GUARD RAIL

ABBREVIATIONS

AC	-	ASPHALT CONCRETE PAVEMENT	LC	-	LEVELING COURSE
ADA	-	AMERICANS WITH DISABILITIES ACT	LF	-	LINEAR FEET
ARFS	-	AS REQUIRED FOR SAFETY	LP	-	LOW POINT
ASTM	-	AMERICAN SOCIETY FOR TESTING AND MATERIALS BUILDING	MASS	-	MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS
AWWU	-	ANCHORAGE WATER AND WASTEWATER UTILITY	MAX	-	MAXIMUM
BOP	-	BOTTOM OF PIPE	ME	-	MATCH EXISTING
BW	-	BOTTOM OF WALL	MH	-	MANHOLE
CB	-	CATCH BASIN	ML&P	-	MUNICIPAL LIGHTING & POWER
CBMH	-	CATCH BASIN MANHOLE	MIN	-	MINIMUM
CIP	-	CAST IRON PIPE	NFS	-	NON FROST SUCEPTIBLE
C/CL	-	CENTERLINE	MOA	-	MUNICIPALITY OF ANCHORAGE
CMU	-	CONCRETE MASONRY UNIT	NO	-	NUMBER
CO	-	CLEAN OUT	NOI	-	NOTICE OF INTENT
CDNC	-	CONCRETE	NOT	-	NOTICE OF TERMINATION
CMP	-	CORRUGATED METAL PIPE	NTS	-	NOT TO SCALE
CPEP	-	CORRUGATED POLYETHYLENE PIPE	NGS	-	NATIONAL GEODETIC SURVEY
CJ	-	COPPER	OC	-	ON CENTER
DIA	-	DIAMETER	OD	-	OUTSIDE DIAMETER
DIP	-	DUCTILE IRON PIPE	OH	-	OVERHEAD
DTP	-	DEDICATED THIS PLAT	PCC	-	PORTLAND CEMENT CONCRETE
EA	-	EACH	R	-	PROPERTY LINE
EL	-	ELECTRIC	PSI	-	POUNDS PER SQUARE INCH
ESMT	-	EASEMENT	R	-	RADIUS
ELEV	-	ELEVATION	ROW	-	RIGHT OF WAY
EP	-	EDGE OF PAVEMENT	S	-	SEWER
FFE	-	FINISHED FLOOR ELEVATION	SD	-	STORM DRAIN
FL	-	FLOW LINE	SDMH	-	STORM DRAIN MANHOLE
FLSP	-	FRAGMENT LOT SITE PLAN	SF	-	SQUARE FOOT
FT	-	FEET	SS	-	SANITARY SEWER
G	-	GAS	STA	-	STATION
GALV	-	GALVANIZED	STD	-	STANDARD
GB	-	GRADE BREAK	SW	-	SIDEWALK
GB FL	-	GRADE BREAK FLOW LINE	T	-	TELEPHONE
GV	-	GATE VALVE	T&E	-	TELEPHONE AND ELECTRIC
H	-	HORIZONTAL	TB	-	TEST BORING
HP	-	HIGH POINT	TC	-	TOP OF CURB
IBC	-	INTERNATIONAL BUILDING CODE	TD	-	TRENCH DRAIN
INV	-	INVERT	TOP	-	TOP OF PIPE
			TB	-	TEST BORING
			TC	-	TOP BACK OF CURB
			TP	-	TEST PIT
			TS	-	TOP OF STEP
			TW	-	TOP OF WALL
			TYP	-	TYPICAL
			UG	-	UNDERGROUND
			V	-	VERTICAL
			VB	-	VALVE BOX
			W	-	WATER

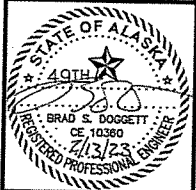
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS) AS CURRENTLY AMENDED, AND THE PROJECT SPECIAL PROVISIONS, UNLESS OTHERWISE NOTED.
- EXISTING GROUND CONTOURS BASED ON DOWL TOPOGRAPHIC SURVEY PERFORMED 2022, CONTRACTOR SHALL VERIFY SITE CONDITIONS.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATIONS BY OBTAINING UTILITY LOCATES PRIOR TO BEGINNING CONSTRUCTION. EXERCISE CAUTION DURING EXCAVATION.
- VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATIONS AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILT DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL MUNICIPALITY OF ANCHORAGE REGULATIONS FOR NOISE, HOURS OF OPERATIONS, AND DUST CONTROL.
- RESTORE ALL DISTURBED PROPERTY OUTSIDE OF WORK LIMITS TO ORIGINAL CONDITIONS.
- DEWATERING MAY BE REQUIRED FOR ALL EXCAVATIONS THAT PENETRATE THE GROUND WATER SURFACE. WATER RESULTING FROM THE CONTRACTOR'S DEWATERING EFFORTS MAY NOT BE PUMPED OR OTHERWISE DIVERTED INTO EXISTING STORM DRAINS UNLESS PERMITS ARE OBTAINED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, THOSE REQUIRED BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE ALLOWED TO DIVERT WATER FROM THE EXCAVATION ONTO ROADWAYS. CONTRACTOR SHALL PROVIDE A DISPOSAL SITE FOR EXCESS WATER AND SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL PROVIDE COPIES OF NECESSARY PERMITS AND APPROVALS TO THE MOA RIGHT OF WAY PERMIT OFFICE.
- THE CONTRACTOR SHALL PROVIDE CONTROLS TO LIMIT SEDIMENT DISCHARGE FROM THE SITE DURING CONSTRUCTION DUE TO SOIL EROSION. THESE CONTROLS SHALL INCLUDE REGULAR SWEEPING OF STREETS ADJACENT TO THE SITE THAT ACCUMULATE SITE SOILS. ADDITIONAL CONTROLS MAY BE REQUIRED IF THESE MEASURES PROVE INADEQUATE. THE CONTRACTOR SHALL ALSO PREPARE AND IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING FILING AN NOI BEFORE CONSTRUCTION AND AN NOT AFTER SITE STABILIZATION.
- VERIFY INVERTS AND LOCATIONS OF ALL UTILITY CONNECTION POINTS PRIOR TO INSTALLING PIPE. REPORT DISCREPANCIES FROM PLANS IMMEDIATELY TO OWNER'S REPRESENTATIVE.
- ADJUST ALL EXISTING MANHOLES AND VALVE BOXES, WITHIN THE LIMITS OF CONSTRUCTION, TO 1/4" BELOW FINISH GRADE.
- ELEVATIONS SHOWN ARE TO PIPE INVERT, FLOW LINE, OR FINISH PAVEMENT SURFACE, UNLESS NOTED OTHERWISE.
- HORIZONTAL DISTANCES FOR STORM DRAINS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE, OR CENTER OF CATCH BASIN. ELEVATIONS ARE TO INVERT OF PIPE.
- THE AUTOCAD FILE FOR THIS SITE PLAN WILL BE PROVIDED TO THE CONSTRUCTION SURVEYOR FOR USE IN STAKING THE LOCATION OF THE SITE IMPROVEMENTS. A LIST OF COORDINATES IS PROVIDED IN THIS PLAN SET FOR THE SURVEYOR TO CHECK AGAINST THE COORDINATES THEY OBTAIN FROM THE AUTOCAD FILE. THE SURVEYOR SHALL INFORM THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- RIGHT OF WAY PERMIT REQUIRED FOR ALL WORK IN MUNICIPAL AND STATE RIGHTS OF WAY, AND PUBLIC USE, GENERIC UTILITY, AND STORM DRAINAGE EASEMENTS. TYPES OF WORK INCLUDE, BUT ARE NOT LIMITED TO WATER AND SEWER SERVICE CONNECTIONS, NEW DRIVEWAYS, DRAINAGE IMPROVEMENTS, AND LANDSCAPE IMPROVEMENTS.
- ALL CUTS OF EXISTING PAVEMENT OR CONCRETE SHALL BE SAW CUT UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO A LINE ONE (1) FOOT BEYOND THE PROPOSED IMPROVEMENTS DURING THE INITIAL EXCAVATION OPERATIONS. IN PREPARATION AND IMMEDIATELY PRIOR TO PAVING, CONTRACTOR SHALL SAW CUT AND REMOVE ADDITIONAL PAVEMENT ONE (1) FOOT BEYOND THE INITIAL CUT ONTO UNDISTURBED SUBBASE AS DIRECTED BY THE ENGINEER.
- ALL MANHOLE RIM ELEVATIONS SHALL BE ADJUSTED TO CONFORM TO FIELD CONDITIONS IN ACCORDANCE WITH MASS. ALL MANHOLE RIMS SHALL BE ORIENTED TO MATCH PAVEMENT GRADES AND BE SET IN A FULL BED OF MORTAR. ALL GRADE RINGS SHALL BE SET IN A FULL BED OF MORTAR.
- KEEP SITE FREE OF LITTER.
- WORK IN POTENTIALLY CONTAMINATED SOIL AREAS SHALL COMPLY WITH ADEC REQUIREMENTS. REFERENCE "REVISED DECISION DOCUMENT: CENTRAL PAVING - WEST DOWLING, CLEANUP COMPLETE - INSTITUTIONAL CONTROLS DETERMINATION" LETTER POSTED ON ADEC WEBSITE.
- CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF BUILDING ENTRANCES, EXIT PORCHES, PRECISE DIMENSIONS OF THE BUILDING, PIPE ENTRY AND EXIT POINTS, TRUCK DOCKS, ETC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING, BUT NOT LIMITED TOO, WATER, SANITARY SEWER, STORM DRAIN, SIGNING, POLES, ETC. AS REQUIRED TO CONSTRUCT IMPROVEMENTS AS SHOWN ON THESE DRAWINGS.

MASS DETAILS

DETAIL NO	DESCRIPTION
30-1	CURB AND GUTTER CROSS SECTIONS
30-10	ACCESSIBLE (TYPE 1A/2A) CURB AND GUTTER CROSS SECTIONS
30-13	CURB TYPE RETAINING WALL 2' TO 3'
40-2	TYPICAL RESURFACING DETAIL NON-GRAVEL SURFACES
55-1	CPEP STORM PIPE CONNECTION
55-4	STORM DRAIN MANHOLE TYPE I - PIPE TO 24"
55-7	STORM DRAIN MANHOLE COVER
55-10	MANHOLE HEIGHTS
55-18	MANHOLE RING ADJUSTMENT
55-19	CATCH BASIN INLET FRAME AND HOOD FOR TYPE 1 CURB AND GUTTER
55-20	CATCH BASIN INLET GRATES FOR TYPE 1 CURB AND GUTTER
55-22	PRECAST CATCH BASIN
55-23	STORM DRAIN CLEANOUT
60-12	FIRE HYDRANT GUARD POSTS
70-36	STEEL BOLLARD
70-39	GUARD RAIL DETAIL

REVISIONS		DESCRIPTION
REV	DATE	
1	03/28/23	PR-01



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NOTES, ABBREVIATIONS, AND LEGEND

PROJECT

63563.01

DATE

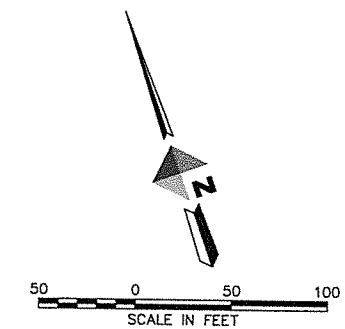
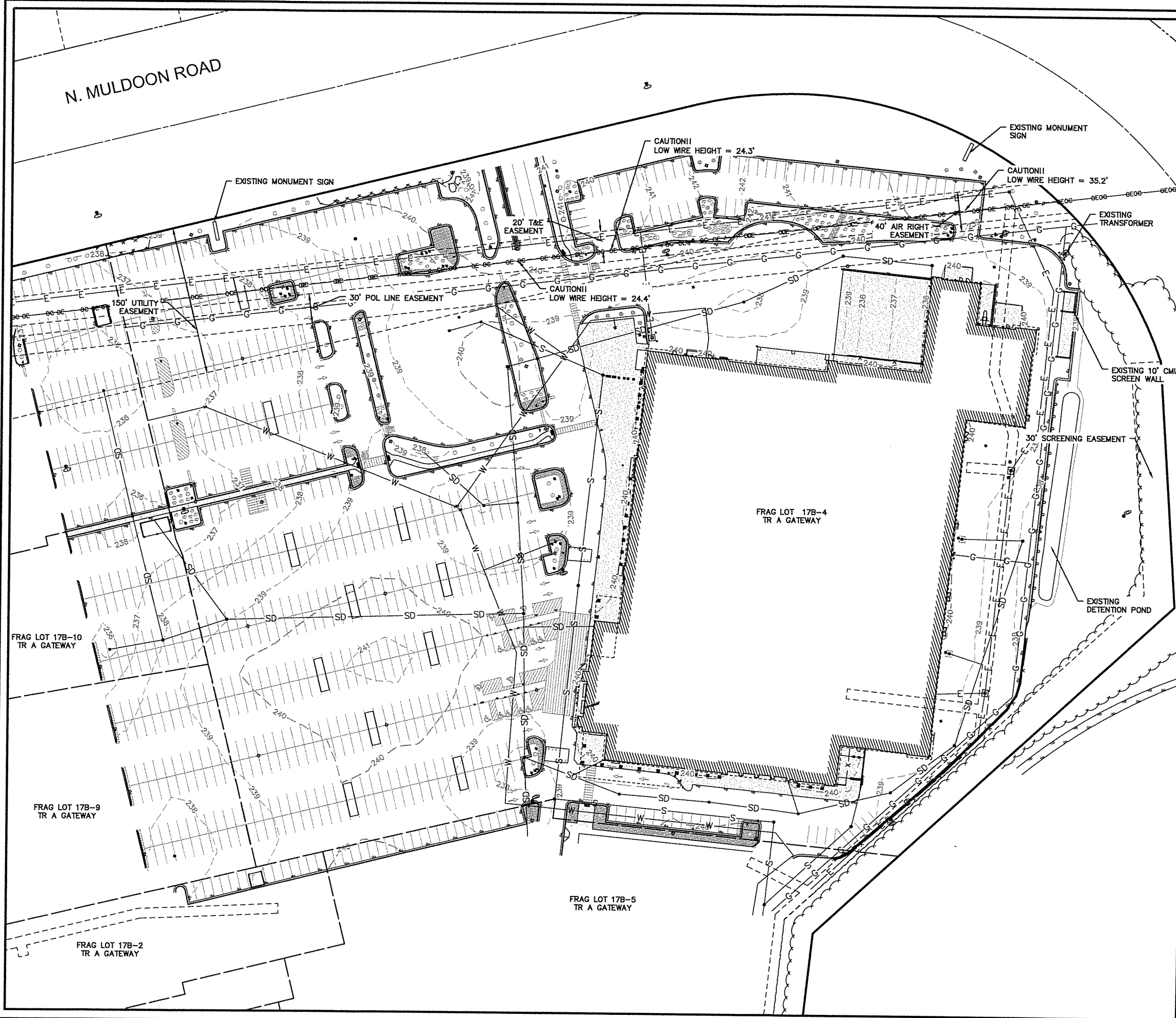
4/11/2023

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SHEET

C1.1

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REVISIONS	
REV	DATE DESCRIPTION
1	03/28/23 PR-01

