

Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Will Earnhardt		Name (last name first) David Popiel	
Mailing Address 9170 Jewel Lake Road, Suite 200		Mailing Address 2550 Denali St., Suite 1300, Anchorage, 99503	
Contact Phone – Day 907.802.2998		Contact Phone – Day 907.771.4523	
Evening 907.276.7609		Evening 303.518.4022	
E-mail president@anchoragenordicski.com		E-mail dpopiel@bettisworthnorth.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 010-411-12-000			
Site Street Address: 8701 Raspberry Road			
Current legal description: (use additional sheet if necessary) T12N R4W Sec 6 SE4, S2NE4, SE4NW4, E2SW4			
Zoning: PLI	Acreage: 360	Grid #: SW2119	Underlying plat #:

SITE PLAN APPROVAL REQUESTED	
Use: Administrative Site Plan Review approval	
<input type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

  9/26/2024
Signature ☐ Owner ☒ Representative Date
(Representatives must provide written proof of authorization)

David Popiel
Print Name

Accepted by:	Fee:	Case Number: 2024-0119	Decision Date admin: 12/27/2024
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COMPREHENSIVE PLAN INFORMATIONImprovement Area (per AMC 21.08.050B.): ☒ Class A ☐ Class B**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|--|
| <input type="checkbox"/> Large Lot Residential | <input type="checkbox"/> Single and Two-family Residential | <input type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High | <input type="checkbox"/> Neighborhood Center |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Regional Commercial Center | <input type="checkbox"/> City Center |
| <input type="checkbox"/> Commercial Corridor | <input type="checkbox"/> Main Street Corridor | <input checked="" type="checkbox"/> Open Space |
| <input type="checkbox"/> Facilities and Institutions | <input type="checkbox"/> Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|---|---|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development |
| <input type="checkbox"/> Greenway-supported Development | <input type="checkbox"/> Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks | <input type="checkbox"/> Community Facility |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks/open space | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve |
| <input type="checkbox"/> Commercial/Residential | <input type="checkbox"/> Commercial Recreation | | |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: Anch Bowl Park, Nat. Resource, and Rec Plan**ENVIRONMENTAL INFORMATION** (All or portion of site affected)

- | | | | | |
|--------------------------------|---------------------------------------|---------------------------------|--------------------------------|--|
| Wetland Classification: | <input checked="" type="radio"/> None | <input type="radio"/> "C" | <input type="radio"/> "B" | <input type="radio"/> "A" |
| Avalanche Zone: | <input checked="" type="radio"/> None | <input type="radio"/> Blue Zone | <input type="radio"/> Red Zone | |
| Floodplain: | <input checked="" type="radio"/> None | <input type="radio"/> 100 year | <input type="radio"/> 500 year | |
| Seismic Zone (Harding/Lawson): | <input type="radio"/> "1" | <input type="radio"/> "2" | <input type="radio"/> "3" | <input type="radio"/> "4" <input checked="" type="radio"/> "5" |

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|--|
| <input type="checkbox"/> Rezoning - Case Number: |
| <input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat - Case Number(s): |
| <input type="checkbox"/> Conditional Use - Case Number(s): |
| <input type="checkbox"/> Zoning variance - Case Number(s): |
| <input type="checkbox"/> Land Use Enforcement Action for |
| <input type="checkbox"/> Building or Land Use Permit for |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corps of Engineers <input type="checkbox"/> Municipality of Anchorage |

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original)
☒ Watershed sign off form, completed
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 7 copies required: ☐ Signed application (copies)
☒ Project narrative explaining:
 ☒ the project ☒ planning objectives
 ☒ addressing the site plan review criteria on page 3 of this application
☒ Site plan to scale depicting, with dimensions:
 ☒ building footprints ☐ parking areas ☐ vehicle circulation and driveways
 ☒ pedestrian facilities ☒ lighting ☐ grading
 ☐ landscaping ☐ loading facilities ☐ freestanding sign location(s)
 ☐ required open space ☐ drainage ☐ snow storage area or alternative
 strategy
 ☐ trash receptacle location and screening detail ☐ fences
 ☒ significant natural features ☐ easements ☒ project location
☒ Building plans to scale depicting, with dimensions:
 ☒ building elevations ☒ floor plans ☒ exterior colors and textures
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

To: Paul Hatcher, Senior Planner
Planning Department – Municipality of Anchorage

Subject: Administrative Site Plan Review Application: NSAA Kincaid Stadium Storage Facility

Date: September 26, 2024

Introduction

The proposed project is a small storage building in the 'stadium' area of Kincaid Park. Under Title 21, the project will be a storage building that is an accessory use to a public park (AMC 21.05.040-G). The property is owned by the Municipality of Anchorage (MOA) and is managed by the MOA Parks & Rec Department. The site is zoned Public Lands and Institutions (PLI).

The proposed development is one (1) storage building of approximately 800 sf. The building is accessed via a man door at the southwest corner with storage items being accessed from an overhead sectional door on the building's east elevation. The facility will be maintained by the Nordic Ski Association of Anchorage (NSAA) and the stored items will consist of equipment for cross country ski races held at Kincaid. The building is north of the existing timing building used by NSAA. The legal description of the site is T12N R4W Sec 6, with an address of 8701 Raspberry Road. There will be no vehicular access to the building.

The building will be leased from the Municipality as managed by the Heritage Land Bank, to NSAA. The project architect is Bettisworth North Architecture and Planning (BNAP). Site and building construction is anticipated to begin in the spring of 2025.

Request for Approval

This application requests approval for this Administrative Site Plan Review for this development. Please see the narrative below and attached plan sets for more information.

Application Requirements

The proposed storage building development includes one (1) building structure on one (1), PLI zoned lot. The building use is an accessory to a permitted use per Title 21 (AMC Table 21-05-1: Parks and Open Area – Park, Public/Private). The applicable sections of Title 21 are as follows:

- AMC 21.04.060.E – PLI : Public Lands and Institution District
- AMC 20.05.040.G – Parks and Open Areas
- AMC 21.06.020.C – Dimensional Standards: Other Districts
- AMC 21.07 – Development and Design Standards
 - 21.07.040.D.3.a – Drainage Plan
 - 21.07.040.E – Stormwater Treatment Plan
- AMC 25.30.020 – Disposal of Municipal Land

AMC 21.05.040.G – Parks and Open Areas

1. **Purpose:** This category includes uses of land focusing on natural areas consisting mostly of vegetative landscaping or outdoor recreation. Accessory uses may include clubhouses, playgrounds, maintenance facilities, etc. All development projects costing less than \$500,000 and disturbing less than 1 acre of land shall be approved by Administrative Site Plan Review.

