

Application for Design Variance

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*

Name (last name first)
Phillips, Krista (Southcentral Foundation)

Mailing Address
4501 Diplomacy Dr.

Anchorage, AK 99508

Contact Phone – Day Evening
907-729-6656

E-mail
kphillips@southcentralfoundation.com

PETITIONER REPRESENTATIVE (if any)

Name (last name first)
Cloud, Stephanie (Bettisworth North)

Mailing Address
2550 Denali St. Ste 1300

Anchorage, AK 99503

Contact Phone – Day Evening
907-771-4585

E-mail
scloud@bettisworthnorth.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION

Property Tax # (000-000-00-000): 008-024-10-000

Site Street Address: 4330 Elmore Rd. Anchorage, AK 99508

Current legal description: (use additional sheet if necessary)

Tract G5-1, Athenian Village Subdivision (Plat 2023-43)

Zoning: B-3

Acreage: 3.72

Grid #: SW1735

PETITIONING FOR

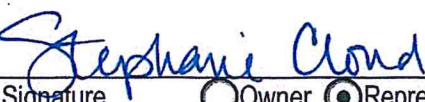
Requesting a 15' high fences around Crisis Stabilization and Detox program outdoor spaces.

CODE CITATIONS

AMC 21. 07.080H.3 Fences

AMC 21.

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I am petitioning for variance in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the variance. I understand that the burden of evidence to show compliance with the variance standards rests with me, the applicant. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Urban Design Commission for administrative reasons.



Signature

☐ Owner

☒ Representative

(Representatives must provide written proof of authorization)

10/15/24

Date

Stephanie Cloud

Print Name

Accepted by:

Poster & Affidavit:

Fee:

Case Number:

Meeting Date: WAC:

2024-0130

12/11/2024

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- ☒ Rezoning - Case Number: 2020-0014
- ☒ Preliminary Plat ☒ Final Plat - Case Number(s): S-12651 (2023-43)
- ☐ Conditional Use - Case Number(s):
- ☐ Zoning variance - Case Number(s):
- ☐ Land Use Enforcement Action for
- ☐ Building or Land Use Permit for
- ☐ Wetland permit: ☐ Army Corps of Engineers ☐ Municipality of Anchorage

APPLICATION REQUIREMENTS

(One of each applicable item is required for initial submittal, additional copies are required after initial submittal)

- 1 copy required: ☒ Signed application (original)
- 14 copies required: ☒ Signed application (copies)
- ☒ Variance narrative, addressing:
- ☒ The need for the variance
 - ☒ The effect of granting the variance
 - ☒ An analysis of how the proposal meets the variance standards below
- ☒ As-built survey showing existing conditions, to scale (no more than 2 years old)
- ☒ Proposed plot plan, site plan, or building elevations, to scale (new construction)
- ☒ Photographs or renderings

(Additional information may be required.)

VARIANCE STANDARDS

The Urban Design Commission may only grant a variance if the Commission finds that **all** of the following 8 standards are substantially met. Each standard must have a response in as much detail as it takes to explain how your property's condition satisfies the standard. The burden of proof rests with you.

- a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard;
- b. The proposed alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard;
- c. The proposed alternative results in benefits to the community that are equivalent to or better than compliance with the subject standard;
- d. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code;
- e. The variance, if granted, does not change the character of the zoning district where the property is located, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies;
- f. Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation; and
- g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people of the municipality.
- h. In evaluating the request for a variance from the maximum sign height, the urban design commission may consider whether there are special topographic circumstances that would result in a material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.



September 30, 2024

Mr. Dave Whitfield
Planning Manager
Municipality of Anchorage Planning Department
P.O. Box 196650
Anchorage, AK 99519

Subject: Letter of Authorization: 4330 Elmore Rd.

Dear Mr. Whitfield,

Southcentral Foundation owns the property legally described as Tract G5-1, Athenian Village Subdivision, located at 4330 Elmore Road in Anchorage (Parcel ID 008-024-10-000).

As the Construction Project Manager for Southcentral Foundation, I authorize Bettisworth North to act on our behalf as a petitioner submitting for a fence variance for the above referenced land.

Should you have any questions, please contact me either by email at: sglenn@Southcentralfoundation.com or by phone at (907) 729-3378.

Sincerely,

Shawn K. Glenn

Construction Project Manager

Southcentral Foundation

(907) 729-3378 office

Design Variance Application Fence Height

SCF Tudor and Elmore Development

September 2024

Prepared for:



Prepared by:

BETTISWORTH
NORTH

Introduction

Bettisworth North, representing Southcentral Foundation (SCF), is requesting a design variance for the fence height at the new facility located at the northwest corner of the intersection of Tudor Road and Elmore Road. Site and fence plans can be found in Appendix 1. The facility will include various Health Services and Hospital/Health Care Facility functions, with the fences specifically related to a Crisis Stabilization and Detox.