BRAD S. DOGGETT
10360
2/3/23
REGISTERED PROFESSIONAL ENGINEER

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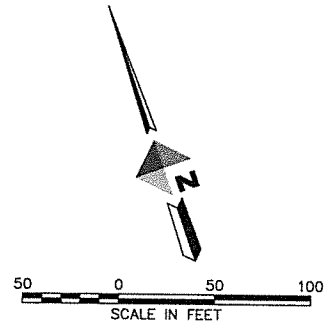
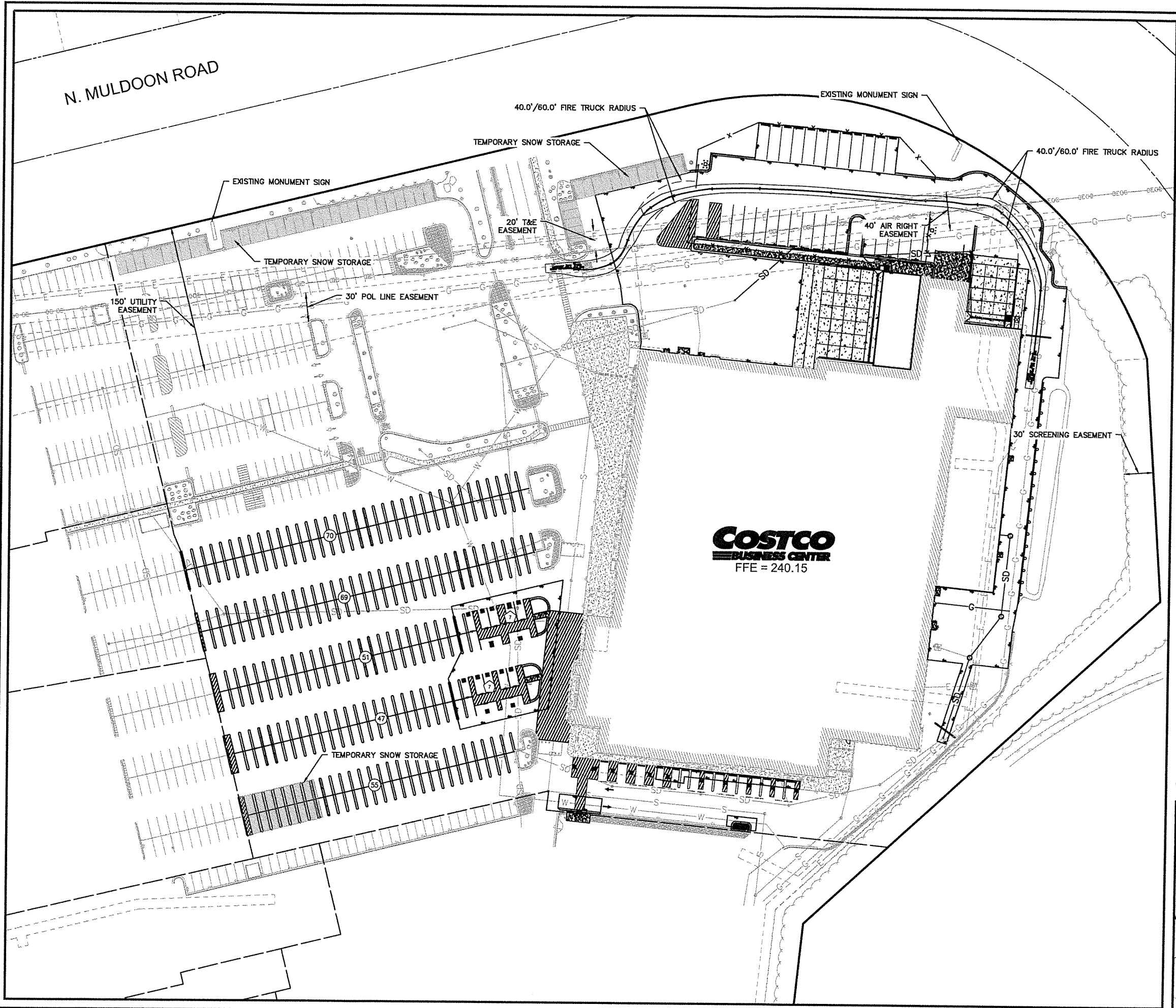
EXISTING SITE CONDITIONS

1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

PROJECT	63563.01
DATE	4/11/2023
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SHEET	

C2.0

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PARKING STALL SUMMARY

TOTAL STALLS REMOVED	= 360
INCLUDES:	
HANDICAPPED STALLS	= 14
SURFACE STALLS	= 346
TOTAL NEW STALLS PROVIDED	= 306
INCLUDES:	
HANDICAPPED STALLS	= 14
SURFACE STALLS	= 292

SITE PLAN LEGEND

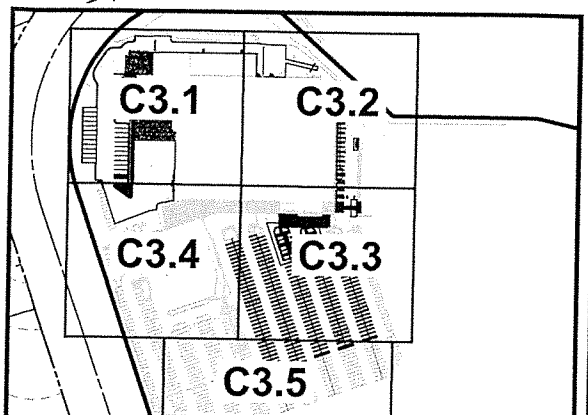
PROPOSED TEMPORARY SNOW STORAGE AREA

SNOW STORAGE SUMMARY

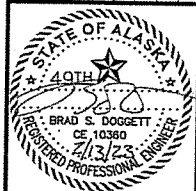
SNOW STORAGE LOST	= 11,919.60 SF
SNOW STORAGE PROVIDED	= 12,659.02 SF

KEY MAP

1" = 250'



REV	DATE	DESCRIPTION	BY	MAC
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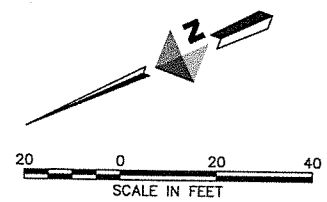
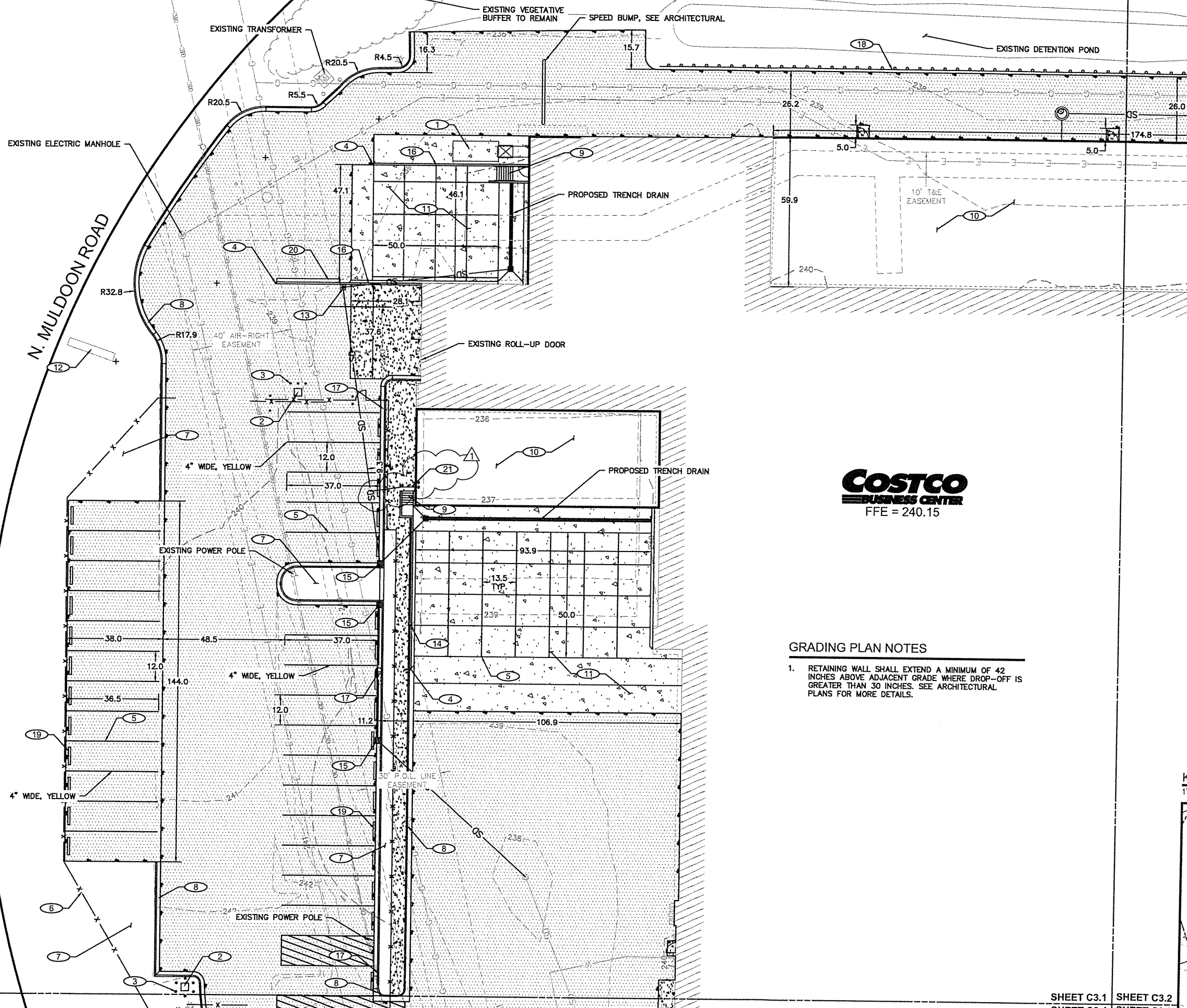
COSTCO ANCHORAGE BUSINESS CENTER OVERALL SITE MAP

1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

PROJECT	63563.01
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SHEET	

C3.0

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SITE PLAN KEY NOTES

- 1 TRASH COMPACTORS
SEE ARCHITECTURAL SHEETS
- 2 TRANSFORMER
SEE ARCHITECTURAL SHEETS
- 3 BOLLARDS AROUND TRANSFORMER
SEE DETAILS 1, SHEET C3.6
- 4 BOLLARD INSTALLATION, TYPICAL
SEE DETAIL 2, SHEET C3.6
- 5 PAINTED STRIPING
4" WIDE YELLOW
- 6 CHAIN LINK FENCE
- 7 LANDSCAPE AREA
- 8 TYPE 3 CURB & GUTTER
SEE DETAIL 4, SHEET C3.6
- 9 CONCRETE STAIRS
SEE ARCHITECTURAL SHEETS
- 10 BUILDING ADDITION AREA
- 11 INSTALL HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT
- 12 EXISTING MONUMENT SIGN
- 13 INSTALL STORM DRAIN CLEANOUT
SEE DETAIL 2, SHEET C4.8
- 14 RELOCATE EXISTING LIGHT POLE
SEE ELECTRICAL PLANS
- 15 INSTALL STORM DRAIN CATCH BASIN
SEE GRADING AND DRAINAGE SHEETS
- 16 CONSTRUCT CMU RETAINING WALL
SEE NOTE 1, THIS SHEET AND ARCHITECTURAL PLANS
- 17 TYPE 4 CURB & GUTTER
SEE DETAIL 4, SHEET C3.6
- 18 INSTALL STEEL POST GUARDRAIL
SEE DETAIL 5, SHEET C3.6
- 19 INSTALL CONCRETE WHEEL STOPS
SEE DETAIL 1, SHEET C3.7
- 20 CONSTRUCT CURB TYPE RETAINING WALL
SEE MASS DETAIL 30-13
- 21 ROOF DRAIN CONNECTION
SEE MECHANICAL PLANS

PAVEMENT KEY MAP LEGEND

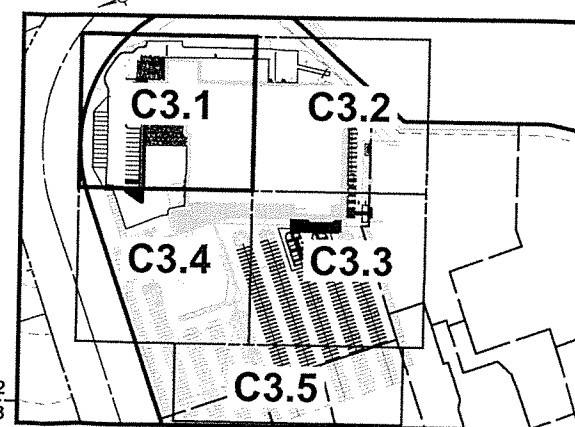
- REGULAR DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 1, SHEET C4.9
- HEAVY DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 2, SHEET C4.9
- REGULAR DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 3, SHEET C4.9
- HEAVY DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 4, SHEET C4.9

GRADING PLAN NOTES

- 1. RETAINING WALL SHALL EXTEND A MINIMUM OF 42 INCHES ABOVE ADJACENT GRADE WHERE DROP-OFF IS GREATER THAN 30 INCHES. SEE ARCHITECTURAL PLANS FOR MORE DETAILS.

KEY MAP

1" = 250'



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SITE PLAN

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ANCHORAGE, ALASKA 99504

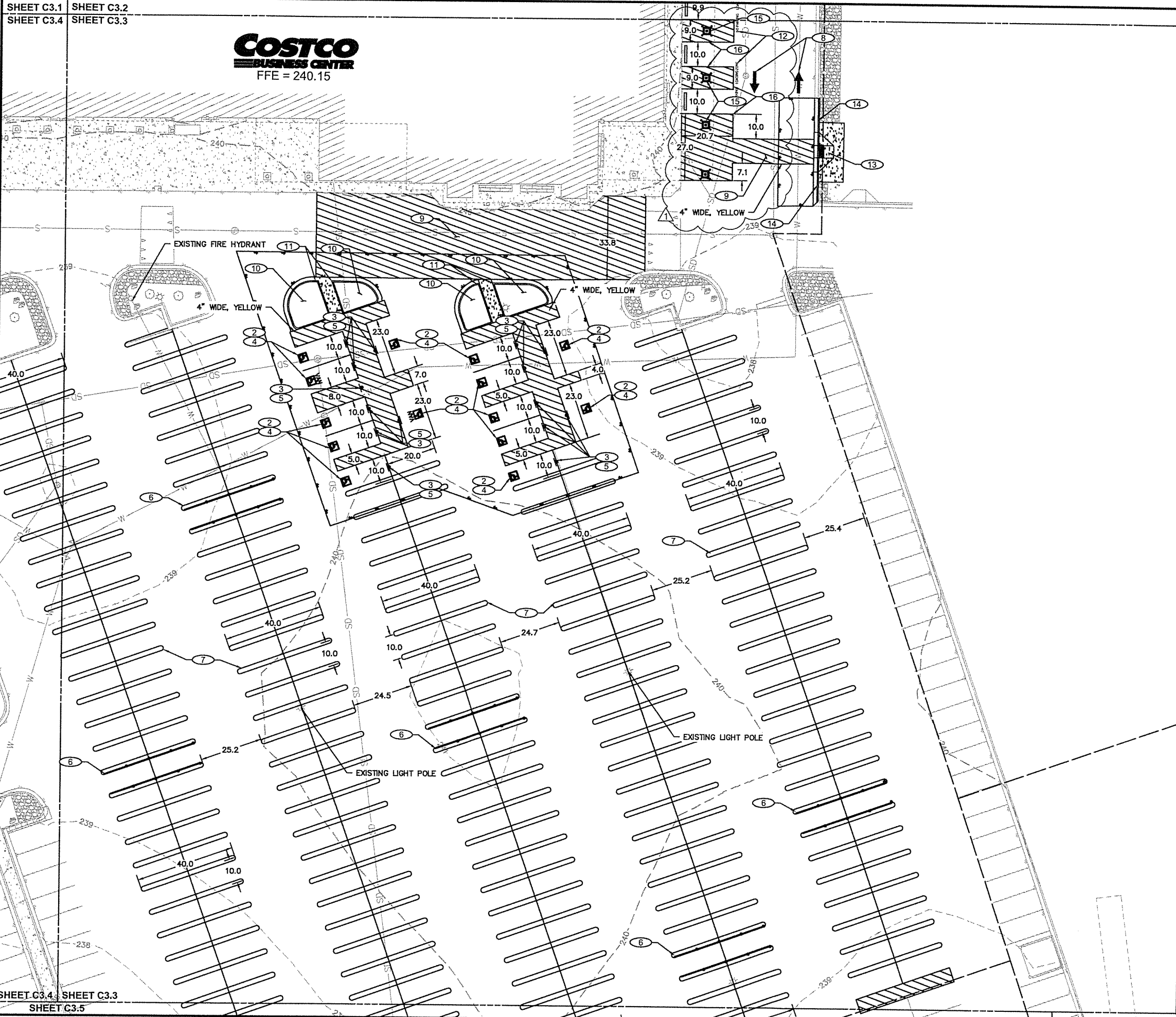
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SHEET	