The proposed development is one (1) 20'x40' storage building with an intended use of storing equipment for cross country ski races held in Kincaid. The intended use qualifies as a facility used in support of park functions. The anticipated cost of the project is approximately \$250,000 with minimal ground disturbance due to the facility having a helical pile foundation.

AMC 21.06.020.C – Table 21.06-3 Dimensional Standards

2. **Purpose:** In PLI districts, the following dimensional standards are required to control overall building bulk and lot coverage, define character in different zones, promote reasonable building scale, and promote efficient use of service capacity. The following setbacks apply to the proposed development:
 - a. **Minimum Lot Dimensions:** 6,000sf, 50 ft in width, and a maximum lot coverage of 45%.
 - b. **Front, rear, and side setbacks:** 25 ft
 - c. **Maximum building height:** 45 ft.

The proposed development is one (1) 20'x40' storage facility with a height of approximately 16' above grade. Overall lot size is 360 acres and the building is located well within the perimeter of the lot boundaries to satisfy the minimum setback requirements.

AMC 21.07.040.D.3.a – Drainage Plan

3. **Purpose:** Drainage plan shows post-development drainage patterns of site. Applications for the following entitlements shall include a drainage plan: Administrative Site Plan review. The drainage plan submittal requirement may be waived by the director and municipal engineer if both agree such a plan is not necessary.

The proposed development is one (1) 20'x40' storage facility with pile foundation and a shed roof. The building's impact to site drainage will be minimal. There is limited grading associated with the project and the building footprint will not significantly change or impact the existing drainage patterns on-site. We request that the requirement for a drainage plan be waived for the proposed development.

AMC 21.07.040.E – Stormwater Treatment Plan

1. **Purpose:** A stormwater treatment plan shall show both the controls put in place during construction and any needed post-development controls to prevent erosion and protect water quality. A stormwater treatment plan shall not be required for the following: Any earth disturbance that is less than 500 square feet in area.

The proposed development is one (1) 20'x40' storage facility on a pile foundation with stair access at the southwest corner. The pile foundation consists of 14 helical driven piles, each with an estimated diameter of 12". The stair access will touch the ground with a pressure treated 4x12 approximately 5' long. The total ground disturbance for the development will be less than 500 square feet. We request that the requirement for a stormwater treatment plan be waived for the proposed development.

AMC 25.30.020.C – Disposal By Ordinance

FAIRBANKS

📍 212 Front Street, Suite 200 Fairbanks, AK 99701
📞 907.456.5780 📠 907.451.8522

ANCHORAGE

📍 2550 Denali Street, Suite 1300 Anchorage, AK 99503
📞 907.561.5780 📠 907.562.5780

1. Revocable permits or licenses are deemed to be without substantial value to the Municipality if the agreement meets the following conditions.

c. If structure or improvement is authorized, it must be removable within 30 days of termination of agreement.

The proposed development will be leased under a revocable permit per an existing agreement with Heritage Land Bank (HLB). Per Municipal code, the structure must be removable within 30 days if the agreement is terminated. The design of the facility accommodates this requirement by using a helical pile foundation which minimizes site disturbance. If the agreement is terminated, the building can be removed and the site restored to its previous state with no visible impact from the building or building foundation.

Site Plan Review Standards (21.03.180)

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.

The site plan is consistent with both the Kincaid Park Master Plan (2006) and the 2040 Anchorage Land Use Plan. The Kincaid Park Master Plan describes the 'Start/Finish Area' with an overall orientation to the east. The proposed development matches the eastern orientation of the existing Timing Building with views across the stadium field to the east. The proposed building aligns with the Timing building along the western edge of the area.

The 2040 Anchorage Land Use Plan details uses for park area zoned PLI. Included in the goal uses is active park areas with privately operated recreation facilities including sports complexes with allowed ancillary uses such as park maintenance facilities. The proposed site plan includes a storage building that is in support of an existing sports complex that is operating within Kincaid Park.

2. The site complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in Chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, Chapter 21.06, Dimensional Standards and Measurements, and Chapter 21.07, Development and Design Standards.

The development and design standards associated with these chapters have been addressed in detail above.

3. The site plan addresses any significant adverse impacts that can be reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

Significant adverse impacts by this development are not anticipated. The structure is designed to minimize its footprint on the park and to better function during winter events. As noted in analysis above, if the structure is removed, there will be minimal impact to the quality and character of the park area.

4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

As noted above, the proposed development is a storage building that is supporting the operations of an existing sports complex at Kincaid.

The proposed development is consistent with Goal 8 of the 2040 Anchorage Land Use Plan

- Anchorage maintains, improves, and strategically expands parks, greenbelts, and trail corridors to enhance land values, public access, neighborhoods, and mixed use centers.

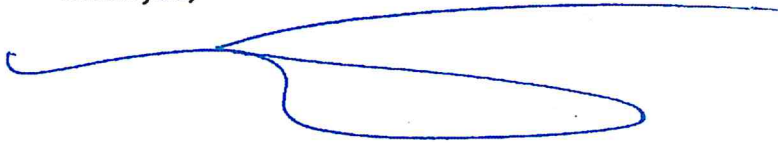
Authorization Certificate

Date: August 19, 2024
Project Name: Kincaid Stadium Storage Building
Legal Description: 8701 Raspberry Road, Anchorage, Alaska, 99502
T12N R4W Sec 6
Type of Authorization: Administrative Site Plan Review

Statement:

I hereby authorize David Popiel of Bettisworth North Architects and Planners to represent me in the Municipality of Anchorage Administrative Site Plan Review of the above-described property.

Thank you,



William Earnhart

Board President

Nordic Skiing Association of Anchorage



Municipality of Anchorage, Alaska
Parks and Recreation Department

632 W 6th Avenue, Suite 630
PO Box 196650
Anchorage, AK 99519
Tel 907-343-4355
www.muni.org/parks



Memorandum

Date: 9/23/2024
To: MOA Planning

Cc: David Popiel (Bettisworth North)
Will Earnhart (NSAA)
Taylor Keegan (MOA APR)

From: Michael Braniff, APR Director *MB*
Re: NSAA structure at Kincaid Park

The Anchorage Parks and Recreation Department has reviewed the submitted plans for the Kincaid Stadium Storage building dated 8/2/24 that were sent via email to the department. APR is supportive of the project and approves it's construction on park property as submitted.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: TBD (no subdivision name)
- Project Location, Tax ID, or Legal Description: 01041112000
- Project Area (if different from the entire parcel or subdivision): See attached. New storage building is proposed.