The development will be situated on SCF's property, legally described as Tract G5-1, Athenian Village Subdivision, (Property Tax Number 008-024-10-000). This site is located across Elmore Road from the main Alaska Native Health Campus (ANHC) (see survey, Appendix 1).

The subject property is zoned B-3. Adjacent properties to the west, east, and northeast are also zoned B-3. To the west is commercial development along Tudor Road, and ANHC is east across Elmore Road, consisting of a mix of primarily healthcare and office uses similar to the existing SCF Detox facility and proposed new development of this facility.

North of the site is R-3 zoning, currently developed as university student housing and associated parking. The eastern portion of the north property line abuts a utility-related warehouse or service structure owned by Alaska Pipeline Company, LLC.

South of the subject property across Tudor Road is B-3-SL (AO 2018-56) zoning, which is developed consisting of paved areas and the Anchorage School District Bus Transportation Facility. To the southeast across Tudor Road is PLI zoning, developed consisting of the Anchorage Police Department administration building and evidence storage yard.

Project Description

Southcentral Foundation's Vision is a Native Community that enjoys physical, mental, emotional, and spiritual wellness. Its Mission is to work together with the Native Community to achieve wellness through health and related services. The organization has developed and implemented comprehensive health-related services to meet the changing needs of the Native Community, and support individuals and families on their wellness journey. This includes support through physical, mental, emotional, and spiritual wellness.

SCF has seen an increased demand for services related to its medical detox and withdrawal management programs. The expansion of these programs requires more space than exists at the current facility.

SCF is creating a new program for Adult Crisis Stabilization. As a new program, no space currently exists at ANHC for this service.

To make way for the SCF TED, SCF is proposing to raze the existing buildings on the site to construct a new three-story, 101,000 square foot building to expand detox and outpatient behavioral health services and provide a location for the new crisis stabilization center.

The building's exterior is inspired by natural elements, particularly a birch forest. The base of the building reflects the dense ground floor of the forest while the center portion of the building mimics

the thinning trunks of trees and the upper floors reach to a canopy that shades the glazing systems. The garage screening element draws inspiration from traditional salmon drying racks used during the summer harvest.

To foster a welcoming atmosphere for individuals experiencing acute mental health crises or beginning their detox journey, the design incorporates natural and warm materials. These include wood phenolic laminate panels, stone paneling, warm toned insulated metal panels, integrate with bronze mullions and commissioned artwork.

Two of the programs within this clinic will feature outdoor yards for patient use. A 23-hour stabilization center and a crisis residential center are served by a 1,460 square foot courtyard, located at the southwest corner of the building. This yard is separated from Tudor Road and the commercial property to the west by parking lot drive aisles and landscaping. The Detox program also has an outdoor yard (2,665 SF) for patients currently in treatment. In both cases, the proposed fences would be 15 feet tall and will use colors and patterns that harmonize with the building architecture and surroundings (see Fence Material Palette Options). Landscaping will be planted between the drive aisles and fencing to further buffer the fence from the roadway and adjacent commercial use.

The Need for a Variance

We are requesting a variance from AMC 21.07.080H.3 to allow a fence taller than what is allowed by code. This facility serves individuals who are at risk of harming themselves or others. Therefore, it is crucial to consider the fence height carefully to discourage patients from using it as a means to inflict harm or to prevent contraband from being thrown over the fence from outside. This measure is vital for the safety and security of those receiving care. Although there is not a lot of guidelines for these types of facilities, the Department of Veterans Affairs recommends a fence height of 14 feet in their Mental Health Facilities Design Guide (2010) to mitigate risks of climbing and escape.

While risk of elopement and self-harm is lower for residents of the detox program, a higher fence is necessary to minimize the chances of patients obtaining contraband that may be thrown over by individuals outside. Currently, paraphernalia is frequently found in the existing fenced yard of the existing Detox facilities, prompting staff to conduct regular security sweeps to intercept these items. A higher fence would enhance security and help protect the well-being of the patients.

The Effect of Granting the Variance

A taller fence will create a safe outdoor area for patients while preventing them from climbing over, using it to harm themselves, or minimizing the ability of individuals outside to throw contraband over. Additionally, this increased security will enable SCF staff to focus on the mental health needs of the patients without the constant concern of elopement or encountering illicit items in the yard. The design of the fence will be tailored to complement the architectural style of the facility and the surrounding landscape (see Fence Materials Palette Options).

An Analysis of how the Proposal Meets the Variance Standards Below

- a. The proposed alternative achieves the intent of the subject design standard to the same or better degree than the subject standard.