C3.1

SHEET C3.1
SHEET C3.4

SHEET C3.2
SHEET C3.3

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FFE = 240.15



SITE PLAN KEY NOTES

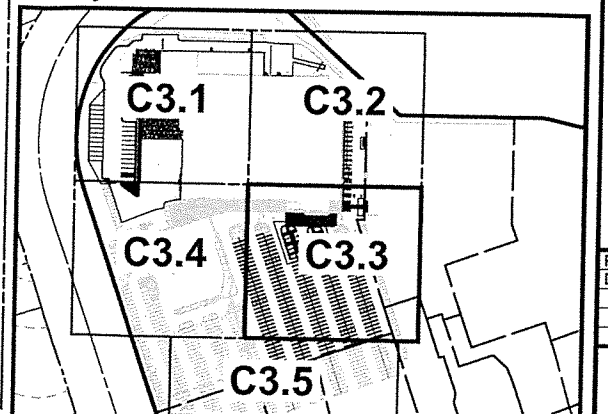
- 1 WHEEL STOP, TYPICAL, SEE DETAIL 1, SHEET C3.7
- 2 ACCESSIBLE PARKING, SEE DETAIL 2, SHEET C3.7
- 3 ACCESSIBLE PARKING SIGN, TYPICAL, SEE DETAIL 3, SHEET C3.7
- 4 PAINT ACCESSIBILITY SYMBOL, SEE DETAIL 4, SHEET C3.7
- 5 BOLLARD INSTALLATION, TYPICAL, SEE DETAIL 2, SHEET C3.6
- 6 CART STORAGE, TYPICAL, SEE DETAIL 3, SHEET C3.6
- 7 PAINTED STRIPING, SEE DETAIL 3, SHEET C3.6
- 8 TRAFFIC ARROWS, TYPICAL, SEE DETAIL 5, SHEET C3.7
- 9 PEDESTRIAN CROSS WALK
- 10 LANDSCAPE AREA
- 11 TYPE 3 CURB & GUTTER. SEE DETAIL 4, SHEET C3.6
- 12 PAINTED "NO PARKING LOADING ZONE"
- 13 CONCRETE CURB RAMP, SEE DETAIL 6, SHEET C3.7
- 14 TYPE 1 CURB & GUTTER, SEE DETAIL 4, SHEET C3.6
- 15 CONSTRUCT STRUCTURAL COLUMN SEE ARCHITECTURAL SHEETS
- 16 PAINTED STRIPING

PAVEMENT KEY MAP LEGEND

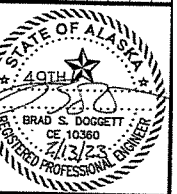
- REGULAR DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 1, SHEET C4.9
- HEAVY DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 2, SHEET C4.9
- REGULAR DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 3, SHEET C4.9
- HEAVY DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 4, SHEET C4.9

KEY MAP

1" = 250'



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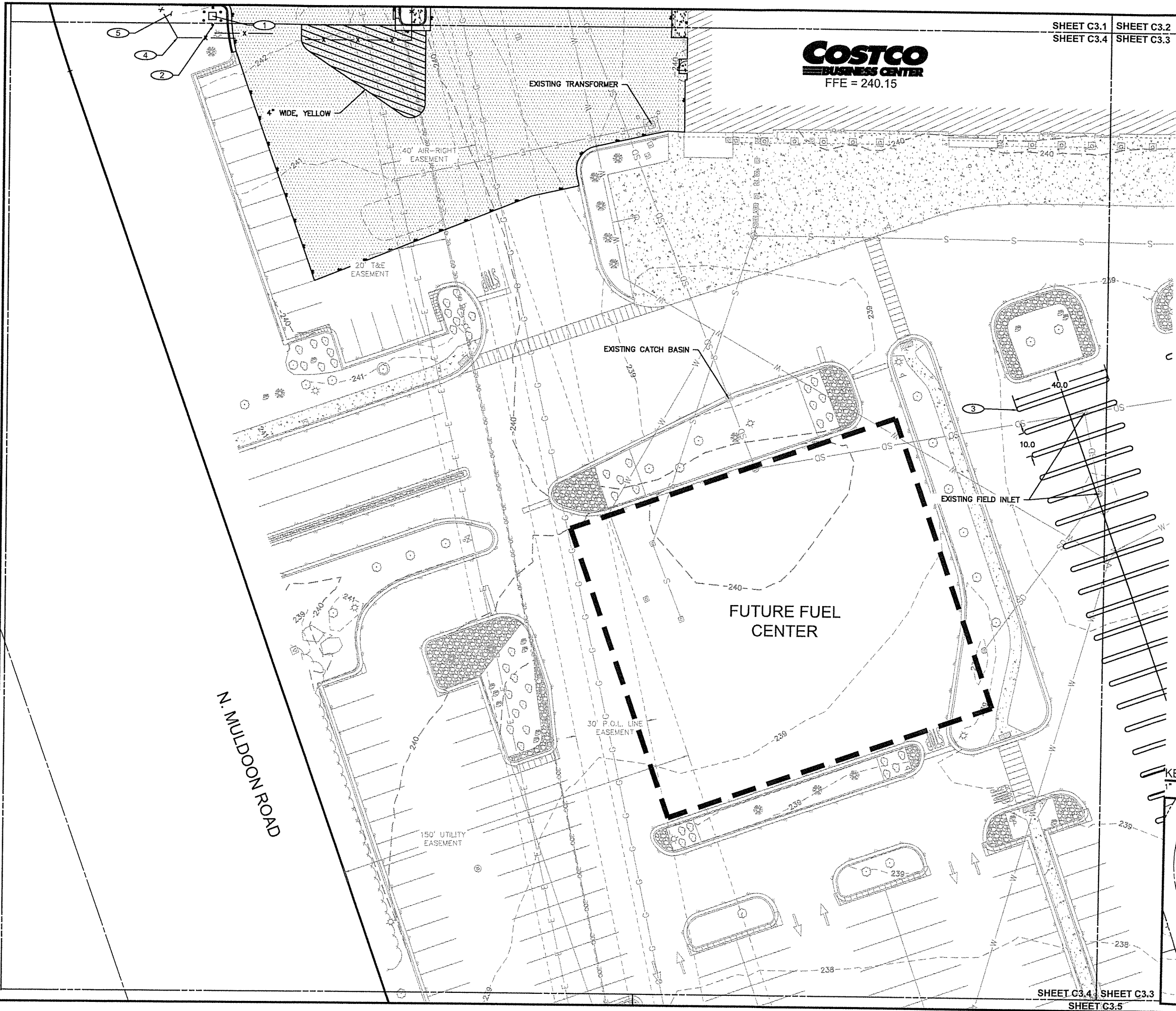
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C3.3

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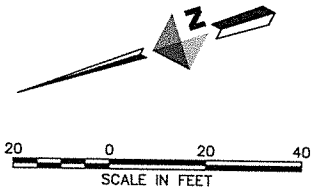
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FFE = 240.15

SHEET C3.1
SHEET C3.4

SHEET C3.2
SHEET C3.3



SITE PLAN KEY NOTES

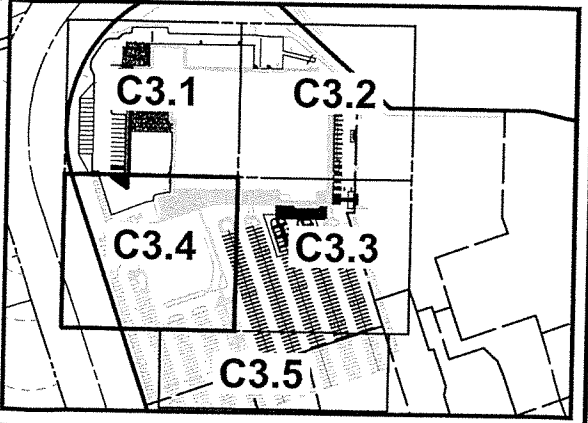
- 1 TRANSFORMER
SEE ARCHITECTURAL SHEETS
- 2 BOLLARDS AROUND TRANSFORMER
SEE DETAIL 1 ON SHEET C3.6
- 3 PAINTED STRIPING
SEE DETAIL 3, SHEET C3.6
- 4 CHAINLINK FENCE
- 5 LANDSCAPE AREA
- 6 TYPE 1 CURB & GUTTER
SEE DETAIL 4, SHEET C3.6

PAVEMENT KEY MAP LEGEND

- REGULAR DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 1, SHEET C4.9
- HEAVY DUTY ASPHALT CONCRETE PAVEMENT
SEE TYPICAL SECTION 2, SHEET C4.9
- REGULAR DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 3, SHEET C4.9
- HEAVY DUTY PORTLAND CEMENT CONCRETE
SEE TYPICAL SECTION 4, SHEET C4.9

KEY MAP

1" = 250'



SHEET C3.4
SHEET C3.5

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REV	DATE	
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SHEET

C3.4

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N. MULDOON ROAD

TOPSOIL AND SEED TO
LIMITS OF DISTURBANCE
(TYP.)

MULCHED LANDSCAPE
BED (TYP.)

- (3) PG
(10) PM
- 1 TREE PLANTING
L1.3 (TYP.)
- 2 SHRUB PLANTING
L1.3 (TYP.)
- 3 LANDSCAPE EDGING
L1.3 (TYP.)
- 4 MAINTENANCE EDGE
L1.3 (TYP.)

MULCHED LANDSCAPE
BED (TYP.)

(14) PM
(2) FP

FENCING (SEE CIVIL)
(TYP.)

PAVING AND STRIPING
(SEE CIVIL) (TYP.)

MULCHED LANDSCAPE
BED (TYP.)

(3) PG
(12) PM

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PLANT SCHEDULE

PLANT TYPE	QTY.	SYMBOL	ABBR.	SPECIES	SIZE	NOTES
	6		PG	PICEA GLAUCA - WHITE SPRUCE	6' HT. / B&B	
	6		FP	FRAXINUS PENNSYLVANICA 'CIMMARON' - CIMMARON GREEN ASH	2" CAL. / B&B	SINGLE STEM

PLANT TYPE	QTY.	SYMBOL	ABBR.	SPECIES	SIZE	NOTES
	48		PM	PINUS MUGO - MUGO PINE	#5 CONT. / POTTED	PLANT 4'-0" O.C.

MISCELLANEOUS	SYMBOL	DESCRIPTION	NOTES
		ROCK MULCH	6" DEPTH; MATCH ROCK SPECIFIED ON CIVIL PLANS AND DETAILS
		SCHEDULE A SEED MIX	MOWABLE - TO LIMITS OF DISTURBANCE
		LANDSCAPE EDGING	ALUMINUM
		EXISTING DECIDUOUS TREE	
		EXISTING EVERGREEN TREE	
		EXISTING SHRUB	

GENERAL LANDSCAPE NOTES:

- IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE PLANS OR ON THE SITE. MODIFICATIONS IN THE FIELD SHALL NOT BE MADE UNTIL APPROVAL HAS BEEN GRANTED BY THE ENGINEER.
- SEE CIVIL FOR EXISTING AND PROPOSED UTILITIES.
- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS AND VERIFY LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- ALL PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED.
- ALL DISTURBED AREAS NOT WITHIN PLANTING BEDS SHALL RECEIVE 4" MINIMUM TOPSOIL AND SEED PER SCHEDULE AS NOTED ON PLANS.
- ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH TOPSOIL AND 3" DEPTH SHREDDED BARK MULCH, UNLESS OTHERWISE NOTED ON PLANS.
- REFER TO SHEET L1.3 FOR LANDSCAPE PLANTING DETAILS.
- ALL DECIDUOUS TREES SHALL RECEIVE MOOSE PROTECTION FENCING PER DETAIL 5/L1.3.

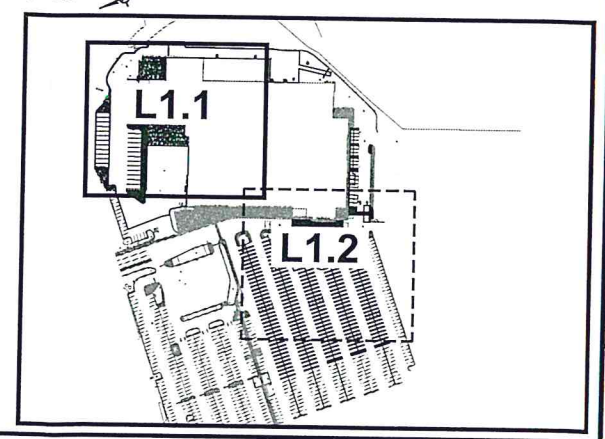
LANDSCAPE ABBREVIATIONS:

ABBR.	ABBREVIATION	HT.	HEIGHT
B&B	BALL & BURLAP	MAX.	MAXIMUM
CAL.	CALIPER	MIN.	MINIMUM
CL	CENTERLINE	N.I.C.	NOT IN CONTRACT
CONT.	CONTAINER	O.C.	ON CENTER
DIA.	DIAMETER	QTY.	QUANTITY
Ø	DIAMETER	TYP.	TYPICAL



KEY MAP

1" = 250'