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~YES~~ **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	WMS written drainage recommendations are available.	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final
<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	WMS written field inspection report or map is available.	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Final
<input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Field flagging and/or map-grade GPS data is available.		

Inspection Certified By:

Date:

Kyle Cipe

8/8/24

MOA MapIt!

MOA Geographic Data Information Center

Address or Parcel Search

Choose your data!

- ☐ Tax Map Grid
- ☐ 100 Scale Grid
- ☒ 500 Scale Grid
- ☐ Airport Boundaries
- ☐ Airport Runways
- ☐ RR Centerline
- ☐ Lakes
- ☐ Streams
- ☐ Marine
- ☐ Military Boundary
- ☐ Chugach National Forest
- ☐ Chugach State Park
- ☐ Contours 2015
- ☐ Photo_2002
- ☐ Photo_2004
- ☐ Photo_2006
- ☐ Photo_2015
- ☒ Photo_2021 June

Project Location

NOA Grid 31004

Err, USGS, FEMA | Kasil Peninsula Borough, Matanuska-Susitna Borough GIS, Municipality of Anchorage

400ft

350 G922 61 15710 Display

Copy View

Click to view the map system and leave

Available when you log off

NOT FOR CONSTRUCTION

SHEET SPECIFICATIONS

A003

PROJECT NO.:

DATE:

DRAWN BY:

CHECKED BY:

24-108

2024-08-22

RHR

DP

2024-08-22

RHR

DP

CONSULTANT:

NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
ANCHORAGE, ALASKA

PERMIT DOCUMENTS

BETTISWORTH NORTH

CORPORATE: 603.422238

BETTISWORTHNORTH.COM

- [illegible]

[illegible]

1

ECHO

4

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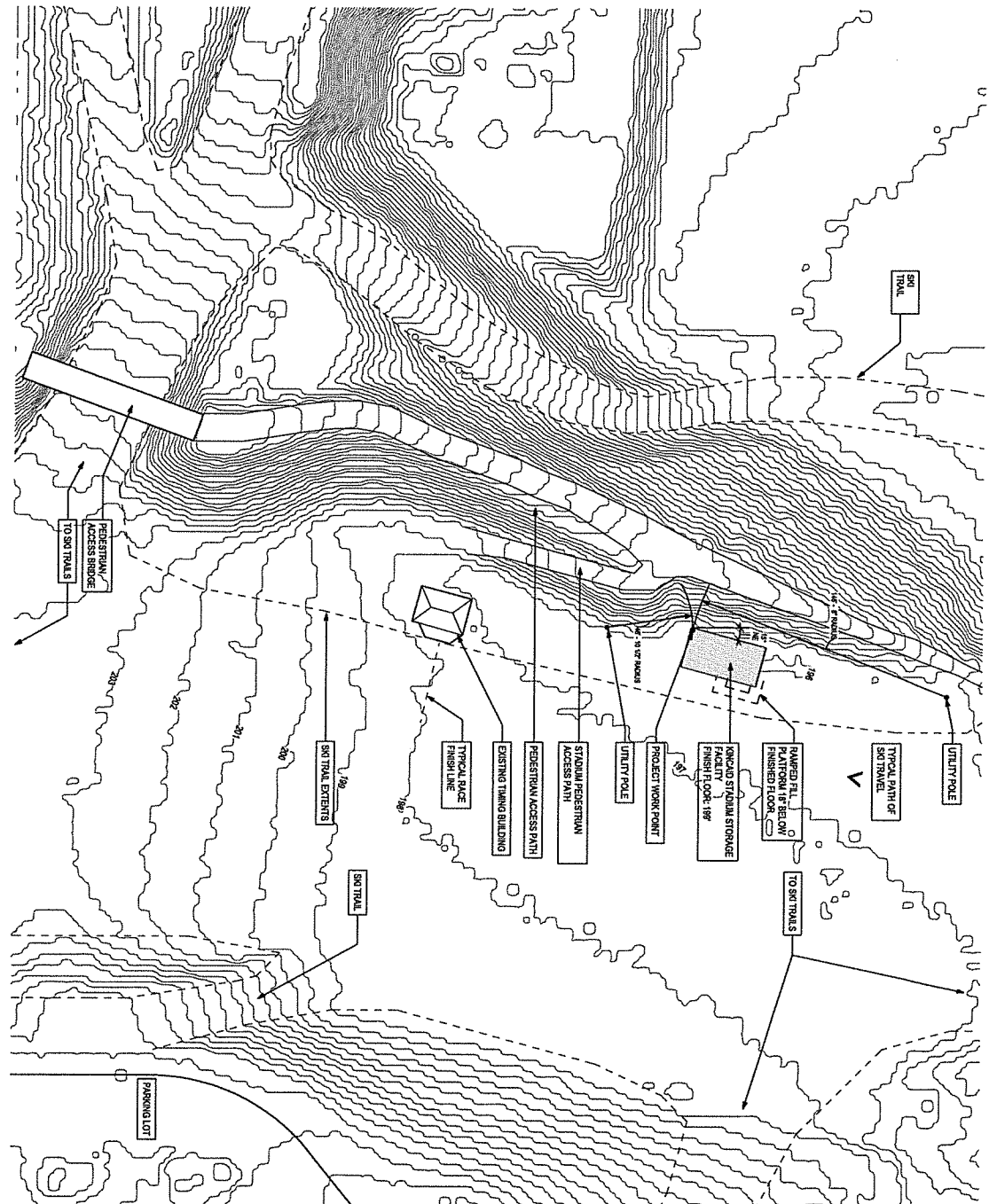
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1 SITE PLAN
A100
1" = 30'-0"

0' 15' 30' 60' 120'



GENERAL SITE NOTES

THE DESIGNER/CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COMMENCEMENT OF WORK. PROPERTY REPRESENTATIVE IN WRITING OF ALL CONDITIONS OBSERVED ON EXISTING CONDITIONS OBSERVED.

WORK LIMITS: THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING ALL WORK WITHIN THE LIMITS OF CONSTRUCTION AREAS SHOWN ON THIS PLAN. ANY WORK DONE OUTSIDE THESE LIMITS SHALL BE PROTECTED BY THE CONTRACTOR. THE LIMITS OF CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL STATE BY THE CONTRACTOR AT NO ADDITIONAL CHARGE TO THE OWNER.