The 8-foot height fence design standard intends to “delineate different portions of a lot or to separate lots from each other.” These fences will separate specific uses and users within the site to provide a safe and secluded area for patients to enjoy the fresh air and access to the outdoors. Only patients in the Crisis Stabilization Center or Crisis Residential Center and their SCF escorts will have access to the western enclosure, ensuring it feels safe and secure for the mental well-being of its users. Likewise, only Detox patients and staff will have access to the eastern outdoor yard. Both areas are directly adjacent to the building and are separated from the commercial use (to the west of the Crisis yard) and Elmore Rd (to the east of the Detox yard) by landscaping and drive aisles. Neither fence is located adjacent to any of the surrounding parcels.

The fences will be designed to complement the architecture of the building and landscaping will be planted on the exterior of the fence to further buffer the area from the surrounding ROWs and parcels. The fencing of the Crisis Stabilization yard will pull from the Native Alaskan patterning on the building and use colors that blend with the building, making it seem an integrated part of the overall facility. The two fence options are an aluminum panel fence which mimics wood pickets or security fencing that is anti-ligature, anti-climb, but can be “cloaked” with any graphic imaginable. Thus allowing us to match the color and patterning of the building. The Detox fencing will have the warm feeling of wood, but is made of aluminum for longevity and security. It will help create a “back-yard” feeling for those in the detox program and will allow more visibility to the trees beyond with slats in the top 2-feet of the fence.

- b. The proposed Alternative achieves the goals and policies of the comprehensive plan to the same or better degree than the subject standard.

The 2040 Land Use Plan (LUP) designates the property and its surroundings as a Town Center. Indeed, this development will serve as a destination for medical services. This high-density infill development makes this an ideal use for this space. Since this is a place of healing, providing safe and secure outdoor areas is imperative to the patients experiencing a mental health crisis or undergoing detox. Consideration was also given to placing the outdoor areas away from Tudor Road and Elmore Road and the associated visual stimulation.

One of the goals of the LUP is that development improves community resiliency and citizens' quality of life. The programs these fences are associated with meets this goal by providing much needed services for those experiencing a mental health crisis or undergoing detox. As part of these programs, it was important to provide access for patients to the outside. It is well-documented that the outdoor time provides patients substantial benefits to their mental health. However, if the patients and/or staff do not feel it is a safe and secure space, this benefit may be undermined (reference: Maslow's Hierarchy of Needs).

Mixed-use commercial centers are also a goal of the LUP. In this instance, integrating commercial, institutional, and residential areas necessitates a careful balance of privacy, security, and accessibility. Implementing a taller fence will ensure the safety of both patients and staff, as well as the surrounding community. The higher fence reduces the risk of elopement, which in turn prevents people in crisis from wandering the adjacent neighborhood or into the busy street to the south (Tudor Rd) and east (Elmore Road). Additionally, a taller fence reduces helps to minimize the likelihood of contraband being passed to patients, supporting their journey towards sobriety.

c. The proposed alternative results in benefits to the community that are equivalent to or better than the compliance with the subject standard.

This fence will benefit the community by providing a needed outdoor healing space for patients that is safe and secure. This program, in general, is a much-needed community asset that will have positive outcomes at the neighborhood, community, and state levels. This outdoor yard is a critical component to the overall Crisis Stabilization Center, Crisis Residential Center, and Detox programs since time outdoors is crucial to the overall healing process.

The fencing will be made of materials that are complementary to the building façade and landscape planted outside of the fence will provide an additional buffer from the adjacent ROWs and surrounding uses to create an aesthetically pleasing development.

d. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this code.

The proposed fences are interior to the site and not within any set-backs or adjacent to any property lines. The fences will be aesthetically integrated into the site and building design. It will create a cohesive look that blends seamlessly with the environment. Landscaping will also be provided adjacent to the exterior of the fences to further buffer the fences from Tudor Road, commercial use directly to the west of the Crisis Stabilization fence, and Elmore Rd to the east of the Detox fence. Furthermore, video cameras will be installed to provide surveillance where the fence may impede sightlines through the site. In addition to the landscaping that is planned adjacent to both fenced areas, additional landscaping will be planted along the north, south, and east property lines. Due to buffer landscaping to the north (and the university's landscaping), these fences will not be visible from residential use along that perimeter (the Stabilization fence is 170' from the north site perimeter, and the Detox fence is not near any residential uses).

e. The variance, if granted, does not change the character of the zoning district where the property as permitted under this code, is in keeping with the intent of the code, and does not permit a use not otherwise permitted in the district in which the property lies.