REV	DATE	DESCRIPTION



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NORTH

CORPORATE NO. AEC0219 BETTISWORTHNORTH.COM

COSTCO
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LANDSCAPE PLAN

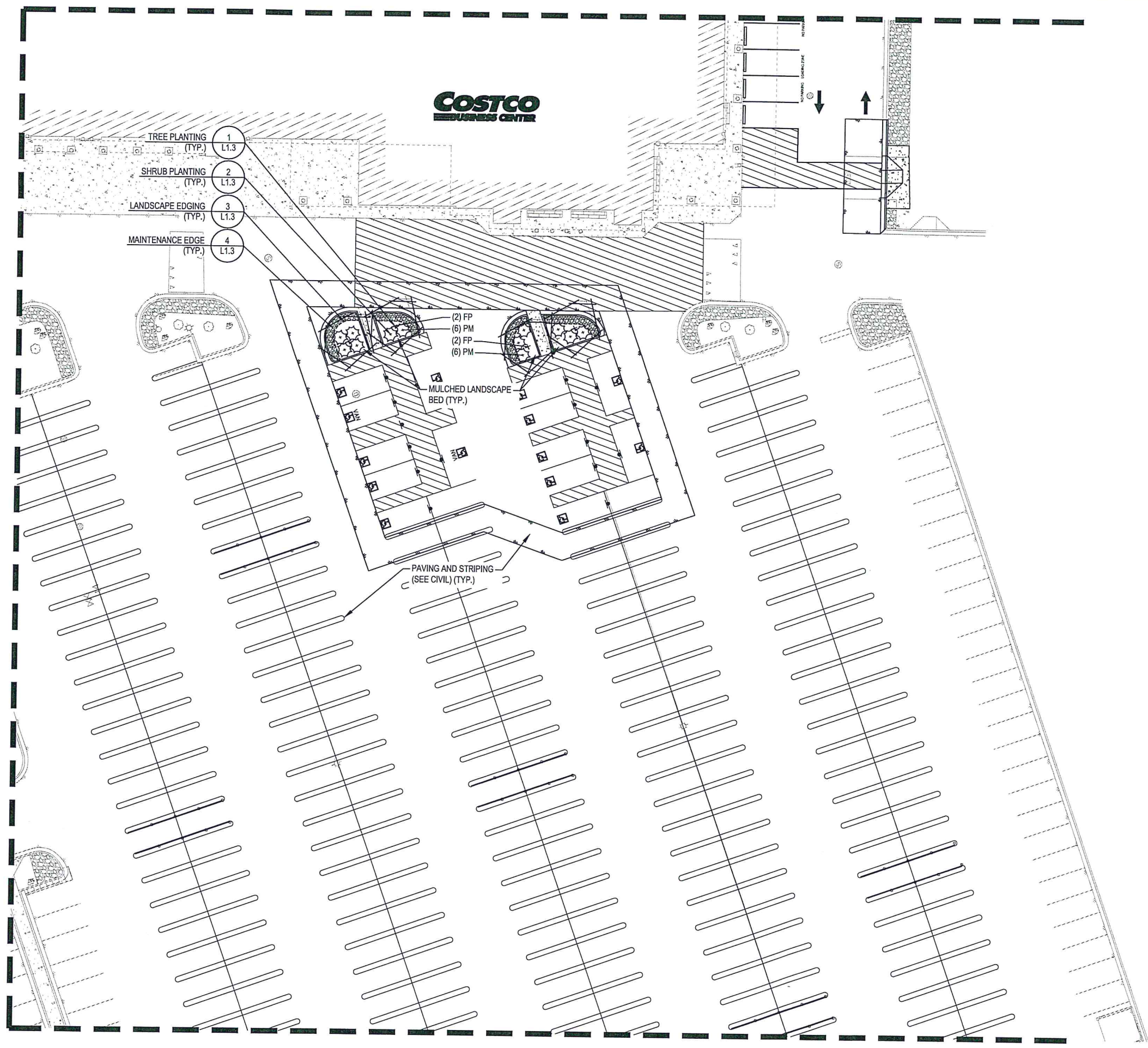
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PROJECT 63563.01
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L1.1

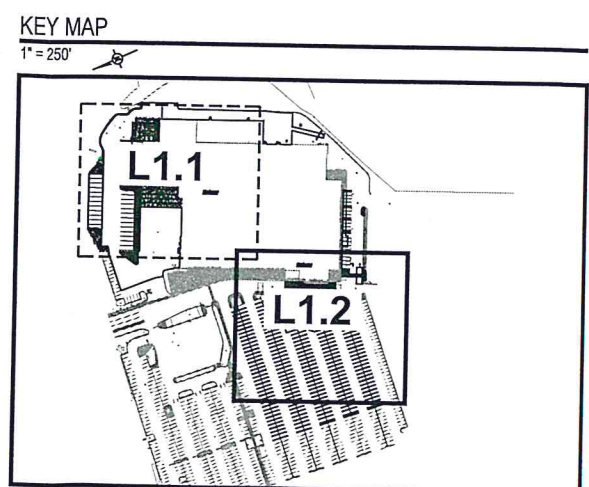
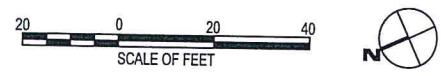
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PLANT SCHEDULE					
PLANT_TYPE	QTY.	SYMBOL	ABBR. SPECIES	SIZE	NOTES
6			PG PICEA GLAUCA - WHITE SPRUCE	6' HT. / B&B	
6			FP FRAXINUS PENNSYLVANICA 'CIMMARON' - CIMMARON GREEN ASH	2' CAL. / B&B	SINGLE STEM

PLANT_TYPE	QTY.	SYMBOL	ABBR. SPECIES	SIZE	NOTES
48			PM PINUS MUGO - MUGO PINE	#5 CONT. / POTTED	PLANT 4'-0" O.C.

MISCELLANEOUS		
SYMBOL	DESCRIPTION	NOTES
	ROCK MULCH	6" DEPTH; MATCH ROCK SPECIFIED ON CIVIL PLANS AND DETAILS
	SCHEDULE A SEED MIX	MOWABLE - TO LIMITS OF DISTURBANCE
	LANDSCAPE EDGING	ALUMINUM
	EXISTING DECIDUOUS TREE	
	EXISTING EVERGREEN TREE	
	EXISTING SHRUB	



REV	DATE	DESCRIPTION	BY

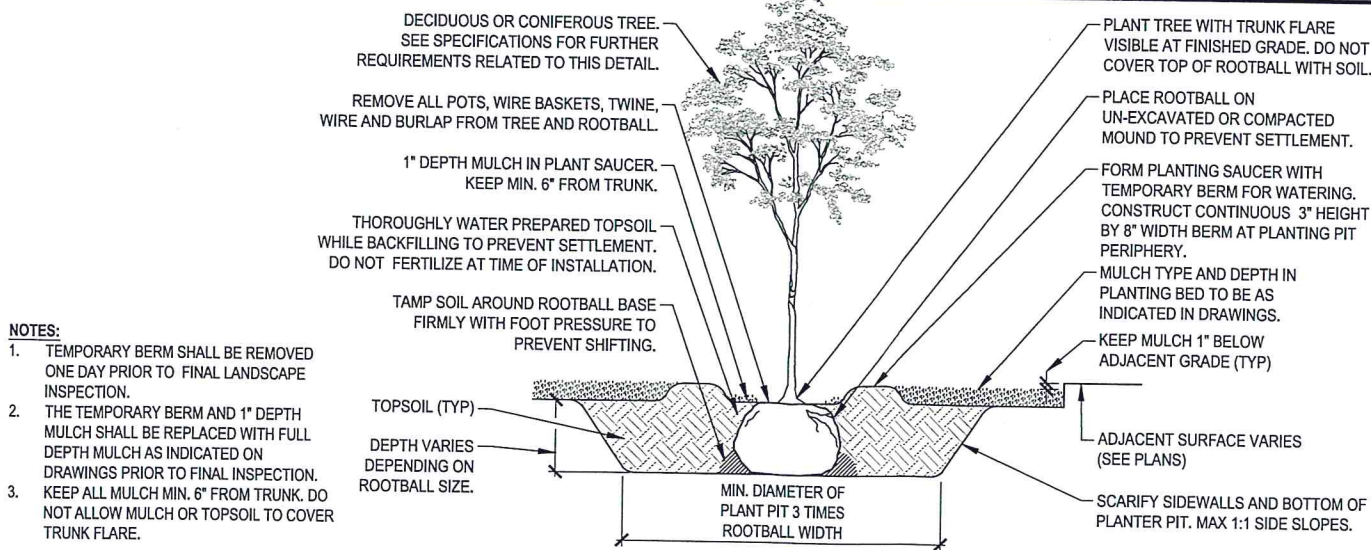
BETTISWORTH NORTH
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LANDSCAPE PLAN
1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

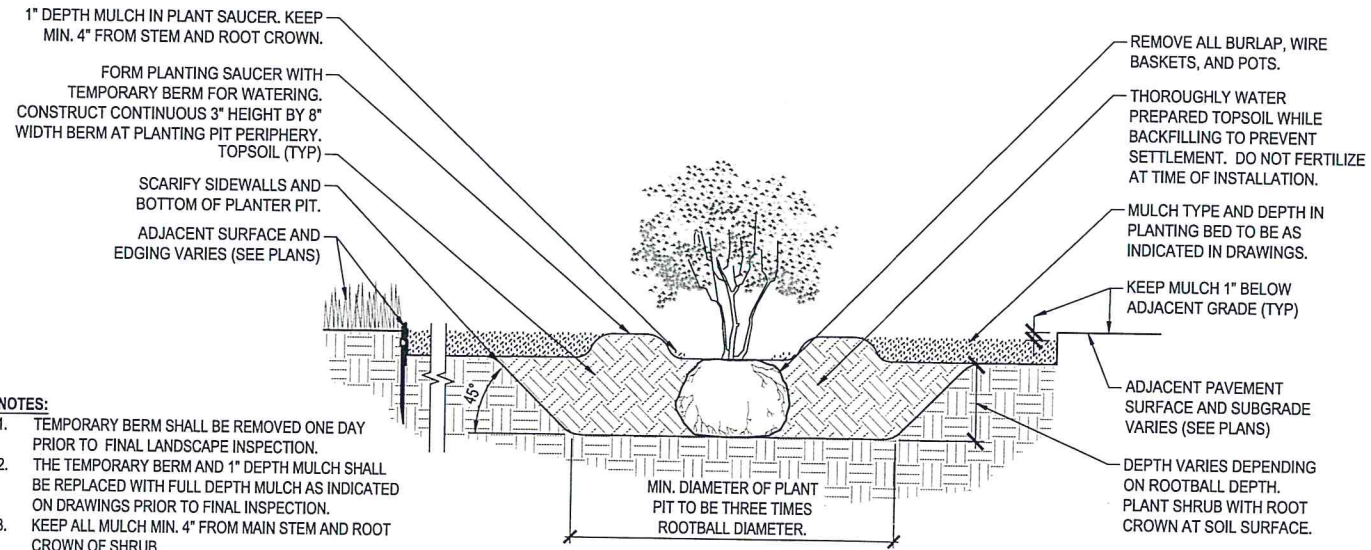
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DATE	2/20/2023
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SHEET	

L1.2

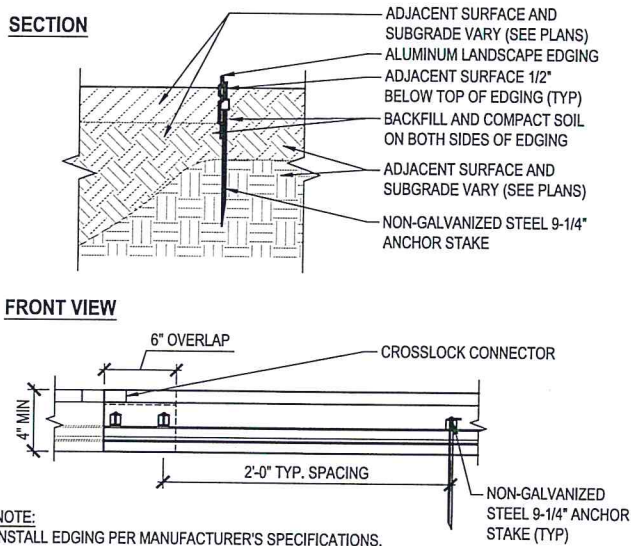
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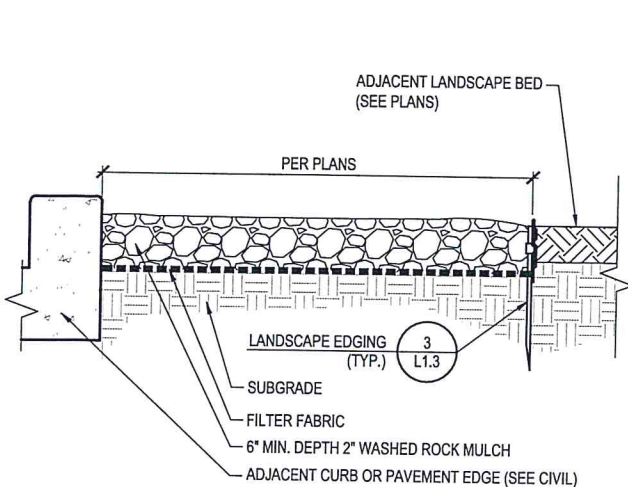
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L1.3
TREE PLANTING
NTS



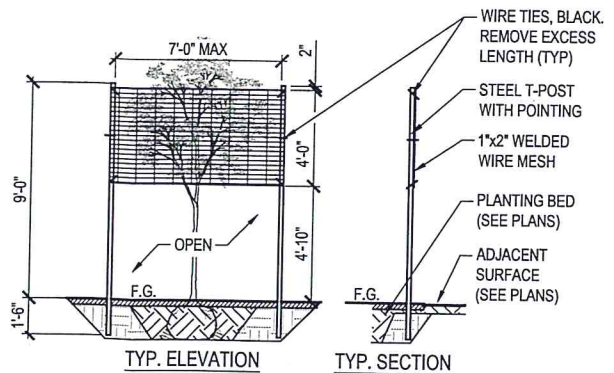
2
L1.3
SHRUB PLANTING
NTS



3
L1.3
LANDSCAPE EDGING
NTS



4
L1.3
MAINTENANCE EDGE
NTS



- NOTES:
1. MOOSE PROTECTION FENCING REQUIRED AROUND ALL NEW DECIDUOUS TREES.
 2. FOR INDIVIDUAL TREES, MIN. 3 POSTS REQUIRED PER TREE.
 3. FOR TREE GROUPINGS, PLACE T-POSTS SO THAT MESH DOES NOT TOUCH BRANCHES.