REFERENCE ELEVATION: THE ARCHITECTURAL REFERENCE ELEVATION OF 0.0 FOR THE DATA ELEVATION OF 189.7. THE STRUCTURAL/ELECTRICAL PLANS WILL CORRESPOND TO THE ARCHITECTURAL ELEVATION.

UTILITY LOCATIONS: CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WITH THE UTILITY EXCAVATION OF ALL WORK. PROJECT RELATED UTILITIES INCLUDE ELECTRIC POWER SERVICE, NOTIFICATIONS TO ANCHORAGE UTILITY DEPARTMENT AND RECORDING OF ALL UTILITIES NOTED AND COORDINATED IN THIS SECTION.

ASSOCIATED SITE PLANS: SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.

LEGAL DESCRIPTION: THE FOLLOWING LEGAL DESCRIPTION FOR THE PROPERTY IS ON RECORD WITH THE MUNICIPALITY OF ANCHORAGE:

T15N R4W SEC 6
SEA SENEAL SEANNA E2594
POINT CAMPBELL

PROJECT WORK POINT: INTERSECTION OF GRID A/I, REFER TO FLOOR PLAN.

NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
ANCHORAGE, ALASKA

CONSULTANT:

PERMIT DOCUMENTS

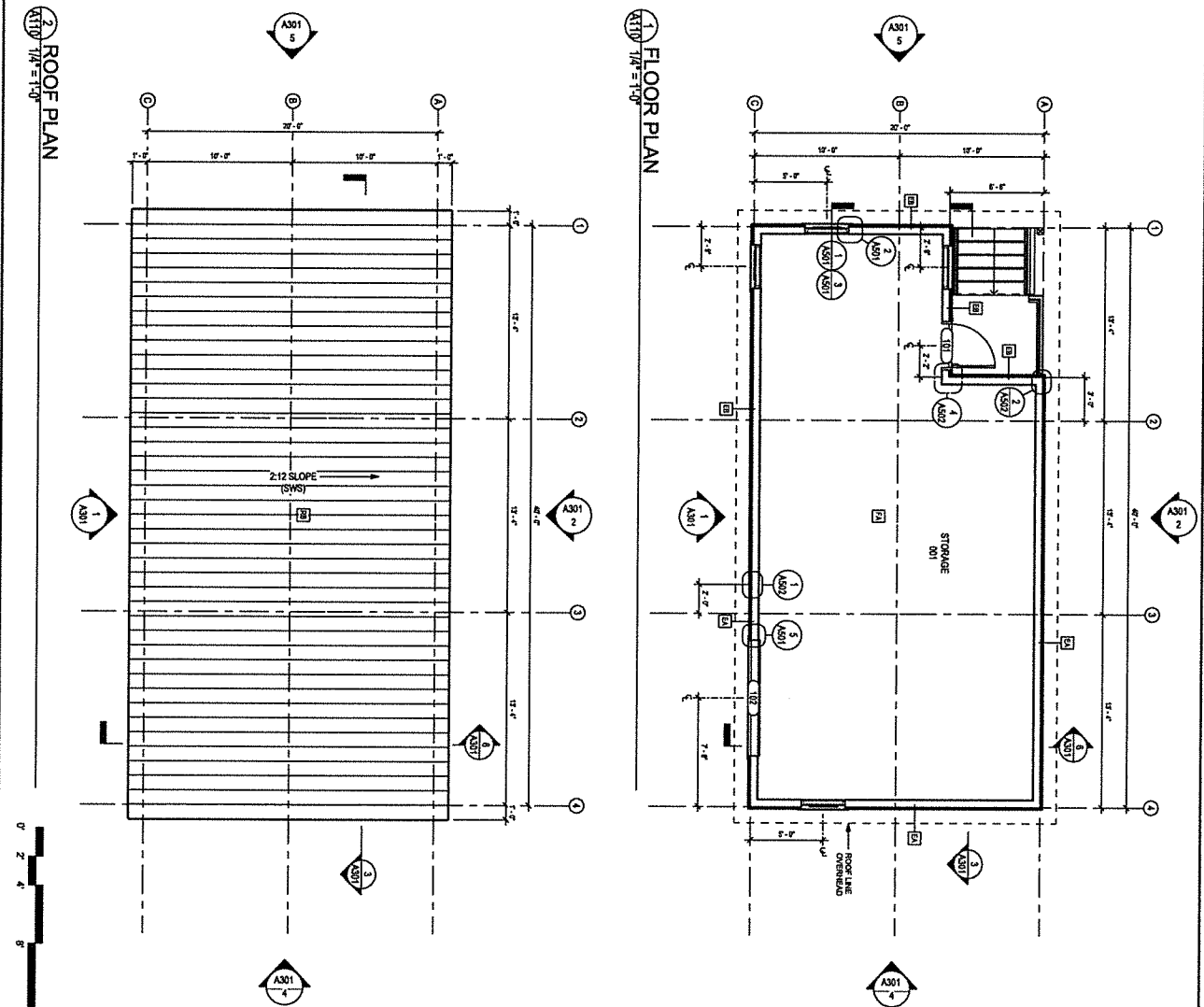
BETTISWORTH NORTH

CORPORATE NO. A63219 BETTISWORTHNORTH.COM

SITE PLAN

A100

PROJECT NO:	24-108	
DATE:	2024-04-02	
DRAWN BY:	RFR	
CHECKED BY:	DP	
REVISION	DESCRIPTION	DATE



DOOR HARDWARE

DOOR HARDWARE SET #1

HINGES:

- TYPE: HEAVY-DUTY COMMERCIAL, GRADE
- QUANTITY: 3
- SIZE: 4 1/2 X 4 1/2
- FINISH: SATIN CHROME

DOOR LOCKS:

- TYPE: HEAVY-DUTY COMMERCIAL, GRADE
- QUANTITY: 3
- SIZE: 4 1/2 X 4 1/2
- FINISH: SATIN CHROME

DOOR FRAME:

- TYPE: HEAVY-DUTY COMMERCIAL, GRADE
- QUANTITY: 3
- SIZE: 4 1/2 X 4 1/2
- FINISH: SATIN CHROME

DOOR SCHEDULE

DOOR NO.	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	JAMB	HEAD	HARDWARE
001	G	3'-0"	7'-0"	1 3/4"	RM	PF	1	RM	PF	0	0	0
002	ON	8'-0"	8'-0"	1 1/2"	MTL	PF	-	-	-	0	0	0

FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	REMARKS
001	STORAGE	IS-2	IS-1	IS-1	IS-1	IS-1	PT-1	

FINISH LEGEND

- IS-1: INTERIOR TRANSPARENT STAIN (VERTICAL SURFACES)
- IS-2: INTERIOR TRANSPARENT STAIN (FLOORS)
- PT-1: INTERIOR PAINT

GENERAL FLOOR PLAN NOTES

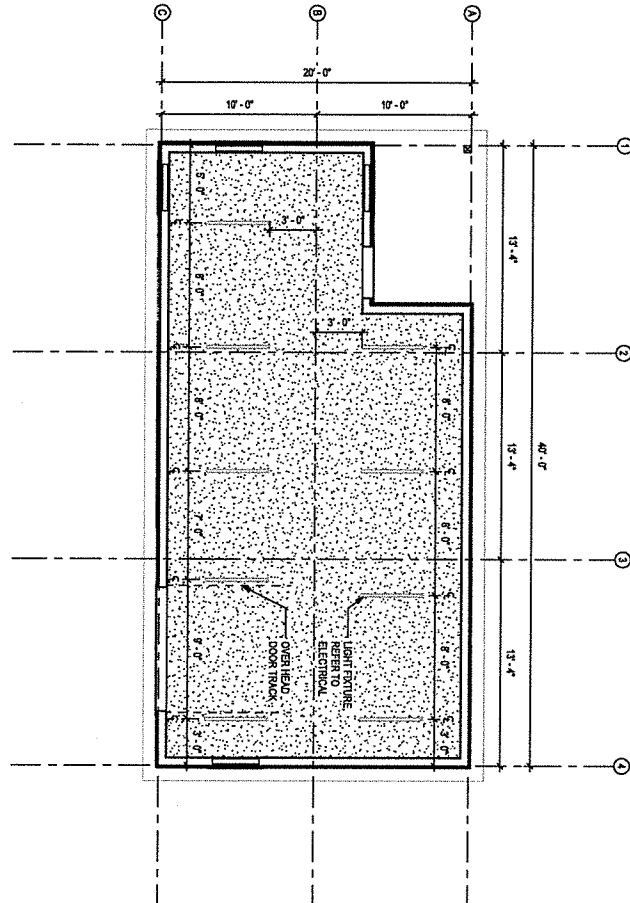
SEE ARCHITECTURAL THE CONTRACTOR SHALL FURNISH ALL DIMENSIONS TO WORK PROMPTLY NOTIFY THE ARCHITECT WRITING OF ALL DISCREPANCIES IN NEW OR EXISTING CONDITIONS.

DIMENSIONING GUIDE: ALL DIMENSIONS ARE TAKEN FROM GRIDS TO FACE OF END UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN SURFACES WILL BE NOTED WHERE DIMENSIONS ARE TAKEN FROM SURFACES UNLESS OTHERWISE NOTED. ALL DIMENSIONS STATIONS AND SHALL BE TREATED WITHOUT SET BACKS OR OFFSETS OF PRECEDENCE.

DOOR OPENINGS: ALL DOOR OPENINGS ARE TAGGED IN CORRESPONDENCE WITH THE DOOR TYPE SCHEDULE.

DOOR JAMBS: ALL DOOR JAMBS ARE LOCATED 5" FROM FACE OF DOOR JAMBS TO INSIDE WALL TO JAMB ROUGH OPENING LINO.

REFLECTED CEILING PLAN



GENERAL REFLECTED CEILING PLAN NOTES

FIELD VERIFICATION: THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROPERLY NOTIFY THE ARCHITECT AND OWNERS IMMEDIATELY IN WRITING OF ANY DISCREPANCIES IN THE NEW AND EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ALL ABOVE CEILING WORK TO MEET THE SCHEDULED CEILING HEIGHTS.

DIMENSION GUIDE: ALL DIMENSIONS ARE TAKEN FROM GRID LINE AND FACE OF STUD PARTITIONS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS WILL BE NOTED WHERE APPLICABLE FROM MATERIAL FINISHES.

CEILING FINISHES: REFER TO SHEETS A116 FOR SCHEDULED CEILING FINISHES.

CEILING DEVICES: ALL CEILING LAYOUT PLANS SHOW MOST ELECTRICAL DEVICES. SEE ELECTRICAL DOCUMENTS FOR ADDITIONAL INFORMATION. CONTRACTOR TO COORDINATE LAYOUT OF ALL DEVICES.

PARTITION TYPES: PARTITION TYPES ARE REFERENCED ON THE CORRESPONDING FLOOR PLAN SHEETS A116, AND SCHEDULED ON SHEET A401.

TRUE NORTH

PLAN NORTH

NOT FOR CONSTRUCTION

PROJECT NO:	24-108
DATE:	2024-06-02
DRAWN BY:	RHR
CHECKED BY:	DP
DATE:	
BY:	
DATE:	
BY:	
DATE:	
BY:	