This site is zoned B-3 and the proposed uses, Health Services and Hospital/Health Care Facilities, are permitted uses. Adjacent properties to the west, east, and northeast are also zoned B-3. To the west is commercial development along Tudor Road, and ANHC is east across Elmore Road, consisting of a mix of primarily healthcare and office uses. The character of the B-3 zoning district is focused on commercial centers and areas with heavy traffic. This development aligns with this and

as stated above, because of these factors, a safe separation of spaces is important for the success of the Crisis Stabilization and Detox patients. In addition, the character of this zone also notes that these sites are highly visible and as such should be landscaped. This tall fence will be surrounded by landscape and will tie into the architecture of the building. While still being developed, some ideas of how the fence will visually blend with the building are through color matching (for example Vapor Grey colored Knotwood fence to match the Metal Panels) or pulling a pattern from the exterior of the building onto the fence (see Fence Material Palette Options and Exterior Renderings).

- f. Persons with disabilities are provided with access as required by the Americans with Disabilities Act (ADA) and reasonable accommodation.

The outdoor yards are ADA accessible.

- g. The variance, if granted, does not adversely affect the health, safety, and welfare of the people in the municipality.

The proposed variance will benefit the health, safety, and welfare of the people in the municipality. Not only do the Crisis Stabilization Center, Crisis Residential Center, and Detox programs provide much-needed services to the community, it is well-established that there are mental health benefits to being outside and the need to feel safe and secure before being able to self-actualize (Maslow's Hierarchy of Needs). An 8-foot height fence would preclude patients from using the stabilization center yard due to the risk of elopement or the ability to harm themselves. The increased fence height will create a secure enclosure for patients to enjoy the outdoors and further supports their journey to wellness. Likewise, a taller fence at the Detox yard keeps contraband out enhancing the safety and wellbeing of this vulnerable population. This allows staff to concentrate on patients' mental health rather than being distracted by the ongoing need to search for contraband in the yard. Ultimately, creating safe outdoor spaces for patients benefits both them and the surrounding community.

- h. In evaluating the request for a variance form the maximum sign height, the UDC may consider whether there are special topographic circumstances that would result in the material impairment of visibility of the sign from the adjacent roadway which significantly diminishes the owner's or user's ability to continue to communicate adequately and effectively with the public through the use of the sign.

N/A, not seeking a sign height variance.

Appendix 1:

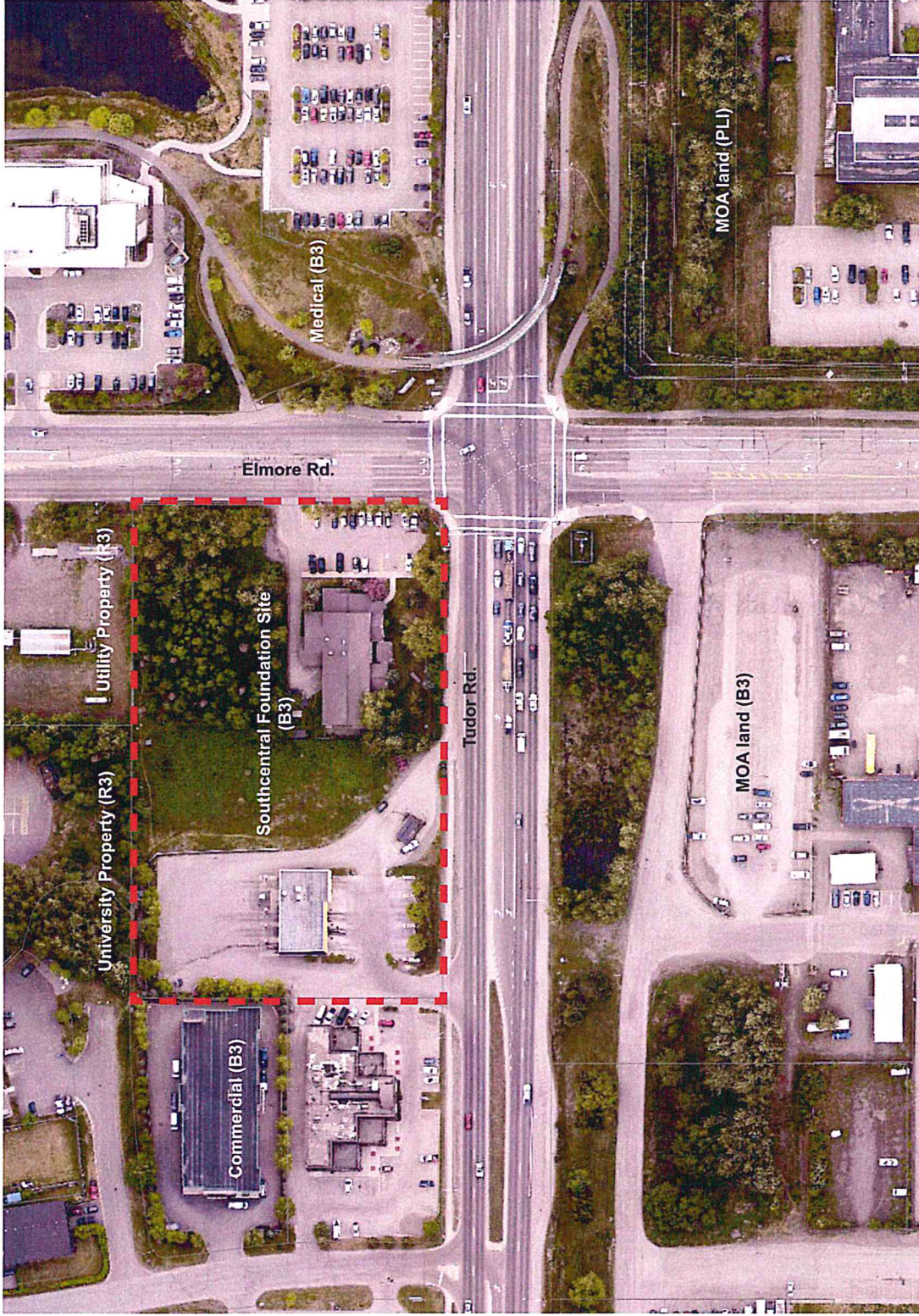
Site Adjacencies

Survey

Site Plan

Exterior Elevations

Fence Material Palette Options



Site Adjacencies
SCF Tudor Elmore - Anchorage, AK

19

20

TRACT B1
PLAT No. 97-28

BLOCK 4

TRACT 16A
PLAT No. 2006-176

17

18

TRACT G1

PLAT No. 83-62

TRACT G2

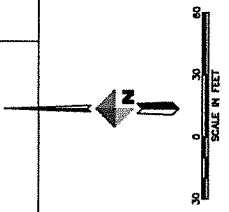
TRACT G5-
161,888 SQ. FT.
(3.716 ACRES)

SOUTHCENTRAL FOUNDATION

ELMORE ROAD

UDOR ROAD

FLORINA ST.



UNSUBDIVIDED.