5
L1.3
MOOSE PROTECTION FENCE
NTS

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REV	DATE		

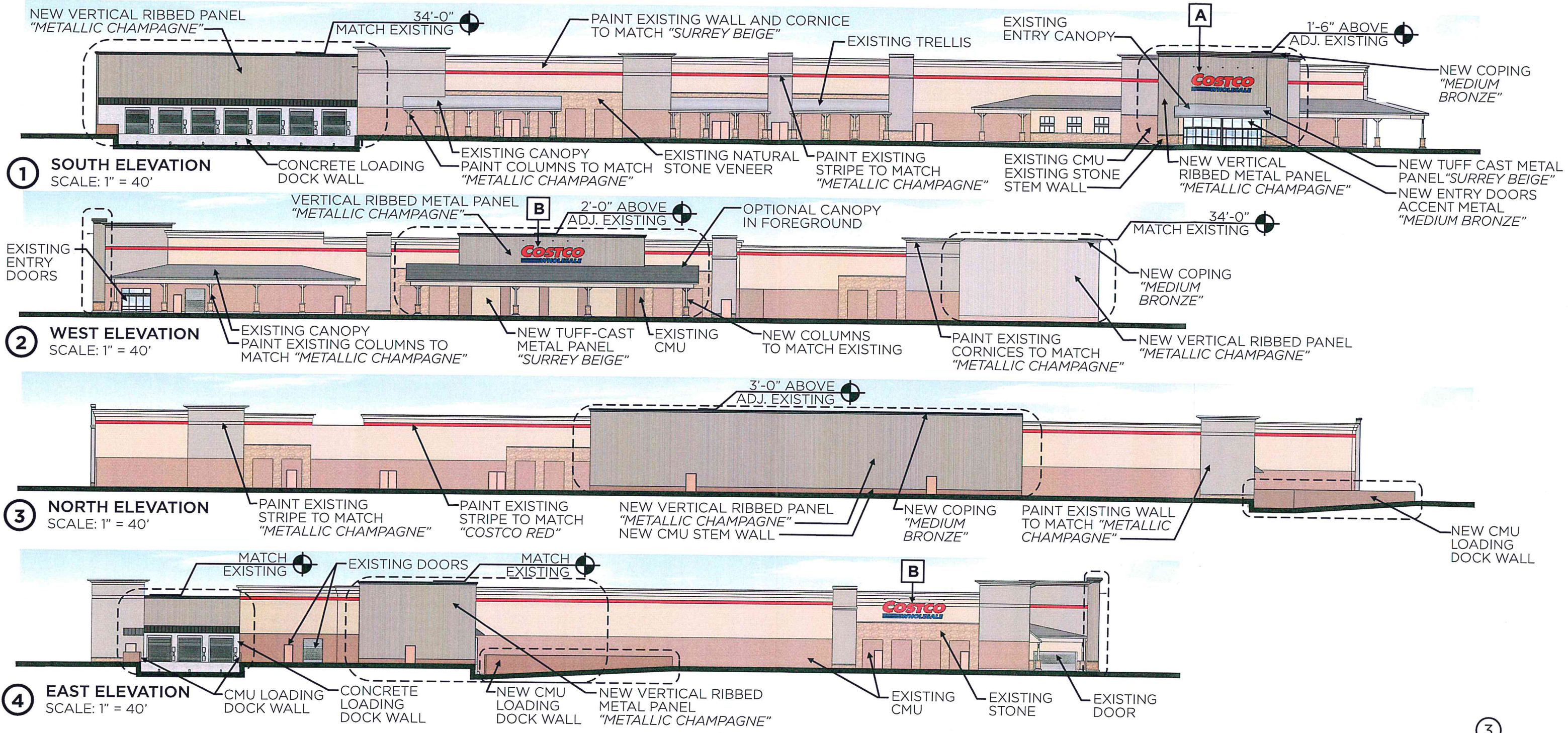
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CORPORATE NO. AEC0219 BETTISWORTHNORTH.COM

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LANDSCAPE DETAILS
1074 N. MULDOON ROAD
ANCHORAGE, ALASKA 99504

PROJECT 63563.01
DATE 2/20/2023

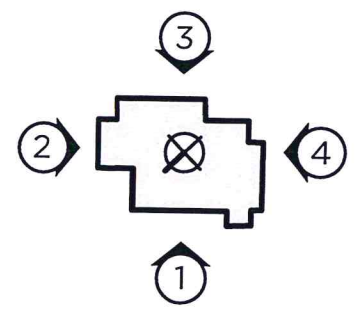
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L1.3



SIGN TABLE

IDENTITY	QUANTITY	SIGN	SIZE	AREA (EACH)	TOTAL SF
A	1	COSTCO WHOLESALE	5'-0" C	175 SF	175 SF
B	2	COSTCO WHOLESALE	6'-0" C	194 SF	388 SF
TOTAL SIGN AREA:					563 SF



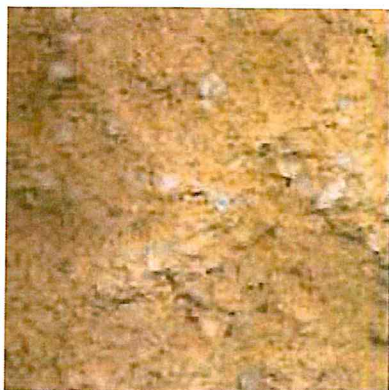
CONCEPT ELEVATIONS



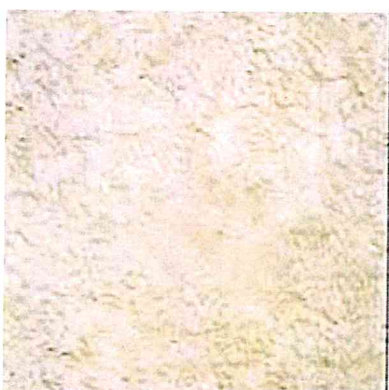




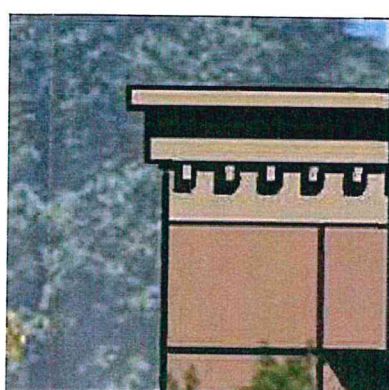
EL DORADO YUKON
MOUNTAIN LEDGE



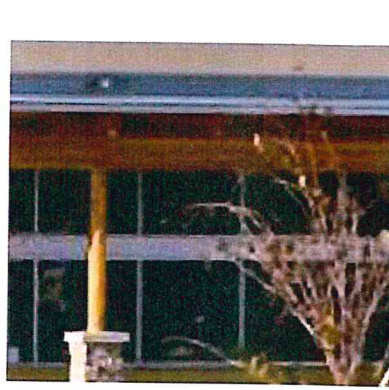
PAINTED SPLIT FACE
CMU



PAINTED CEMENT
PLASTER

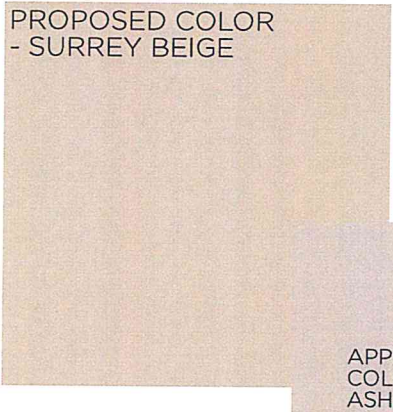


CEMENT PLASTER
CORNICE DETAIL



TRELLIS CANOPY

EXISTING ELEMENTS TO REMAIN



PROPOSED COLOR
- SURREY BEIGE

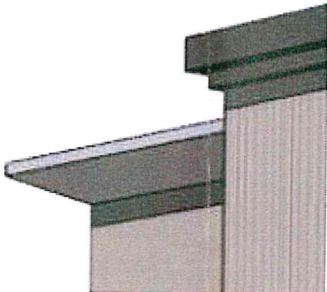
APPROVED
COLOR -
ASH GRAY



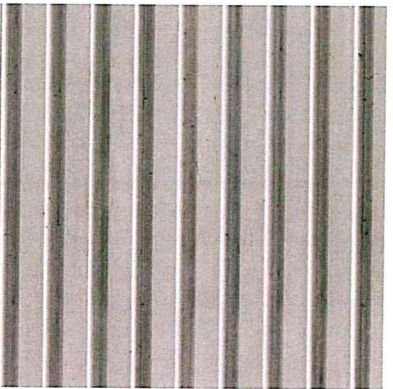
PROPOSED COLOR
- METALLIC CHAMPAGNE

APPROVED
COLOR -
FALLEN ROCK

CEMENT PLASTER
CORNICE DETAILS



NEW ELEMENTS TO MATCH APPROVED

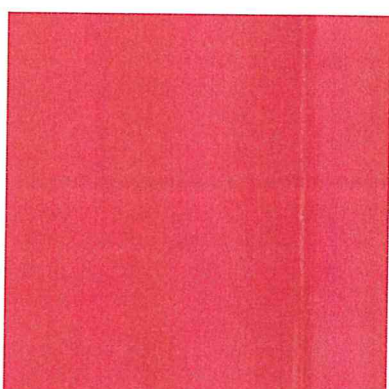


METALLIC CHAMPAGNE
METAL PANEL



CONCRETE LOADING
DOCK WALL - NATURAL

NEW ELEMENTS



ACCENT STRIPE
- COSTCO RED

CORPORATE ELEMENTS



COSTCO BUSINESS CENTER
SIGNAGE - 6 FT



COSTCO BUSINESS CENTER
SIGNAGE - 5 FT

IFC
PHASE 2

PROJECT GENERAL NOTES

PROJECTS TO INCLUDE: 1712117 SP LINE STORY MERCANTILE OCCUPANCY BUILDING WITH FULLY AUTOMATIC FIRE-PROTECTION SPRINKLER SYSTEM AND FIRE ALARM SYSTEM.	
<h1 style="margin: 0;">SCOPE OF WORK</h1>	
BUILDING: THIS WORK INCLUDES, BUT IS NOT LIMITED TO, DEMOLITION, MODIFICATIONS TO THE RECEIVING/LOADING DOCK AREA, BUILDING ENVELOPE IMPROVEMENTS, INTERIOR TENANT IMPROVEMENTS AND FINISHES, ITEMS FURNISHED BY OWNER AND INSTALLED BY THE CONTRACTOR AND ITEMS FURNISHED AND INSTALLED BY THE OWNER WITH FINAL CONNECTIONS BY THE CONTRACTOR.	
THIS WORK ALSO INCLUDES, BUT IS NOT LIMITED TO, MODIFICATION TO THE FIRE PROTECTION SPRINKLER SYSTEMS, LIFE SAFETY/FIRE ALARM SYSTEMS, HVAC SYSTEMS, ENERGY MANAGEMENT SYSTEMS, ELECTRICAL/LIGHTING SYSTEMS.	
ONSITE: THIS WORK INCLUDES, BUT IS NOT LIMITED TO, DEMOLITION, EXCAVATION, GRADING, SOTRM WATER DRAINAGE SYSTEM, SANITARY SEWER SYSTEMS, NATURAL GAS DISTRIBUTION SYSTEM, ELECTRICAL DISTRIBUTIONS SYSTEMS, SITE LIGHTING, CURBS, PAVEMENT, STRIPING/ARROWS, LANDSCAPING, IRRIGATION, FENCING AND LOAD DOCK RETAINING WALL.	
<h1 style="margin: 0;">LEGAL DESCRIPTION</h1>	
THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF ANCHORAGE, STATE OF ALASKA, AND IS DESCRIBED AS FOLLOWS: FRAGMENT LOT 17B-4, TRACT A, GATEWAY SUBDIVISION	
<h1 style="margin: 0;">REGIONAL MAP</h1>	

1. ALL DRAWINGS SHALL APPLY TO THE ENTIRE PROJECT AND SHALL BE APPLIED TO ALL TRADES.

2. DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET OF 22" X 36" ARCHITECTURAL PAPER.

3. CONSULT DRAWINGS OTHER THAN ARCHITECTURAL DRAWINGS FOR ADDITIONAL GENERAL NOTES.

4. CONDITIONS AND DIMENSIONS SHOWN ON SITE PLANS ARE FROM A SURVEY PREPARED BY OTHERS OR FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF INFORMATION SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING INFORMATION SHOWN PRIOR TO STARTING THE WORK.

5. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES.

6. VERIFY ALL INVERT ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK TO EXISTING ANY WORK.

7. EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY.

8. IF NECESSARY TO LOCATE THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL UTILITY LOCATIONS AND SIZES NOT SHOWN.

9. THE CONTRACTOR SHALL TAKE ALL POSSIBLE CARE TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES AND EQUIPMENT. IF DAMAGE OR DISTURBANCE TO CONTRACTOR CAUSED DAMAGE TO EXISTING UTILITIES THAT REPAIRS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. ANY SUCH DAMAGE SHALL BE CONSIDERED AS OBTAINING TO THE OWNERS' OPERATIONS.

10. DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS. DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS.

11. DIMENSIONS ARE TO FORM THE:

A. CENTER OF INTERIOR WALLS.

B. GRID LINES ADJACENT TO THE EXTERIOR WALL (INTERIOR FACE OF STEM WALL / NOMINAL FACE OF MASONRY).

C. EDGE OF CENTERLINE OF OPENINGS AS INDICATED.

D. FACE OF STUDIOS.

E. FACE OF CONCRETE OR MASONRY (NOMINAL).

F. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE SLAB (ALSO NOTED AS FINISHED FLOOR OR INDICATED OTHERWISE). DIMENSIONS ARE NOTED OTHERWISE.

G. ALL DIMENSIONS NOTED "CLEAR" SHALL BE MAINTAINED TO ALLOW FOR THE THICKNESS OF ALL FINISHES INCLUDING CASING, MASONRY AND PAINT.

12. ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE LOCATED SO THE EDGE OF THE DOOR OPENING IS 6" INCHES AWAY FROM THE FACE OF THE INTERIOR WALL.

13. ALL METAL STUDS ARE 3"X8" UNLESS NOTED OTHERWISE.

14. VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS. NEITHER THE ARCHITECT NOR HIS CONSULTANTS ARE RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS. IF EXISTING CONDITIONS DO NOT CORRESPOND TO DIMENSIONS, IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

15. VERIFY ALL ROOM-IN-DIMENSIONS FOR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS, OWNER OR OTHERS.

16. THE CONTRACTOR SHALL CONSULT DRAWINGS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS, EQUIPMENT, ETC. AND VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.

17. ALL ROOF RESTRICTIONS, INCLUDING MANS, PIPING, CONDUIT, ETC. SHALL BE MAINTAINED TO CLEAR CEILING HEIGHTS AND CLEARANCES. RUN PIPING, CONDUIT, ETC. IN A MOST DIRECT, DO NOT RUN BELOW SKYLIGHTS.

18. ALL CONDUITS, PIPING, ETC. SHALL RUN PARALLEL OR PERPENDICULAR TO WALLS, DO NOT RUN AT AN ANGLE TO THE WALLS.

19. IN ROOMS OR SPACES SCHEDULED TO RECEIVE WALL, ROOF OR CEILING FINISHES, THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROPOSED CONDUITS, PIPES, ETC. ON WALLS OR CEILINGS.

20. ALL WORK IS TO BE PLUMB, LEVEL, TRUE TO LINE, AND SQUARE.

21. ALL JOINTS ARE TO BE TIGHT, STRAIGHT, EVEN, AND SMOOTH.

22. ALL MATERIAL IS NEW UNLESS NOTED OTHERWISE.

23. PROVIDE ALL FASTENERS AND CONNECTIONS (WHETHER INDICATED OR NOT) NECESSARY TO ASSEMBLE THE WORK.

24. PROVIDE SOLDER TO ALL WALL MOUNTED FIXTURES AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO, SINKS, WALL BRACKETS AND WALL-HUNG ITEMS.

25. PREPARE SURFACE AND REMOVE SURFACE FINISHES TO PROVIDE FOR PROPER INSTALLATION ON NEW WORK AND PATCHES. COMPLY WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.

26. PATCHES, ROOF OR REPLACE PORTIONS OF WORK THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS.

27. PENETRATIONS OF RATIO ASSEMBLIES SHALL BE SEALED TO THE SUBSTRATE.

28. CONSTRUCTION ACTIVITIES SHALL NOT AFFECT THE NORMAL OPERATIONS OF THE BUILDING (JACK-HAMMERING, SAW-CUTTING, ETC.) AND ANY WORK REQUIRING INTERRUPTIONS OF UTILITIES WATER, GAS, ELECTRICITY, GAS, FIRE ALARM, ETC. SHALL BE PERFORMED DURING NON-BUSINESS HOURS AS APPROVED BY THE OWNER. ENSURE UNINTERRUPTED SECURITY PHONE SERVICE AT ALL TIMES.

29. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL PROVIDE ALL NECESSARY BARRELS, SAFETY SIGNS, LIGHTS, LOCKED BARRIERS, AND SAFETY AREAS CLOSED TO THE PUBLIC AND FOR PROVIDING SAFETY ALERTS DURING CONSTRUCTION.

30. WORK IS TO BE DONE IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL SAFETY CODES.

31. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSIDERED TO REQUIRE OR PERMIT WORK CONTRARY TO GOVERNING REGULATIONS.