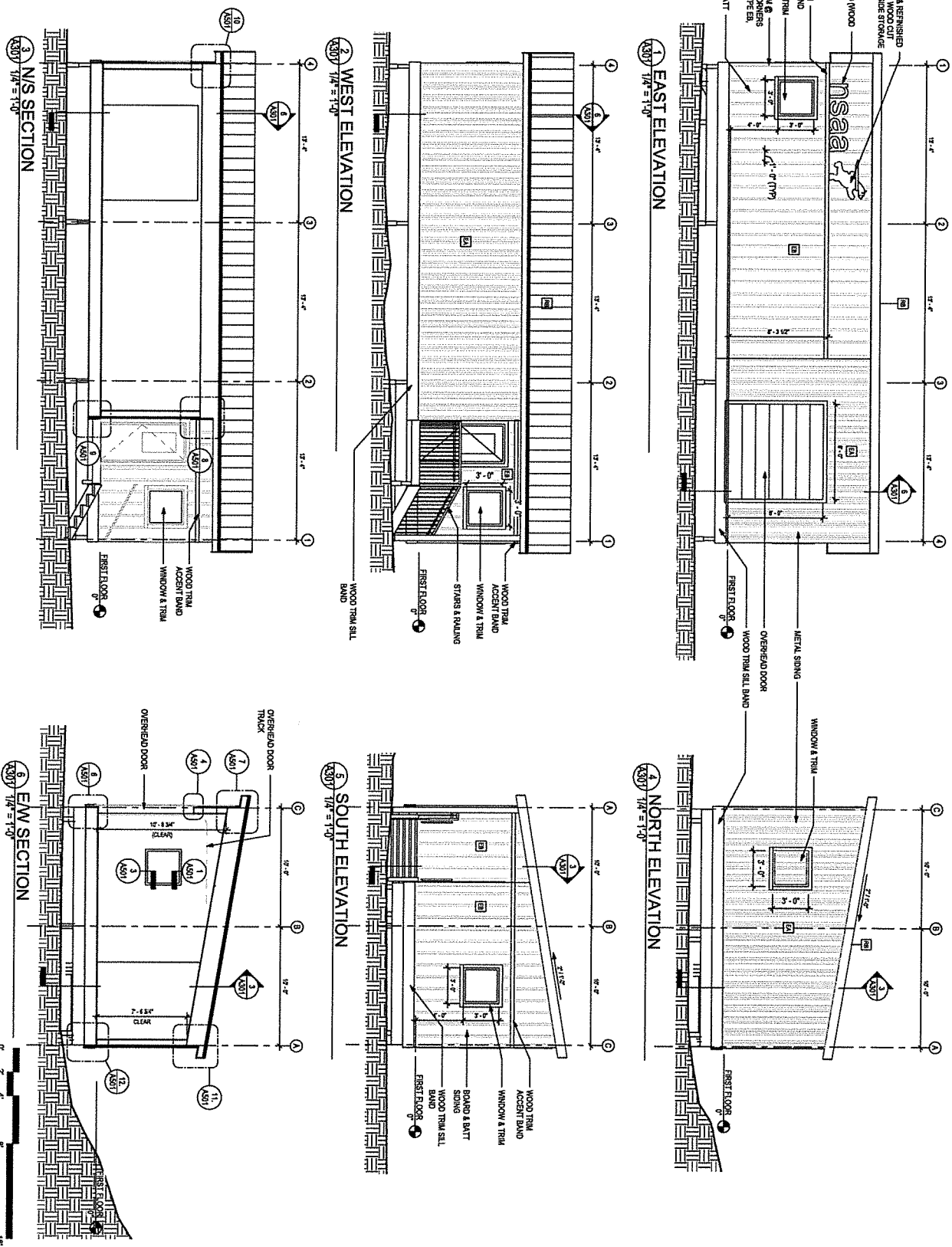
CONSULTANT:

NORDIC SKI ASSOCIATION OF ANCHORAGE

NSAA: KINCAID STADIUM STORAGE FACILITY

ANCHORAGE, ALASKA

PERMIT DOCUMENTS

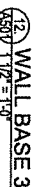
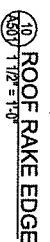


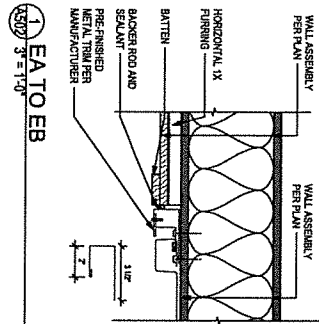
NORDIC SKI ASSOCIATION OF ANCHORAGE
**NSAA: KINCAID STADIUM STORAGE
 FACILITY**
 ANCHORAGE, ALASKA

BETTISWORTH NORTH

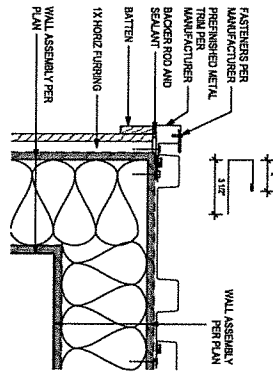
CORPORATE NO. AEC0218 BETTENNORTH.COM

[illegible]

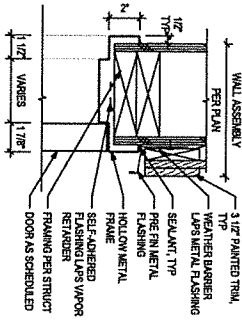




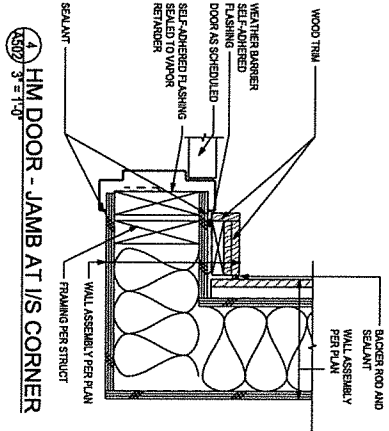
1 EA TO EB
3/8" = 1'-0"



