

Application for Administrative Site Plan Review

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Will Earnhardt		Name (last name first) David Popiel	
Mailing Address 9170 Jewel Lake Road, Suite 200		Mailing Address 2550 Denali St., Suite 1300, Anchorage, 99503	
Contact Phone – Day	Evening	Contact Phone – Day	Evening
907.802.2998	907.276.7609	907.771.4523	303.518.4022
E-mail president@anchoragenordicski.com		E-mail dpopiel@bettisworthnorth.com	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 010-411-12-000			
Site Street Address: 8701 Raspberry Road			
Current legal description: (use additional sheet if necessary) T12N R4W Sec 6 SE4, S2NE4, SE4NW4, E2SW4			
Zoning: PLI	Acreage: 360	Grid #: SW2119	Underlying plat #:

SITE PLAN APPROVAL REQUESTED	
Use: Administrative Site Plan Review approval	
<input type="radio"/> New SPR	<input type="radio"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

		9/26/2024
Signature	<input type="radio"/> Owner <input checked="" type="radio"/> Representative (Representatives must provide written proof of authorization)	Date

David Popiel
 Print Name

Accepted by:	Fee:	Case Number: 2024-0119	Decision Date admin: 12/27/2024
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COMPREHENSIVE PLAN INFORMATION

Improvement Area (per AMC 21.08.050B.): Class A Class B

Anchorage 2040 Land Use Designation(s):
 Large Lot Residential Single and Two-family Residential Compact Mixed Residential – low
 Compact Mixed Residential–Medium Urban Residential – High Neighborhood Center
 Town Center Regional Commercial Center City Center
 Commercial Corridor Main Street Corridor Open Space
 Facilities and Institutions Industrial

Anchorage 2040 Growth Supporting Features:
 Transit-supportive Development Residential Mixed-use Development
 Greenway-supported Development Traditional Neighborhood Development

Chugiak-Eagle River Land Use Classification:
 Commercial Industrial Parks Community Facility
 Town Center Transportation facility Special study area Development reserve
 Residential at _____ dwelling units per acre

Girdwood- Turnagain Arm Land Use Classification:
 Commercial Industrial Parks/open space Public lands/institutions
 Resort Transportation facility Special study area Reserve
 Commercial/Residential Commercial Recreation
 Residential at _____ dwelling units per acre

Neighborhood, District or Other Area-Specific Plan: Anch Bowl Park, Nat. Resource, and Rec Plan

ENVIRONMENTAL INFORMATION (All or portion of site affected)

Wetland Classification: None "C" "B" "A"
 Avalanche Zone: None Blue Zone Red Zone
 Floodplain: None 100 year 500 year
 Seismic Zone (Harding/Lawson): "1" "2" "3" "4" "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

Rezoning - Case Number:
 Preliminary Plat Final Plat - Case Number(s):
 Conditional Use - Case Number(s):
 Zoning variance - Case Number(s):
 Land Use Enforcement Action for
 Building or Land Use Permit for
 Wetland permit: Army Corps of Engineers Municipality of Anchorage

To: Paul Hatcher, Senior Planner
Planning Department – Municipality of Anchorage

Subject: Administrative Site Plan Review Application: NSAA Kincaid Stadium Storage Facility

Date: September 26, 2024

Introduction

The proposed project is a small storage building in the ‘stadium’ area of Kincaid Park. Under Title 21, the project will be a storage building that is an accessory use to a public park (AMC 21.05.040-G). The property is owned by the Municipality of Anchorage (MOA) and is managed by the MOA Parks & Rec Department. The site is zoned Public Lands and Institutions (PLI).

The proposed development is one (1) storage building of approximately 800 sf. The building is accessed via a man door at the southwest corner with storage items being accessed from an overhead sectional door on the building’s east elevation. The facility will be maintained by the Nordic Ski Association of Anchorage (NSAA) and the stored items will consist of equipment for cross country ski races held at Kincaid. The building is north of the existing timing building used by NSAA. The legal description of the site is T12N R4W Sec 6, with an address of 8701 Raspberry Road. There will be no vehicular access to the building.

The building will be leased from the Municipality as managed by the Heritage Land Bank, to NSAA. The project architect is Bettisworth North Architecture and Planning (BNAP). Site and building construction is anticipated to begin in the spring of 2025.

Request for Approval

This application requests approval for this Administrative Site Plan Review for this development. Please see the narrative below and attached plan sets for more information.

Application Requirements

The proposed storage building development includes one (1) building structure on one (1), PLI zoned lot. The building use is an accessory to a permitted use per Title 21 (AMC Table 21-05-1: Parks and Open Area – Park, Public/Private). The applicable sections of Title 21 are as follows:

- AMC 21.04.060.E – PLI : Public Lands and Institution District
- AMC 20.05.040.G – Parks and Open Areas
- AMC 21.06.020.C – Dimensional Standards: Other Districts
- AMC 21.07 – Development and Design Standards
 - 21.07.040.D.3.a – Drainage Plan
 - 21.07.040.E – Stormwater Treatment Plan
- AMC 25.30.020 – Disposal of Municipal Land

AMC 21.05.040.G – Parks and Open Areas

- 1. Purpose: This category includes uses of land focusing on natural areas consisting mostly of vegetative landscaping or outdoor recreation. Accessory uses may include clubhouses, playgrounds, maintenance facilities, etc. All development projects costing less than \$500,000 and disturbing less than 1 acre of land shall be approved by Administrative Site Plan Review.**

The proposed development is one (1) 20'x40' storage building with an intended use of storing equipment for cross country ski races held in Kincaid. The intended use qualifies as a facility used in support of park functions. The anticipated cost of the project is approximately \$250,000 with minimal ground disturbance due to the facility having a helical pile foundation.