32. PROVIDE SEALANT AND BACKER ROD ALL AROUND TO ALL OPENINGS THROUGH CONDUITS, FUTURES, ETC. AND OPENINGS DURING CONSTRUCTION.

33. THE CONTRACTOR SHALL CONFIRM ALL CONCRETE SLABS AND WALLS ARE PROPERLY REINFORCED, TEST-DESIGNED, CONDUITS, PIPES, ETC. USING NON-DESTRUCTIVE TESTING METHODS AS INDICATED ON THE CONTRACT DOCUMENTS. DETECTOR, ETC. AS RECOMMENDED BY THE TESTING-ENGINEERING FIRM, IF ANY PROPOSED.

34. IMMEDIATELY IN CONSTRUCTION, DETECTOR, ETC. IMMEDIATELY NOTIFY THE ARCHITECT PRIOR TO PERFORMING ANY WORK.

DEMOLITION AND REMODEL CONSTRUCTION GENERAL NOTES

1. THE BUILDING WILL BE OCCUPIED AND IN FULL USE BY THE OWNER DURING CONSTRUCTION.

2. CONSTRUCTION THAT MAY AFFECT THE PUBLIC SHALL BE DONE DURING OFF-HOURS.

3. ALL DEMOLITION SHALL INCLUDE, BUT ARE NOT LIMITED TO, ANY STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, FIRE SPRINKLER, ETC. ITEMS NECESSARY TO COMPLETE DEMOLITION. THE CONTRACTOR IS TO REMOVE ALL WALLS, BOLLARDS, METAL, STEEL, MASONRY, ELECTRICAL, INSULATED CONCRETE SLABS, CURBS, ETC. AGGREGATE WITH CONCRETE OR ASBESTOS SHALL BE SHOWN.

4. ALL ITEMS NOTED NOT DESIGNATED FOR THE OWNER SHALL BE REMOVED IN GOOD CONDITION TO REUSE. DURING THE BIDDING PERIOD, COORDINATE AND VERIFY WITH THE ARCHITECT THE ITEMS TO BE REMOVED AND SALVAGED.

5. DO NOT INTERRUPT ANY SERVICES (WATER, PLUMBING, FIRE SPRINKLER, ETC.) WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

6. MAINTAIN FIRE SPRINKLER AND FIRE ALARM SYSTEM IN OPERATING CONDITION AT ALL TIMES. NOTIFY THE OWNER IMMEDIATELY IN WRITING BEFORE ANY PART OF THE SYSTEM OR COMPLETELY DISABLING THE FIRE SPRINKLER OR FIRE ALARM SYSTEMS. PROVIDE FIRE-WATCH AS REQUIRED BY THE JURISDICTION.

7. PROVIDE AND MAINTAIN EGRESS PATHS THROUGHOUT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, EXIT DOORS, LIGHTING, FIRE SPRINKLER, ETC. OBTAIN FIRE MARSHAL APPROVAL PRIOR TO CLOSING ANY EXISTING OPENINGS AND/OR EGRESS PATHS DURING DEMOLITION/CONSTRUCTION.

8. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES WITHIN PROXIMITY OF THE WORK AREA PRIOR TO DIGGING.

9. EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. VERIFY ALL INVERT ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK TO EXISTING PRIOR TO STARTING THE WORK.

10. PROVIDE TEMPORARY DUST PARTITIONS AS REQUIRED TO PREVENT DUST AND DEBRIS FROM SETTLING ON ADJACENT AREAS NOT UNDER CONSTRUCTION. REVIEW WITH AND OBTAIN OWNER'S APPROVAL FOR LOCATIONS.

11. CALL ALL UTILITIES AND DRAIN LINES BELOW THE FLOOR AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR FLOOR PATCHING.

12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ITEMS DAMAGED DURING DEMOLITION AND CONSTRUCTION.

13. WHEN CUTTING AND PATCHING, THE CONTRACTOR SHALL REMAIN AT LEAST 1' AWAY TO DAMAGE ELEMENTS RETAINED OR ADJACENT SURFACES. CUT HOLES AND NOTED AS SLABS AS PRACTICALLY POSSIBLE, NOTIFY SIZE TO REPAIR AND WITH MINIMUM DISTURBANCE OF ADJACENT MATERIALS.

14. WHEN EXISTING CONSTRUCTION IS REMOVED, CUT OR OTHERWISE DISTURBED, PATCH TO MATCH THE EXISTING ADJACENT SURFACES. SEAMS TO BE AS INVISIBLE AS POSSIBLE. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNER, CEILING LINES, TOP OF BASE, ETC.

15. WHEN CUTTING OR REMOVING WALLS WITH EXISTING, PERFORM A SMOOTH AND EVEN FINISH. PATCHED WORK TO MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE.

16. REMOVE AND REPLACE AREAS, SURFACES OR ITEMS THAT

CANNOT BE SATISFACTORILY PATCHED.

17. AS A MINIMUM, THE LEVEL OF WORKMANSHIP SHOULD MATCH THE EXISTING LEVEL OF WORKMANSHIP.

18. WHERE REQUIRED, TIE EXISTING WOOD DOORS AS NECESSARY TO CLEAR FLOORING, SEE CUT EDGES.

19. UNLESS SHOWN IN THE DRAWINGS OTHERWISE, DO NOT SUPPORT OR SUSPEND ITEMS, EQUIPMENT, Hangers, ETC. FROM EXISTING STRUCTURAL MEMBERS (BEAMS, TRUSSES, ETC.) WITHOUT WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.

20. THE CONTRACTOR SHALL NOT DRILL ANY STRUCTURAL MEMBER (PARTICULARLY BEAMS) WITHOUT WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.

21. SHORING OF STRUCTURAL FOUNDATIONS, STRUCTURES, AND TRENCHES REQUIRED TO COMPLETE THE WORK DESCRIBED IN THE DOCUMENTS IS CONSIDERED A MEANS, METHOD OR TECHNIQUE, AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF A PROFESSIONAL AGENCY IS REQUIRED, A LICENSED ENGINEER TO SUPERVISE, APPROVE, AND PROVIDE DRAWINGS FOR STRUCTURAL FOUNDATIONS, STRUCTURES, AND TRENCHES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT WITH THE ENGINEER DIRECTLY AND THE COST SHALL BE INCLUDED IN THE BASE BID.

22. ALL SYSTEMS AND SERVICES ARE TO BE LEFT OPERATIONAL PRIOR TO THE END OF EACH WORKDAY.

23. THE CONTRACTOR SHALL REMOVE ALL RUBBLE AND DEBRIS FROM THE JOBSITE DAILY AND LEAVE THE BUILDING AND GROUNDS BROOM CLEAN UPON COMPLETION OF THE WORK.

24. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION. REMOVE AND CONSTRUCT ACTIVITIES AS REQUIRED BY SECTION 336 OF THE 2013 CALIFORNIA BUILDING CODE. SIGNS SHALL BE PROVIDED TO DIRECT STREETRAFFIC.

OPERATIONAL PHASING NOTES

1. THE PHASING INDICATED ON THE DRAWING IS THE OWNER'S PREFERRED OPERATIONAL SEQUENCES. THE CONTRACTOR SHALL CONFIRM THE OPERATIONAL PHASING WITH THE OWNER PRIOR TO STARTING CONSTRUCTION.

2. THE PHASING SHOWN IS NOT INTENDED TO REPRESENT OR DICTATE CONSTRUCTION PHASING, MEANS, METHODS OR TECHNIQUES.










































3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION PHASING SO AS NOT TO IMPACT THE OWNER'S OPERATIONS.

4. REMOVE WALLS, BOLLARDS, PLUMBING, ELECTRICAL, ETC. AND CAP UTILITIES BELOW THE FLOOR AS REQUIRED TO ACHIEVE THE OPERATIONAL PHASING.

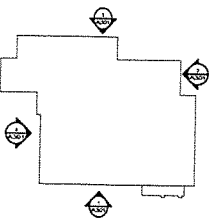
5. PROVIDE TEMPORARY UTILITIES AS REQUIRED DURING PHASING.

6. WHEN THE WORK INCLUDES DEMOLITION OF OR TEMPORARILY COVERING OF THE EXISTING EXTERIOR SIGNAGE, THE CONTRACTOR SHALL OBTAIN A TEMPORARY "COSTING WHOLESALE" SIGNAGE OF SIZE PROPORTIONAL TO EXISTING SIGN, WITH PERMANENT SIGN IS INSTALLED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS. PROVIDE ILLUMINATION FOR THE TEMPORARY SIGN. CONFIRM LOCATIONS WITH THE OWNER.

ARCHITECTURAL SYMBOLS

MATERIALS		REFLECTED CEILING		WALL TYPES	
	ACOUSTICAL TILE		SUSPENDED CEILING GRID SYSTEM W/LAY IN PANELS - 4' X 2' UNO		CMU
	ALUMINUM		SHADED AREA DENOTES METAL SECURITY DECK ABOVE		CONCRETE WALL
	CMU OR BRICK				
	CONCRETE				
	EARTH		SPRINKLER DROP		3 5/8" METAL STUDS UNO AT 16" OC WITH MATERIAL AND FINISH PER SCHEDULE
	EPS		DROP CORD (SEE ELEC)		
	FINISHED WOOD		AIR HOSE		3 5/8" METAL STUDS AT 16" OC WITH SOUND INSULATION BATTS AND FINISH PER SCHEDULE
	GRAVEL		WATER DROP		
	GYPSUM BOARD / FRPP IN ELEVATIONS		EXHAUST VENT OR RETURN AIR GRILLE		METAL INSULATED PANELS FREEZER / COOLER WALLS (SID)
	INSULATION - BATT		HVAC DIFFUSER		
	INSULATION - RIGID		FLUORESCENT LIGHTING FIXTURE		
	INSULATION - SOUND		FLUORESCENT LIGHTING FIXTURE		
	PLYWOOD		INCANDESCENT OR HID LIGHTING FIXTURES		
	STEEL				
	WOOD BLOCKING				

[illegible]



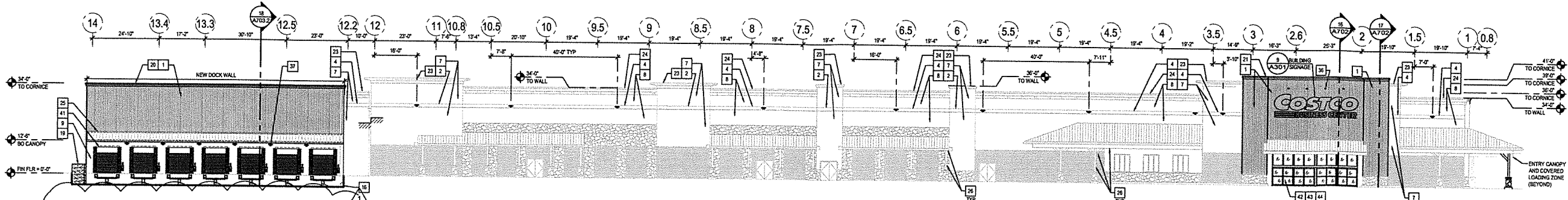
MITCHELL C. SMITH ARCHITECT

DATE DESCRIPTION
11.30.22 PRICING EXERCISE
02.01.23 PERMIT ISSUE

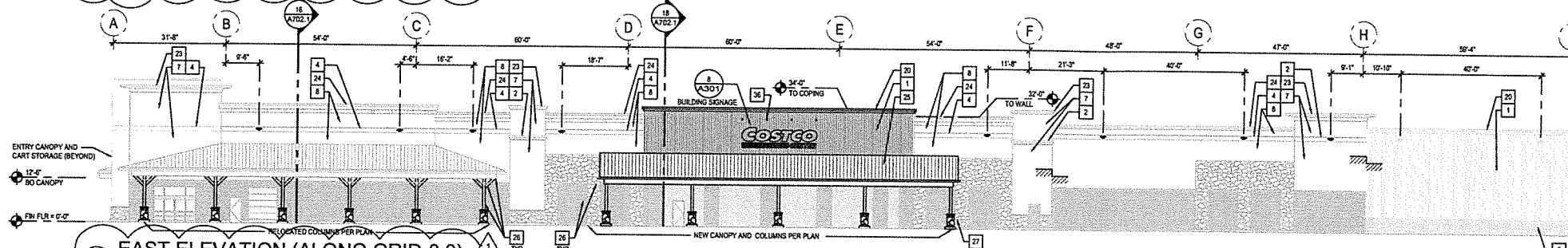
21-5800-01 PHASE 2
P.M. CONNOR DIMICK
DRAWING

EXTERIOR
ELEVATIONS

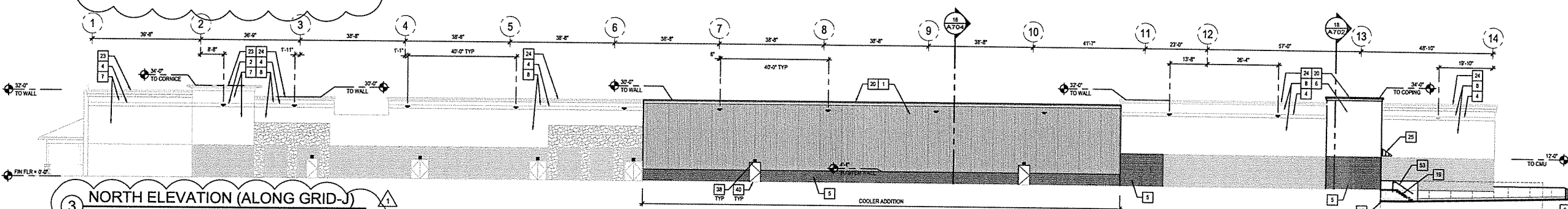
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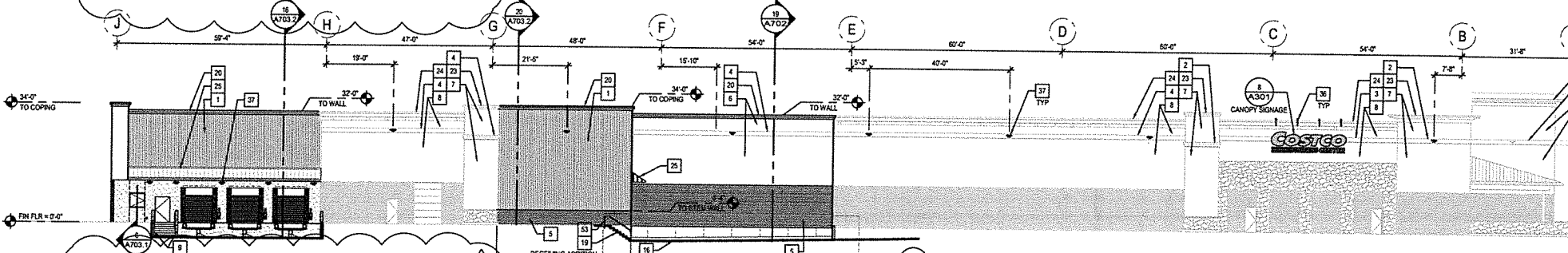
1 SOUTH ELEVATION (ALONG GRID-A)
SCALE: 1/16" = 1'-0"



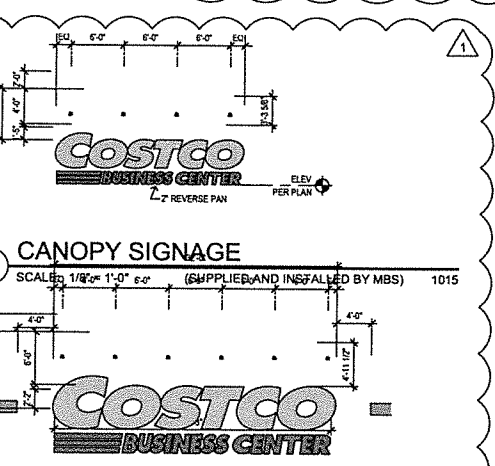
2 EAST ELEVATION (ALONG GRID-0.8)
SCALE: 1/16" = 1'-0" (SEE ELEVATION 1 ABOVE FOR ADDITIONAL NOTES)