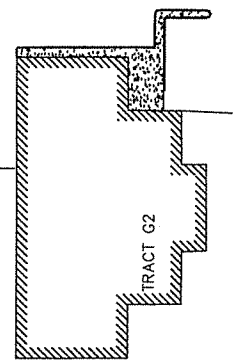
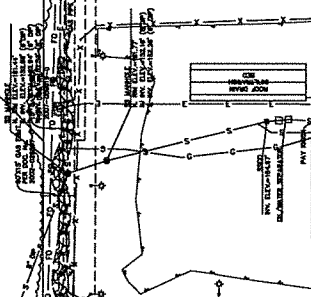
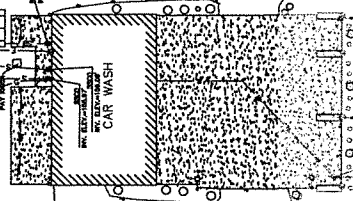
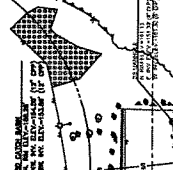
ALL LOTS
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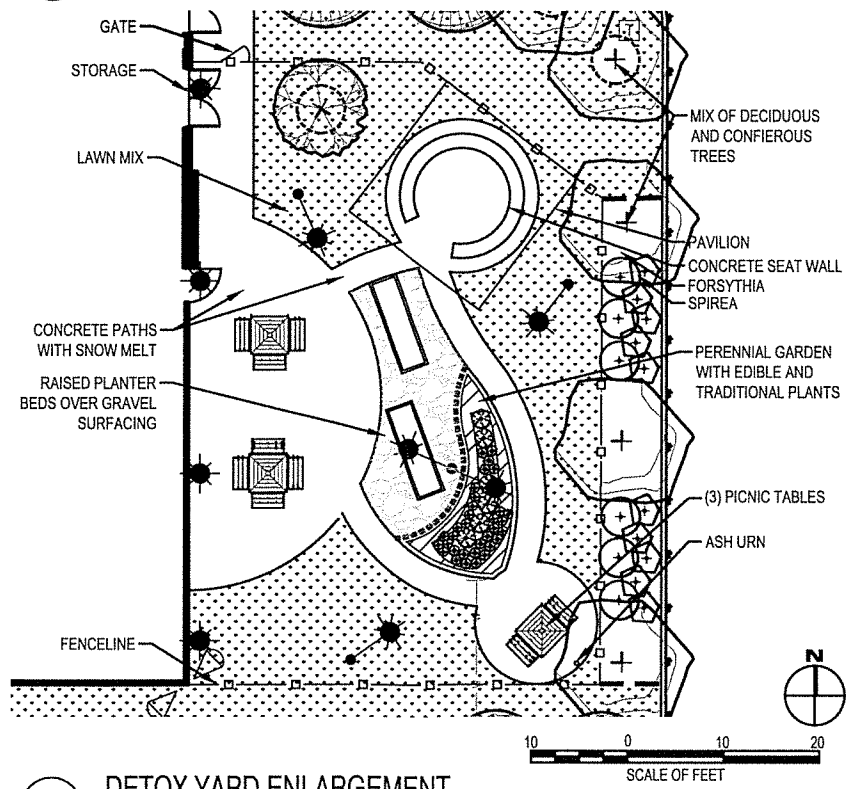
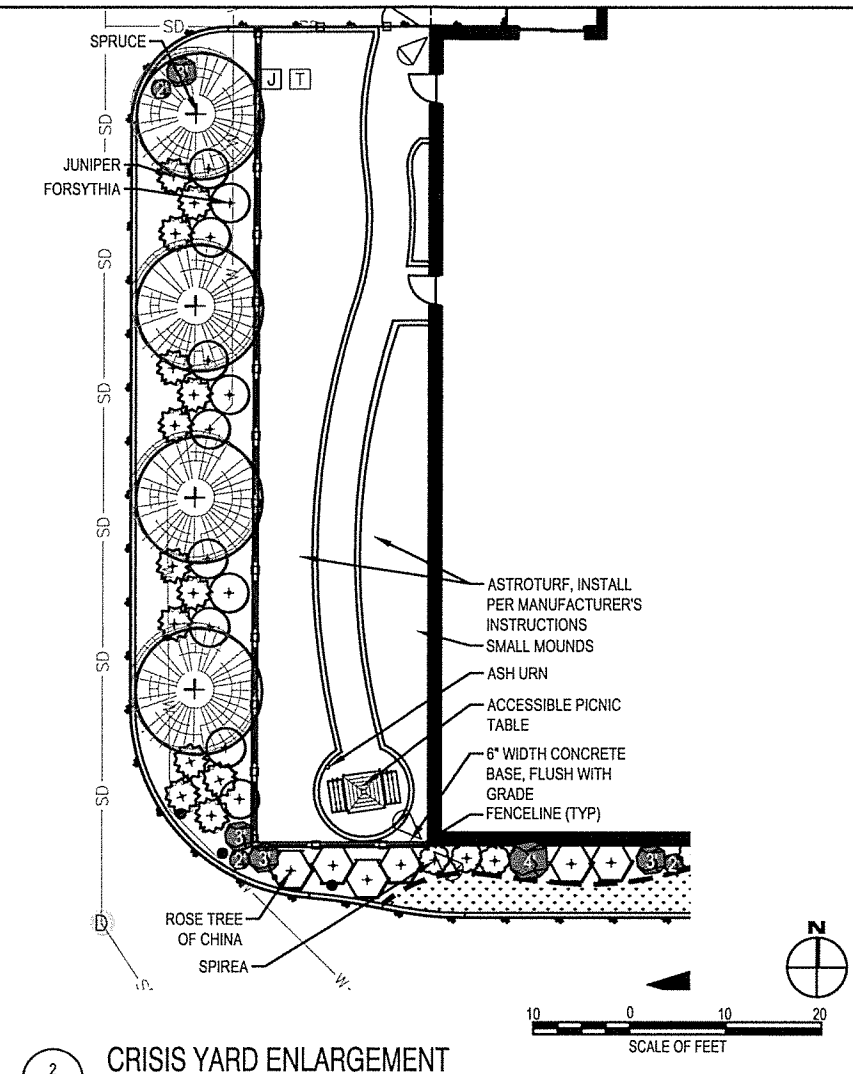
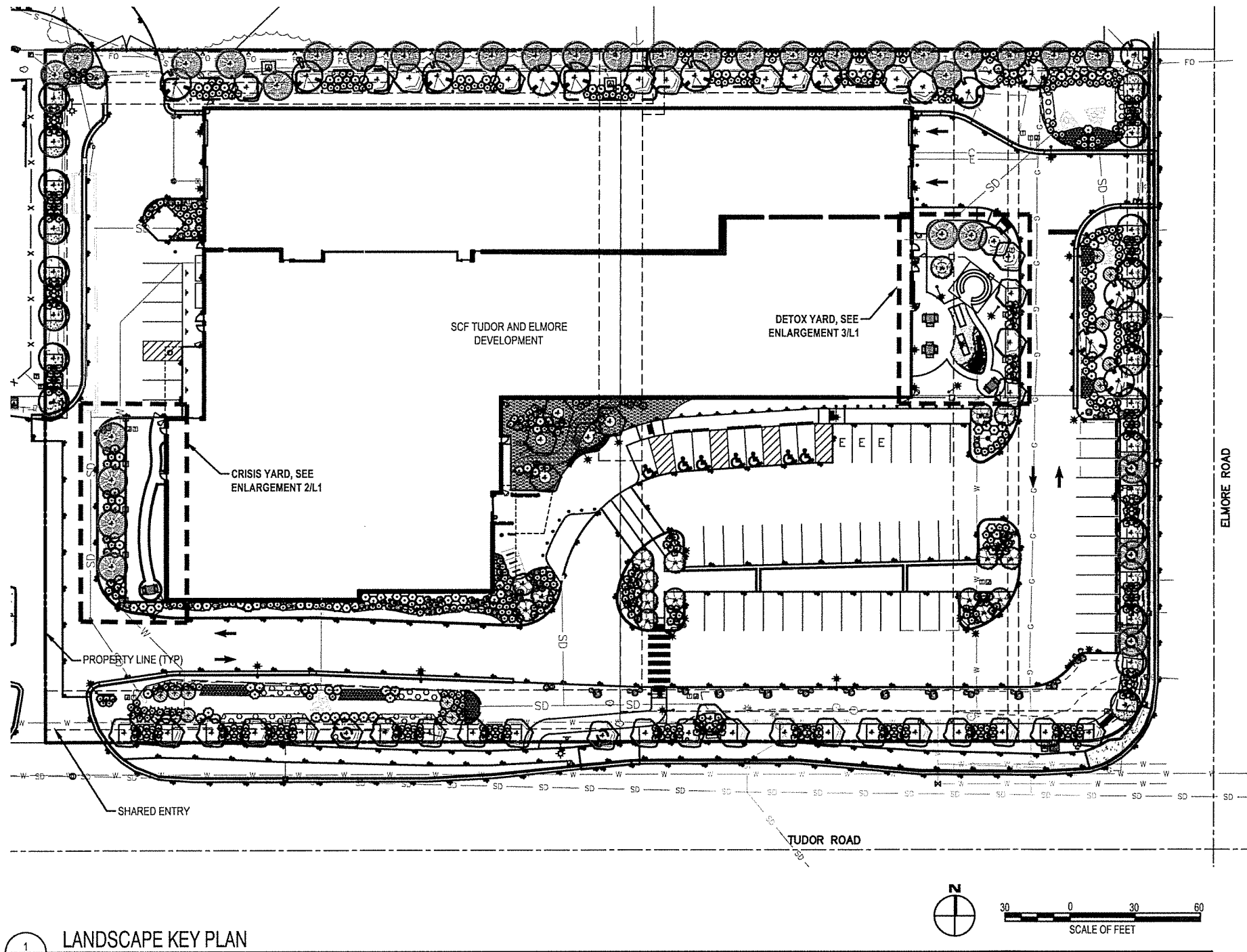
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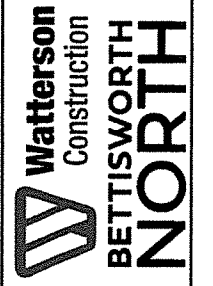
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CORPORATE NO. AEC219
BETTISWORTHNORTH.COM