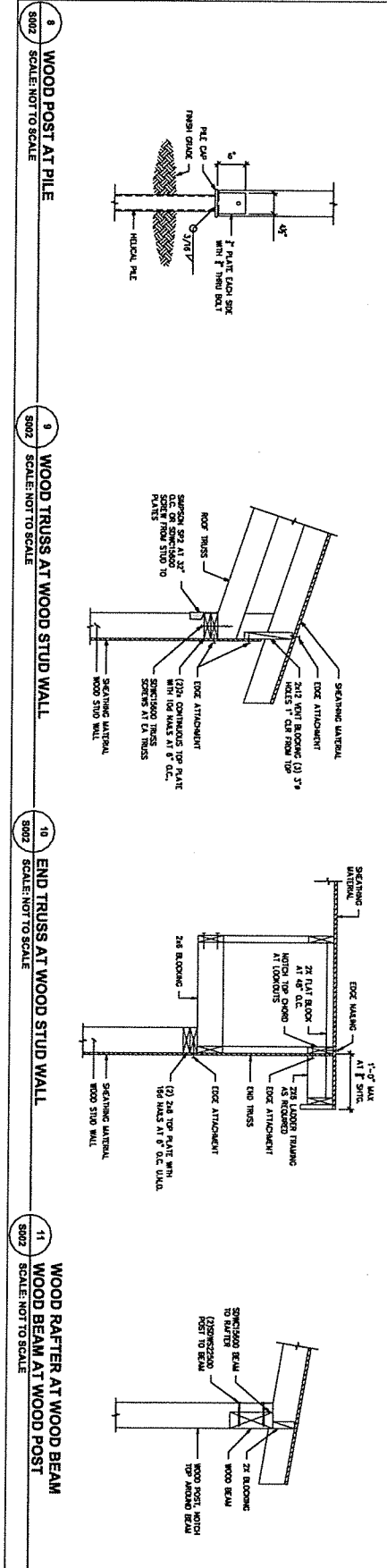
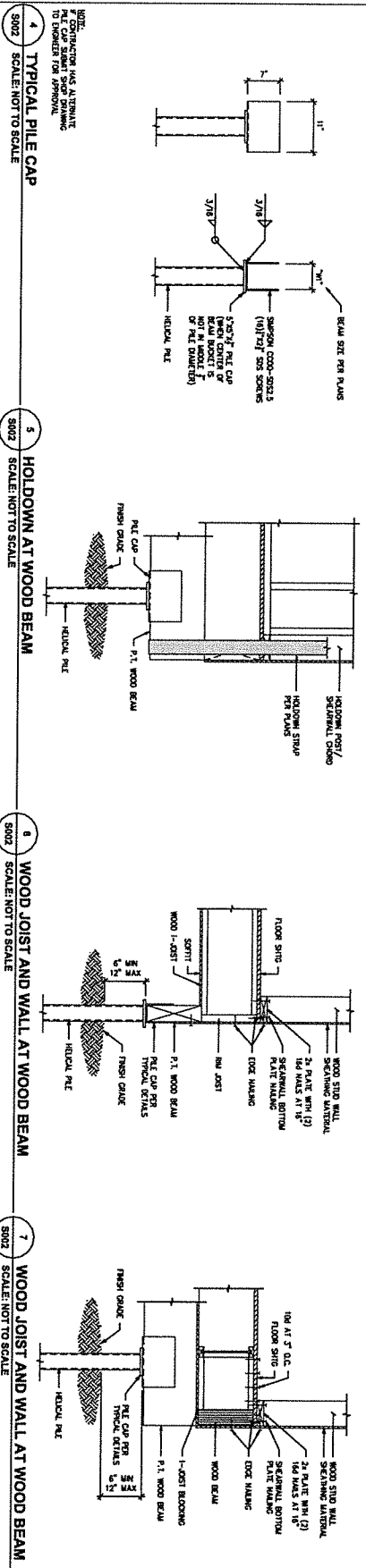
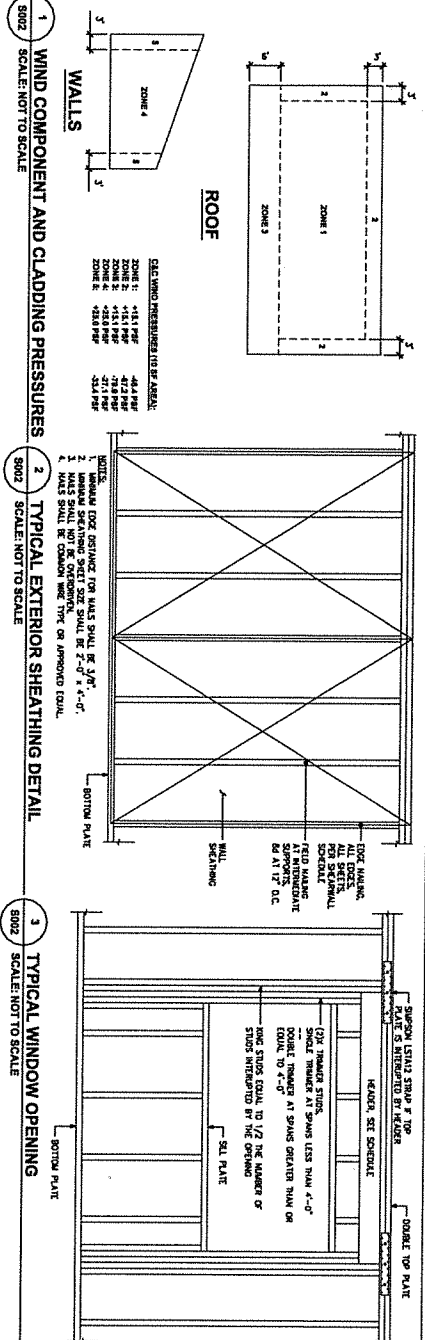
2 EA TO EB AT O/S CORNER
3/8" = 1'-0"



3 HM DOOR - HEAD
3/8" = 1'-0"



4 HM DOOR - JAMB AT I/S CORNER
3/8" = 1'-0"

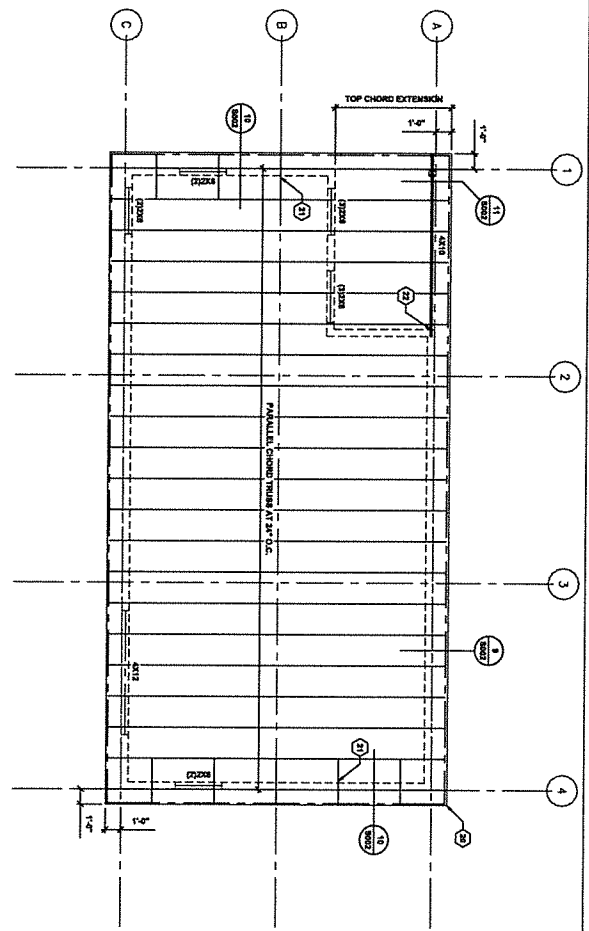




- FOUNDATION NOTES:**

- 1 FOUNDATION PLAN
S110 SCALE: 1/4" = 1'-0"