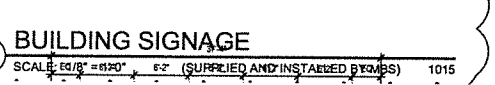
3 NORTH ELEVATION (ALONG GRID-J)
SCALE: 1/16" = 1'-0" (SEE ELEVATION 1 ABOVE FOR ADDITIONAL NOTES)



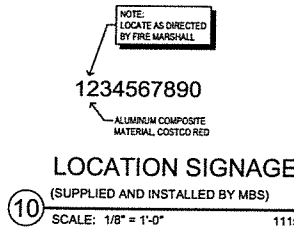
4 WEST ELEVATION (ALONG GRID-14)
SCALE: 1/16" = 1'-0" (SEE ELEVATIONS 1 AND 2 ABOVE FOR ADDITIONAL NOTES)



8 CANOPY SIGNAGE
SCALE: 1/8" = 1'-0" (SUPPLIED AND INSTALLED BY MBS) 1015

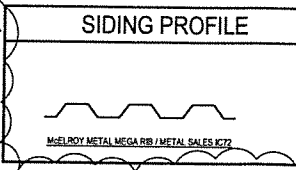


9 BUILDING SIGNAGE
SCALE: 1/8" = 1'-0" (SUPPLIED AND INSTALLED BY MBS) 1015



10 LOCATION SIGNAGE
(SUPPLIED AND INSTALLED BY MBS)
SCALE: 1/8" = 1'-0" 1115

SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY	SIGN	SIZE	AREA (SF) EA	TOTAL SF
1	COSTCO WHOLESALE	6'-0" x 12'	288 SF	288 SF
2	COSTCO WHOLESALE	4'-0" x 12'	128 SF	256 SF
			TOTAL SIGNAGE AREA	544 SF

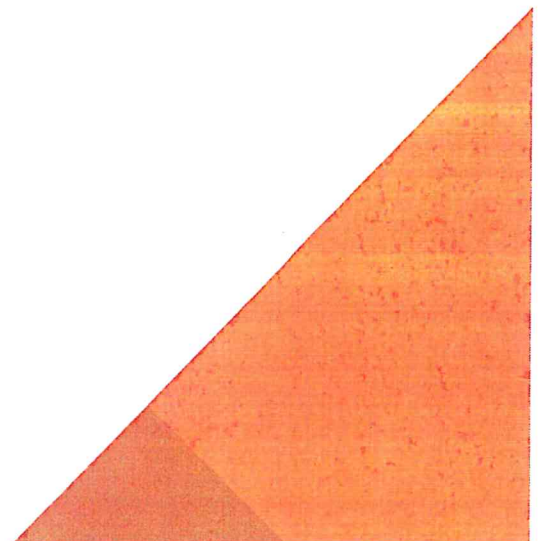


EXTERIOR FINISH SCHEDULE				
#	ITEM	MATERIAL	FINISH	COLOR
1	METAL PANELS - K12	METAL	PRE-FINISHED	METALLIC CHAMPAGNE
2	ACCENT BAND		PAINT BY GC	PANT TO MATCH METALLIC CHAMPAGNE
3	ACCENT BAND		PAINT BY GC	PANT SURREY BEIGE
4	ACCENT BAND		PAINT BY GC	COPPERED
5	MASONRY (SPLIT-FACE)	CMU	WATER REPELLANT	MATCH EXISTING
6	MASONRY (SMOOTH-FACE)	CMU	WATER REPELLANT	PAINT SURREY BEIGE
7	EXISTING WALL		PAINT	PANT TO MATCH METALLIC CHAMPAGNE
8	EXISTING WALL		PAINT	PANT SURREY BEIGE
9	CONCRETE (CAST-IN-PLACE)	CONCRETE	WATER REPELLANT	PAINT SURREY BEIGE
10	WALL CURB	CONCRETE	WATER REPELLANT	
11	STAIRS	CONCRETE	WATER REPELLANT	
12	SIGN LIGHTING FIXTURE	METAL	PRE-FINISHED	TECHLIGHT BRONZE
13	WALL PACK FIXTURE	METAL	PRE-FINISHED	
14	EMERGENCY LIGHT FIXTURE	METAL	PRE-FINISHED	
15	STANDING SEAM VJH	METAL	PRE-FINISHED	
16	COLUMNS AND CANOPY FRAMING	STONE	PAINT	MATCH METALLIC CHAMPAGNE
17	COLUMN BASE			MATCH EXISTING

NOTES:
1. SUPPLIED AND INSTALLED BY MBS
2. SUPPLIED BY MBS, INSTALLED BY GC
3. GRATE LANDING AND TREADS WITH SAFETY NOGGIN

4. LOCATE SCUPPER PER PLAN, 15' FROM 1
5. SEE K12.2 FOR LOCATION WHERE
SMOOTH-FACE IS REQUIRED

APPENDIX 3:
STATE ALCOHOL LICENSE
#6141





THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

**Department of Commerce, Community,
and Economic Development**

ALCOHOL & MARIJUANA CONTROL OFFICE
550 West 7th Avenue, Suite 1600
Anchorage, AK 99501
Main: 907.269.0350

June 29, 2023

Municipality of Anchorage
Via: Email multiple

License Type:	Package Store	License Number:	6141
Licensee:	Costco Wholesale Corporation		
Doing Business As:	Costco Business Center #1661		
Premises Address:	1074 North Muldoon Road		

☒ **New Application**

☐ **Transfer of Ownership Application**

☐ **Transfer of Location Application**

☐ **Transfer of Controlling Interest Application**

We have received a completed application for the above listed license (see attached application documents) within your jurisdiction. This is the notice required under AS 04.11.480.

A local governing body may protest the approval of an application(s) pursuant to AS 04.11.480 by furnishing the director **and** the applicant with a clear and concise written statement of reasons for the protest within 60 days of receipt of this notice, and by allowing the applicant a reasonable opportunity to defend the application before a meeting of the local governing body, as required by 3 AAC 304.145(d). If a protest is filed, the board will deny the application unless the board finds that the protest is arbitrary, capricious, and unreasonable. To protest the application referenced above, please submit your protest within 60 days and show proof of service upon the applicant.

AS 04.11.491 – AS 04.11.509 provides that the board will deny a license application if the board finds that the license is prohibited as a result of an election conducted under AS 04.11.507.

AS 04.11.420 provides that the board will not issue a license when a local governing body protests an application on the grounds that the applicant's proposed licensed premises are in a place within the local government where a local zoning ordinance prohibits the alcohol establishment unless the local government has approved a variance from the local ordinance.

Sincerely,
Joan Wilson Director
amco.localgovernmentonly@alaska.gov



Alcohol and Marijuana Control Office
550 W 7th Avenue, Suite 1600
Anchorage, AK 99501
alcohol.licensing@alaska.gov
<https://www.commerce.alaska.gov/web/amco>
Phone: 907.269.0350

Alaska Alcoholic Beverage Control Board

Form AB-00: New License Application

Why is this form needed?

This new license application form is required for all individuals or entities seeking to apply for a new liquor license. Applicants should review **Title 04 of Alaska Statutes** and **Chapter 304 of the Alaska Administrative Code**. All fields of this form must be completed, per AS 04.11.260 and 3 AAC 304.105.

This form must be completed and submitted to AMCO's Anchorage office, along with all other required forms and documents, before any license application will be considered complete.

Section 1 – Establishment and Contact Information

Enter information for the business seeking to be licensed.

Licensee:	Costco Wholesale Corporation				
License Type:	Package Store	Statutory Reference:	AS 04.11.150		
Doing Business As:	Costco Business Center #1661				
Premises Address:	1074 N Muldoon Road				
City:	Anchorage	State:	AK	ZIP:	99504
Local Governing Body:	Municipality of Anchorage				
Community Council:	Northeast Community Council				

Mailing Address:	Attn: Licensing, P.O. Box 35005				
City:	Seattle	State:	WA	ZIP:	98124-3405

Designated Licensee:	Karen I. Raines				
Contact Phone:	(425) 313-2566	Business Phone:	(425) 313-2566		
Contact Email:	kraines@costco.com				

Seasonal License? ☐ Yes ☒ No ☐ If "Yes", write your six-month operating period: _____

OFFICE USE ONLY					
Complete Date:		License Years:		License #:	6141
Board Meeting Date:		Transaction #:			100551414 510 100551416 1500
Issue Date:		Examiner:			100559397 FPS

AMCO
MAR 3 2023



Alcohol and Marijuana Control Office

550 W 7th Avenue, Suite 1600

Anchorage, AK 99501

alcohol.licensing@alaska.gov

<https://www.commerce.alaska.gov/web/amco>

Phone: 907.269.0350

Alaska Alcoholic Beverage Control Board

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Section 2 – Premises Information

Premises to be licensed is:



an existing facility



a new building



a proposed building

The next two questions must be completed by beverage dispensary (including tourism) and package store applicants only:

What is the distance of the shortest pedestrian route from the public entrance of the building of your proposed premises to the outer boundaries of the nearest school grounds? Include the unit of measurement in your answer.

.3 miles (Bartlett High - Google maps)

What is the distance of the shortest pedestrian route from the public entrance of the building of your proposed premises to the public entrance of the nearest church building? Include the unit of measurement in your answer.

1.0 miles (True North Church - Google maps)

Section 3 – Sole Proprietor Ownership Information

This section must be completed by any sole proprietor who is applying for a license. Entities should skip to Section 4.

If more space is needed, please attach a separate sheet with the required information.

The following information must be completed for each licensee and each affiliate (spouse).

This individual is an: ☐ applicant ☐ affiliate

Name:					
Address:					
City:		State:		ZIP:	

This individual is an: ☐ applicant ☐ affiliate

Name:					
Address:					
City:		State:		ZIP:	



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Section 4 – Entity Ownership Information

This section must be completed by any entity, including a corporation, limited liability company (LLC), partnership, or limited partnership, that is applying for a license. Sole proprietors should skip to Section 5.

If more space is needed, please attach a separate sheet with the required information.

- If the applicant is a corporation, the following information must be completed for each *stockholder who owns 10% or more* of the stock in the corporation, and for each *president, vice-president, secretary, and managing officer*.
- If the applicant is a limited liability organization, the following information must be completed for each *member with an ownership interest of 10% or more*, and for each *manager*.
- If the applicant is a partnership, including a limited partnership, the following information must be completed for each *partner with an interest of 10% or more*, and for each *general partner*.

✓
5/10

Entity Official:	Roland (Ron) Vachris				
Title(s):	President, COO	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

X

Entity Official:	John C. Sullivan				
Title(s):	Exec. Vice President, Secretary	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

X

Entity Official:	Gail E. Tsuboi				
Title(s):	Vice President, Asst. Secretary	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

5/10 ✓

Entity Official:	Richard A. Galanti				
Title(s):	Exec. Vice President, CFO	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027



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Section 4 – Entity Ownership Information

This section must be completed by any entity, including a corporation, limited liability company (LLC), partnership, or limited partnership, that is applying for a license. Sole proprietors should skip to Section 5.

If more space is needed, please attach a separate sheet with the required information.

- If the applicant is a corporation, the following information must be completed for each *stockholder who owns 10% or more* of the stock in the corporation, and for each *president, vice-president, secretary, and managing officer*.
- If the applicant is a limited liability organization, the following information must be completed for each *member with an ownership interest of 10% or more*, and for each *manager*.
- If the applicant is a partnership, including a limited partnership, the following information must be completed for each *partner with an interest of 10% or more*, and for each *general partner*.

Entity Official:	W. Craig Jelinek				
Title(s):	CEO	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

Entity Official:	Jeffrey L. Elliott				
Title(s):	Vice President, Treasurer	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

Entity Official:	Patrick J. Callans				
Title(s):	Exec. Vice President, Asst. Secretary	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

Entity Official:	Margaret C. McCulla				
Title(s):	Asst. Vice President, Asst. Secretary	Phone:	(425) 313-8100	% Owned:	less than 1%
Address:	999 Lake Drive				
City:	Issaquah	State:	WA	ZIP:	98027

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This subsection must be completed by any applicant that is a corporation or LLC. Corporations and LLCs are required to be in good standing with the Alaska Division of Corporations (DOC) and have a registered agent who is an individual resident of the state of Alaska.

DOC Entity #:	4045F	AK Formed Date:	07/13/84	Home State:	WA
Registered Agent:	C T Corporation		Agent's Phone:		
Agent's Mailing Address:	9360 Glacier Highway, Suite 202				
City:	Juneau	State:	AK	ZIP:	99801

Residency of Agent:

Yes No

Is your corporation or LLC's registered agent an individual resident of the state of Alaska?



Section 5 – Other Licenses

Ownership and financial interest in other alcoholic beverage businesses:

Yes No

Does any representative or owner named in this application have any direct or indirect financial interest in any other alcoholic beverage business that does business in or is licensed in Alaska?



If "Yes", disclose which individual(s) has the financial interest, what the type of business is, and if licensed in Alaska, which license number(s) and license type(s):

Costco Wholesale #10 Retail/wholesale membership store, Lic. # 2020, Package store; Costco Wholesale # 63 Retail/wholesale membership store, Lic. # 3149, Package store
Costco Wholesale #107 Retail/wholesale membership store, Lic. # 3352, Package store; Costco Wholesale #1342 Retail/wholesale membership store, Lic. # 704, Package store

Section 6 – Authorization

Communication with AMCO staff:

Yes No

Does any person other than a licensee named in this application have authority to discuss this license with AMCO staff?



If "Yes", disclose the name of the individual and the reason for this authorization:

Tom Amodio of Reeves Amodio, LLC, our local counsel; email: tom@reevesamodio.com
Heather Cimuchowski, Costco Wholesale Corporation; email: hcimuchowski@costco.com
Karen Raines, Costco Wholesale Corporation; email: kraines@costco.com

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Section 7 – Certifications

Read each line below, and then sign your initials in the box to the right of each statement:

Initials

I certify that all proposed licensees (as defined in AS 04.11.260) and affiliates have been listed on this application.

JS

I certify that all proposed licensees have been listed with the Division of Corporations.

JS

I certify that I understand that providing a false statement on this form or any other form provided by AMCO is grounds for rejection or denial of this application or revocation of any license issued.

JS

I certify that all licensees, agents, and employees who sell or serve alcoholic beverages or check the identification of a patron will complete an approved alcohol server education course, if required by AS 04.21.025, and, while selling or serving alcoholic beverages, will carry or have available to show a current course card or a photocopy of the card certifying completion of approved alcohol server education course, if required by 3 AAC 304.465.

JS

I agree to provide all information required by the Alcoholic Beverage Control Board in support of this application.

JS

I hereby certify that I am the person herein named and subscribing to this application and that I have read the complete application, and I know the full content thereof. I declare that all of the information contained herein, and evidence or other documents submitted are true and correct. I understand that any falsification or misrepresentation of any item or response in this application, or any attachment, or documents to support this application, is sufficient grounds for denying or revoking a license/permit. I further understand that it is a Class A misdemeanor under Alaska Statute 11.56.210 to falsify an application and commit the crime of unsworn falsification.