SOUTHCENTRAL FOUNDATION
TUDOR & ELMORE DEVELOPMENT
ANCHORAGE, ALASKA

REVISION SCHEDULE		
#	DESCRIPTION	DATE

JOB NO. 23-057
DATE 10.21.2024
DRAWN SC
REVIEWED MK

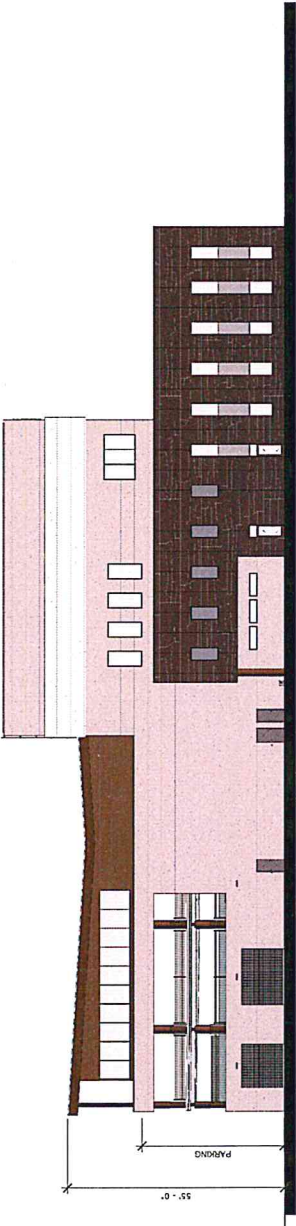
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CRISIS YARD