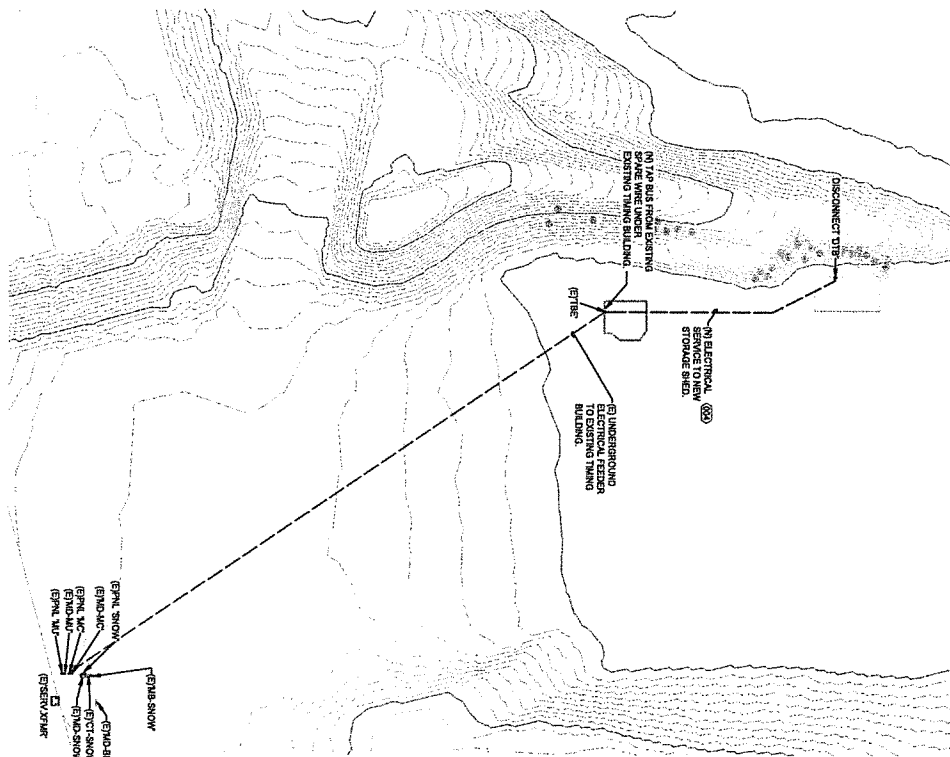
1
S111
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



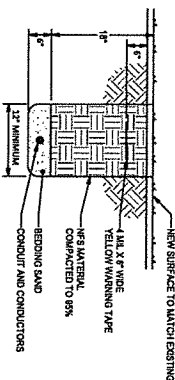
ROOF FRAMING NOTES:

- 20. [] ROOF SEALING PER GENERAL STRUCTURAL NOTE.
- 21. 2X4 FLAT LOOMENTS AT 48" O.C. 2X8 BEAM AS REQ.
- 22. BEAM JOIST ATTACH POINT TO CORNER STUD WITH ANCHOR LAGS AS REQ.

1 ELECTRICAL SITE PLAN
SCALE: 1" = 40'



2 TRENCHING DETAIL
SCALE: 1" = 12'



3 REFERENCED SHEET NOTES

REF NOTE 004 PROVIDE NEW UNDERGROUND CONDUIT ROUTED AS SHOWN. SEE DETAIL 2 ON THIS SHEET FOR TRENCHING DETAIL.

E101
ELECTRICAL SITE PLAN

PROJECT NO:	E24-4437
DATE:	06/27/2024
DRAWN BY:	NRB
CHECKED BY:	ENG
SCALE:	AS SHOWN
DATE:	06/27/2024
DRAWN BY:	NRB
CHECKED BY:	ENG
SCALE:	AS SHOWN

CONSULTANT:
EIC ENGINEERS, INC.
1111 EAST 11TH AVENUE
ANCHORAGE, ALASKA 99518
WWW.EICENGINEERS.COM

OWNER:
NORDIC SKI ASSOCIATION
1111 EAST 11TH AVENUE
ANCHORAGE, ALASKA 99518
WWW.NSAA.ORG

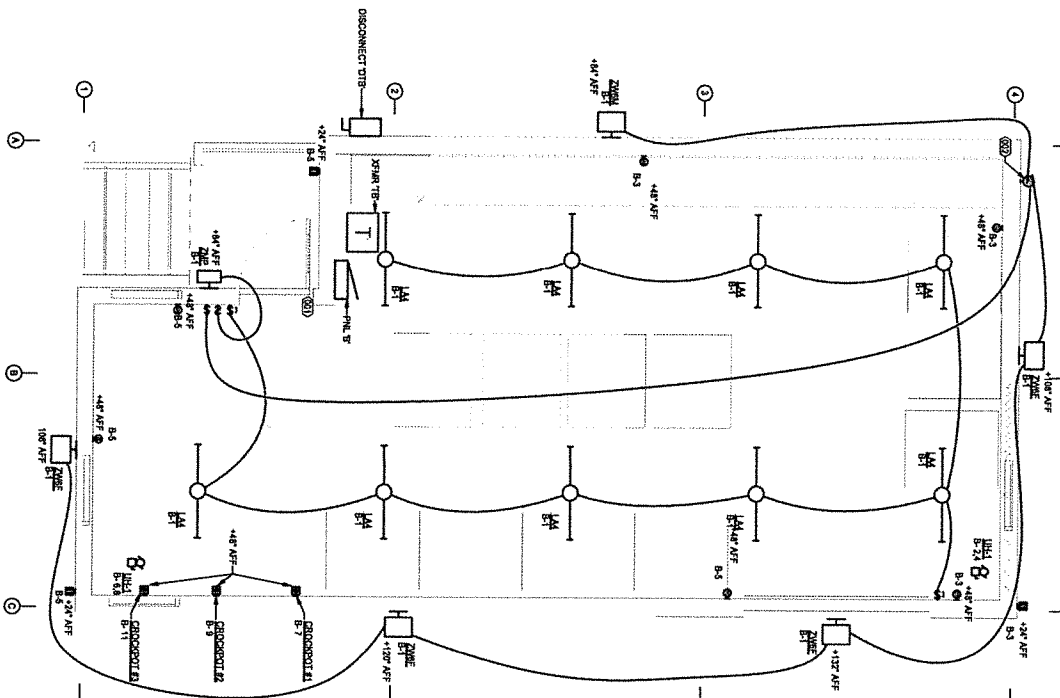
NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA STORAGE FACILITIES
ANCHORAGE, ALASKA
PERMIT SET



BETTISWORTH NORTH

1 ELECTRICAL PLANS

SCALE: 3/8" = 1'-0"



DISTRIBUTION SCHEDULE			
NO.	NAME	TYPE	LOCATION
1	1.1	1.1	1.1
2	2.1	2.1	2.1
3	3.1	3.1	3.1
4	4.1	4.1	4.1
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TRANSFORMER SCHEDULE			
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