JS

Gail E. Tsuboi

Signature of licensee

Gail E. Tsuboi, Assistant Secretary

Printed name of licensee

Heather J. Amichur

Signature of Notary Public

Notary Public in and for the State of Washington

My commission expires: 07/09/26

Subscribed and sworn to before me this 16th day of February, 2023



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Alaska Alcoholic Beverage Control Board Form AB-02: Premises Diagram

Why is this form needed?

A detailed diagram of the proposed licensed premises is required for all liquor license applications, per AS 04.11.260 and 3 AAC 304.185. Your diagram must include dimensions and must show all entrances and boundaries of the premises, walls, bars, fixtures, and areas of storage, service, consumption, and manufacturing. If your proposed premises is located within a building or building complex that contains multiple businesses and/or tenants, please provide an additional page that clearly shows the location of your proposed premises within the building or building complex, along with the addresses and/or suite numbers of the other businesses and/or tenants within the building or building complex.

The second page of this form may not be required. Blueprints, CAD drawings, or other clearly drawn and marked diagrams may be submitted in lieu of the second page of this form. The first page must still be completed, attached to, and submitted with any supplemental diagrams. An AMCO employee may require you to complete the second page of this form if additional documentation for your premises diagram is needed.

This form must be completed and submitted to AMCO's Anchorage office before any license application will be considered complete.

Yes No

I have attached blueprints, CAD drawings, or other supporting documents in addition to, or in lieu of, the second page of this form.

☒ ☐

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Costco Wholesale Corporation	License Number:	
License Type:	Package Store		
Doing Business As:	Costco Business Center #1661		
Premises Address:	1074 N Muldoon Road		
City:	Anchorage	State:	AK
		ZIP:	99504

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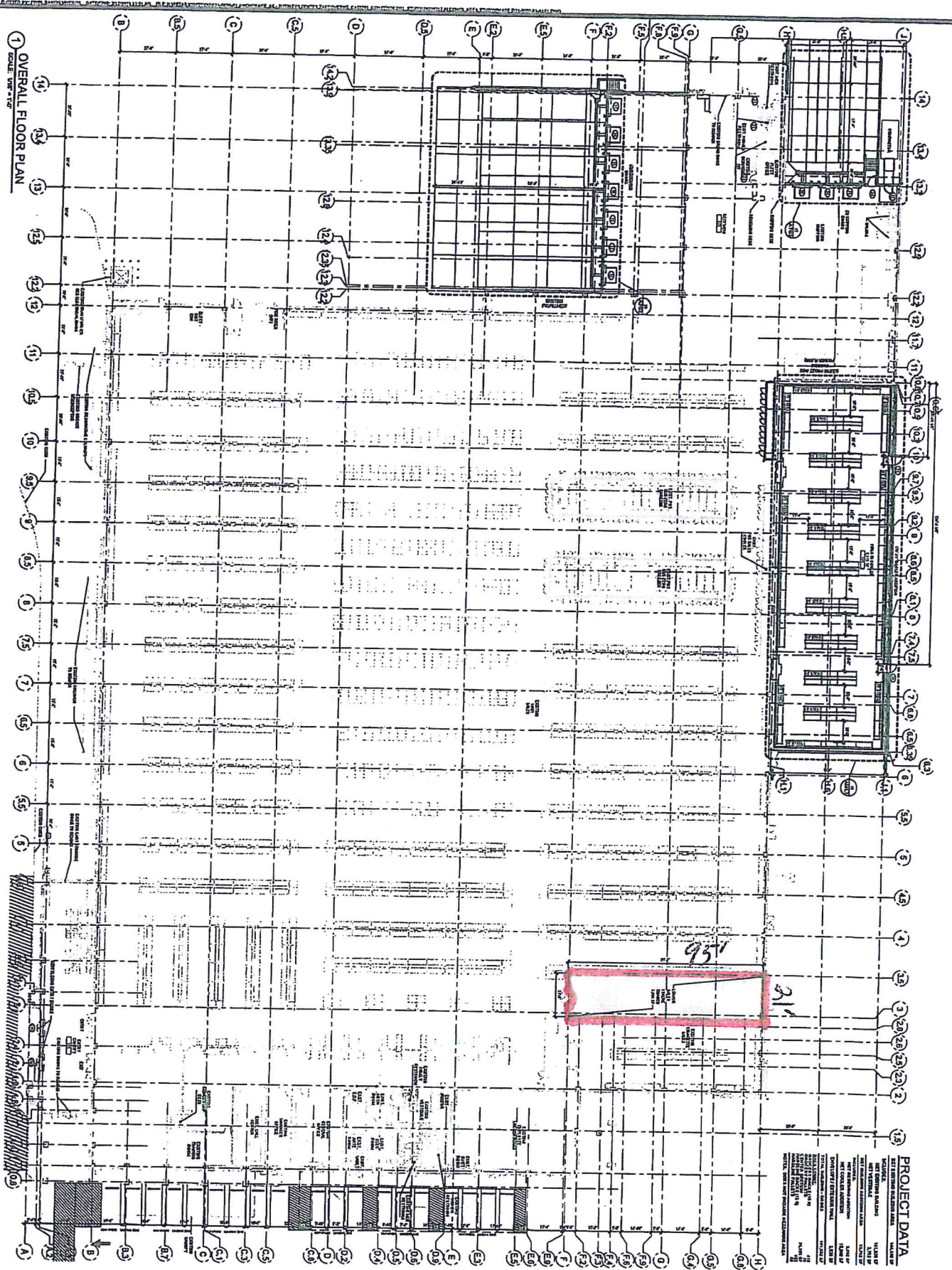
Form AB-02: Premises Diagram

Section 2 – Detailed Premises Diagram

Clearly indicate the boundaries of the premises and the proposed licensed area within that property. Clearly indicate the interior layout of any enclosed areas on the proposed premises. Clearly identify all entrances and exits, walls, bars, and fixtures, and outline in red the perimeter of the areas designated for alcohol storage, service, consumption, and manufacturing. Include dimensions, cross-streets, and points of reference in your drawing. You may attach blueprints or other detailed drawings that meet the requirements of this form.

See Attached.

A separate area
within Business Center,
approximately 95 feet
by 21 feet, as noted
on Attached.



1 OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT DATA

PROJECT NAME	ANCHORAGE, AK BUSINESS CENTER
CLIENT	COSTCO WHOLESALE CORPORATION
DESIGNER	MC2
DATE	12/15/2021
PROJECT LOCATION	1200 LANE DRIVE, ANCHORAGE, AK 99501
PROJECT TYPE	WHOLESALE CENTER
PROJECT STATUS	PHASE 2

COSTCO
ANCHORAGE, AK
BUSINESS CENTER
1200 LANE DRIVE
ANCHORAGE, AK 99501



PERMIT ISSUE
PHASE 2

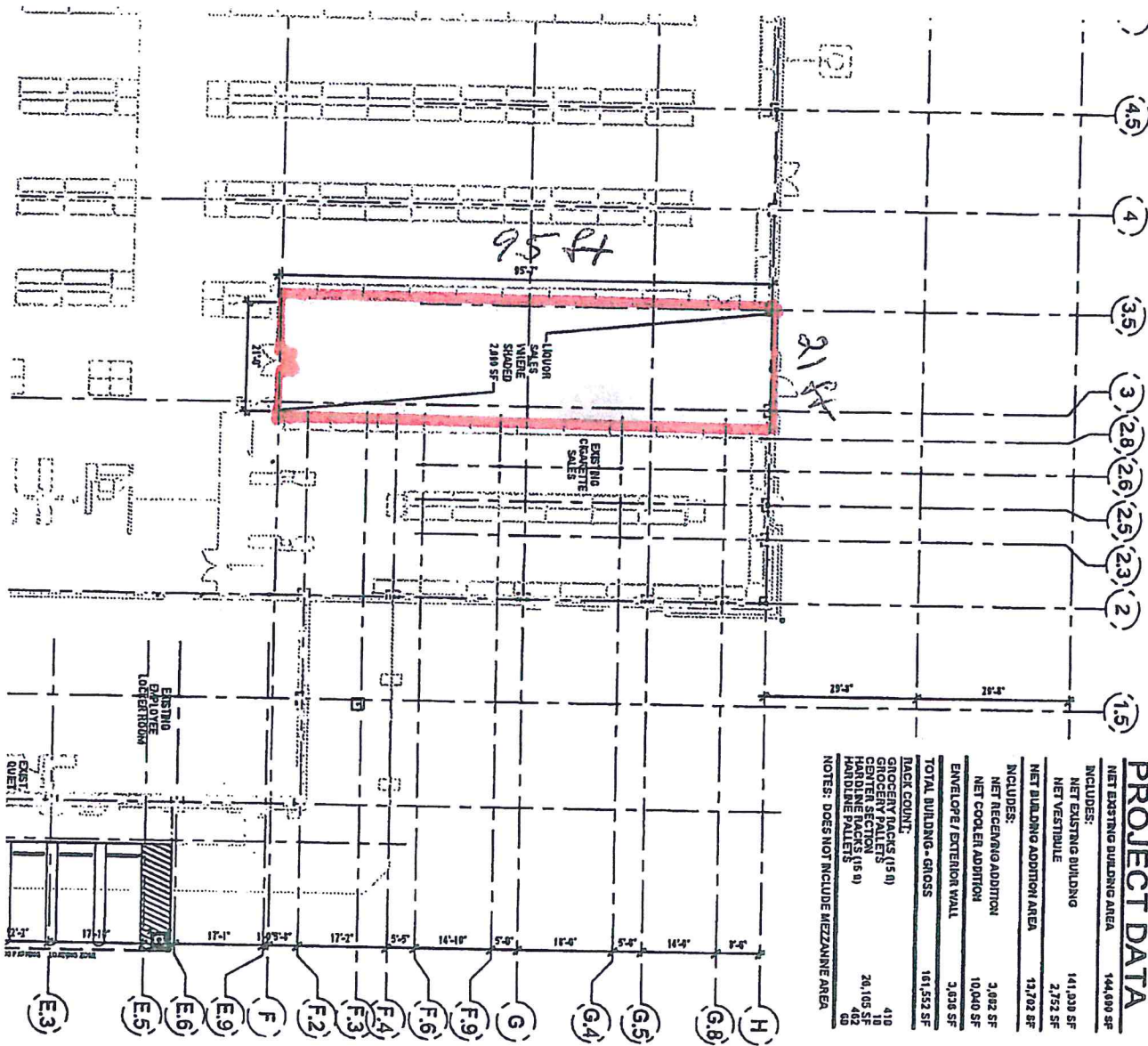
AMCO
MAR 3 2023



1/8" = 1'-0"
1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	12/15/2021	ISSUED FOR PERMIT



PROJECT DATA

NET EXISTING BUILDING AREA	144,690 SF
INCLUDES:	
NET EXISTING BUILDING	141,000 SF
NET VESTIBULE	2,752 SF
NET BUILDING ADDITION AREA	13,702 SF
INCLUDES:	
NET RECEIVING ADDITION	3,002 SF
NET COOL-EN ADDITION	10,040 SF
ENVELOPE / EXTERIOR WALL	3,006 SF
TOTAL BUILDING - GROSS	161,552 SF
BACK COUNT:	
GROCERY RACKS (150)	410
GROCERY PALLET	110
CENTER SECTION	20,105 SF
HANDLINE RACKS (150)	482
HANDLINE PALLET	60

NOTES: DOES NOT INCLUDE MEZZANINE AREA



ANCHORAGE, AK
BUSINESS CENTER

1074 N MULDOON RD,
ANCHORAGE, AK 99504

COSTCO
WHOLESALE
CORPORATION

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave. Ste. 100
Seattle, WA 98101
206.462.1700
MCG.com

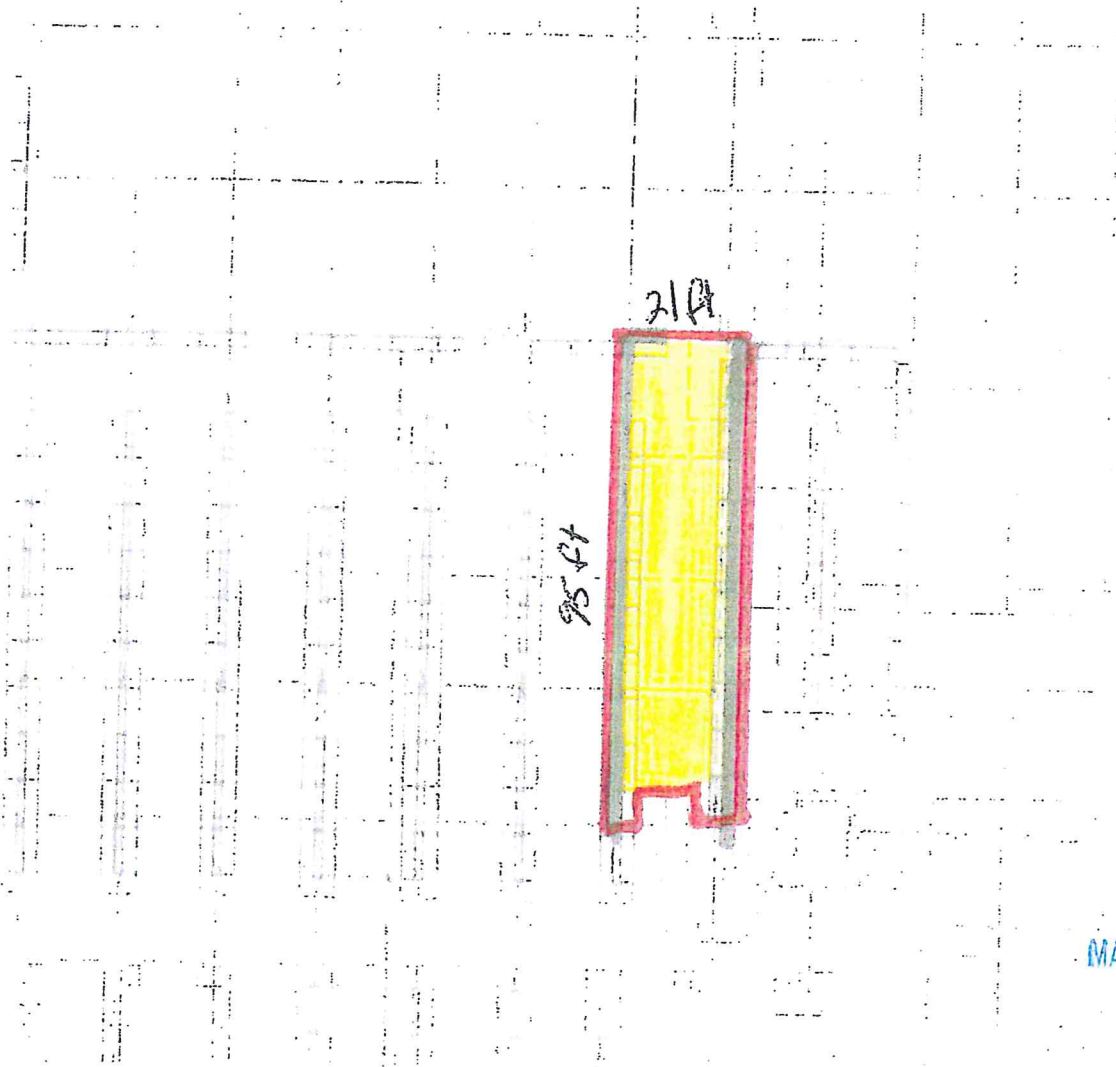


PERMIT ISSUE
PHASE 2

Enlargement of Premises
#1

AMCO
MAR 3 2023

Enlargement #2



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