SHEET NO.
L1

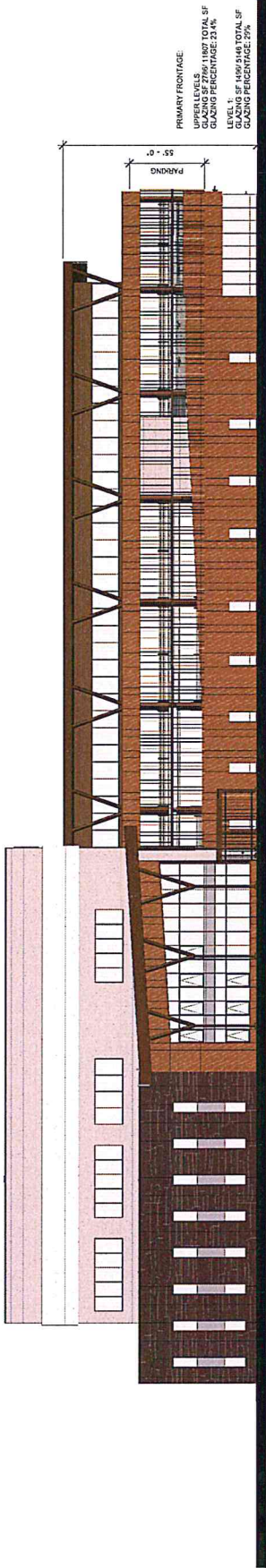
TUDOR & ELMORE DEVELOPMENT
EXTERIOR ELEVATIONS

EXTERIOR FINISH LEGEND

MP1 - INSULATED METAL PANEL (CHAMPAGNE BRONZE)	MP2 - INSULATED METAL PANEL (BRONZE)	ST1 - STONE PANEL (PULPIS)	PUP1 - PNEUMATIC WOOD LAMINATE PANEL (RUSTIC)	PP1 - PERFORATED METAL PANEL	MP3 - INSULATED METAL CARBON PANEL ARTWORK BY OTHERS (BRONZE)



1 ELEVATION - WEST
1/16" = 1'-0"



2 ELEVATION - SOUTH
1/16" = 1'-0"

SCALE: 1/16" = 1'-0"
10.04.2024
HALF SCALE WHEN PRINTED AT 11x17

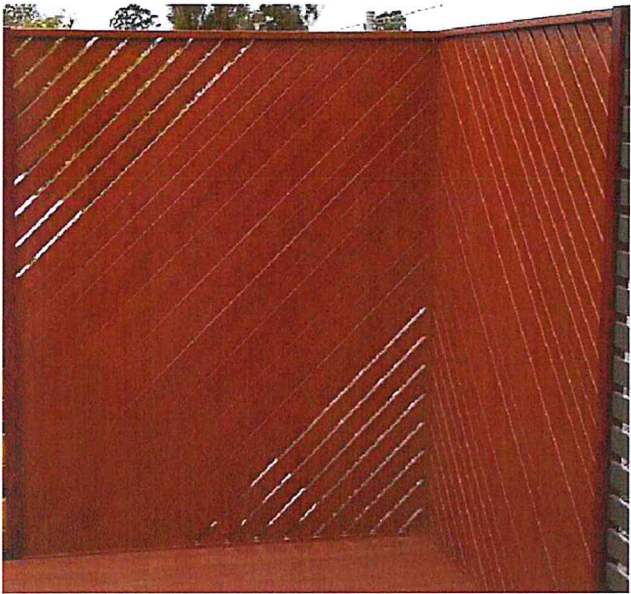


Britplas BP 80 Security Fencing



BP-80 Security Fencing is an anti-ligature, anti-tamper, and anti-climb aluminum fence that allows for the screen printing of different images on cloaking panels. These panels could be printed to reflect the architectural elements or a natural scene.

Knotwood Fence System

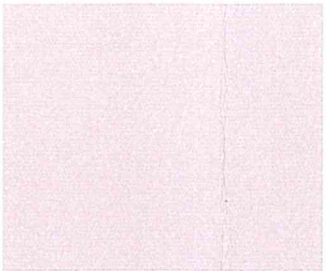


Knotwood Fencing is an aluminum fence that can be manufactured and assembled to be anti-ligature, anti-tamper, and anti-climb and resemble a wooden fence with many different color options. This option would allow for a more classic fence look.

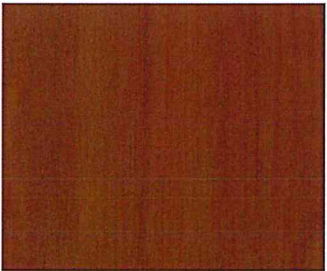
Color Options to match building:



Atlantic Cedar



Vapor Grey



Western Red Cedar

Fence Material Palette Options

SCF Tudor Elmore - Anchorage, AK