AMC 21.06.020.C – Table 21.06-3 Dimensional Standards

- 2. Purpose: In PLI districts, the following dimensional standards are required to control overall building bulk and lot coverage, define character in different zones, promote reasonable building scale, and promote efficient use of service capacity. The following setbacks apply to the proposed development:**
 - a. Minimum Lot Dimensions: 6,000sf, 50 ft in width, and a maximum lot coverage of 45%.**
 - b. Front, rear, and side setbacks: 25 ft**
 - c. Maximum building height: 45 ft.**

The proposed development is one (1) 20'x40' storage facility with a height of approximately 16' above grade. Overall lot size is 360 acres and the building is located well within the perimeter of the lot boundaries to satisfy the minimum setback requirements.

AMC 21.07.040.D.3.a – Drainage Plan

- 3. Purpose: Drainage plan shows post-development drainage patterns of site. Applications for the following entitlements shall include a drainage plan: Administrative Site Plan review. The drainage plan submittal requirement may be waived by the director and municipal engineer if both agree such a plan is not necessary.**

The proposed development is one (1) 20'x40' storage facility with pile foundation and a shed roof. The building's impact to site drainage will be minimal. There is limited grading associated with the project and the building footprint will not significantly change or impact the existing drainage patterns on-site. We request that the requirement for a drainage plan be waived for the proposed development.

AMC 21.07.040.E – Stormwater Treatment Plan

- 1. Purpose: A stormwater treatment plan shall show both the controls put in place during construction and any needed post-development controls to prevent erosion and protect water quality. A stormwater treatment plan shall not be required for the following: Any earth disturbance that is less than 500 square feet in area.**

The proposed development is one (1) 20'x40' storage facility on a pile foundation with stair access at the southwest corner. The pile foundation consists of 14 helical driven piles, each with an estimated diameter of 12". The stair access will touch the ground with a pressure treated 4x12 approximately 5' long. The total ground disturbance for the development will be less than 500 square feet. We request that the requirement for a stormwater treatment plan be waived for the proposed development.

AMC 25.30.020.C – Disposal By Ordinance

FAIRBANKS

📍 212 Front Street, Suite 200 Fairbanks, AK 99701
📞 907.456.5780 📠 907.451.8522

ANCHORAGE

📍 2550 Denali Street, Suite 1300 Anchorage, AK 99503
📞 907.561.5780 📠 907.562.5780

1. Revocable permits or licenses are deemed to be without substantial value to the Municipality if the agreement meets the following conditions.

c. If structure or improvement is authorized, it must be removable within 30 days of termination of agreement.

The proposed development will be leased under a revocable permit per an existing agreement with Heritage Land Bank (HLB). Per Municipal code, the structure must be removable within 30 days if the agreement is terminated. The design of the facility accommodates this requirement by using a helical pile foundation which minimizes site disturbance. If the agreement is terminated, the building can be removed and the site restored to its previous state with no visible impact from the building or building foundation.

Site Plan Review Standards (21.03.180)

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval.

The site plan is consistent with both the Kincaid Park Master Plan (2006) and the 2040 Anchorage Land Use Plan. The Kincaid Park Master Plan describes the 'Start/Finish Area' with an overall orientation to the east. The proposed development matches the eastern orientation of the existing Timing Building with views across the stadium field to the east. The proposed building aligns with the Timing building along the western edge of the area.

The 2040 Anchorage Land Use Plan details uses for park area zoned PLI. Included in the goal uses is active park areas with privately operated recreation facilities including sports complexes with allowed ancillary uses such as park maintenance facilities. The proposed site plan includes a storage building that is in support of an existing sports complex that is operating within Kincaid Park.

2. The site complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in Chapter 21.04, Zoning Districts, Chapter 21.05, Use Regulations, Chapter 21.06, Dimensional Standards and Measurements, and Chapter 21.07, Development and Design Standards.

The development and design standards associated with these chapters have been addressed in detail above.

3. The site plan addresses any significant adverse impacts that can be reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible.

Significant adverse impacts by this development are not anticipated. The structure is designed to minimize it's footprint on the park and to better function during winter events. As noted in analysis above, if the structure is removed, there will be minimal impact to the quality and character of the park area.

4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

As noted above, the proposed development is a storage building that is supporting the operations of an existing sports complex at Kincaid.

The proposed development is consistent with Goal 8 of the 2040 Anchorage Land Use Plan

- Anchorage maintains, improves, and strategically expands parks, greenbelts, and trail corridors to enhance land values, public access, neighborhoods, and mixed use centers.

Authorization Certificate

Date: August 19, 2024
Project Name: Kincaid Stadium Storage Building
Legal Description: 8701 Raspberry Road, Anchorage, Alaska, 99502
T12N R4W Sec 6
Type of Authorization: Administrative Site Plan Review

Statement:

I hereby authorize David Popiel of Bettisworth North Architects and Planners to represent me in the Municipality of Anchorage Administrative Site Plan Review of the above-described property.

Thank you,



William Earnhart

Board President

Nordic Skiing Association of Anchorage



Municipality of Anchorage, Alaska
Parks and Recreation Department

632 W 6th Avenue, Suite 630
PO Box 196650
Anchorage, AK 99519
Tel 907-343-4355
www.muni.org/parks



Memorandum

Date: 9/23/2024
To: MOA Planning

Cc: David Popiel (Bettisworth North)
Will Earnhart (NSAA)
Taylor Keegan (MOA APR)

From: Michael Braniff, APR Director *MB*
Re: NSAA structure at Kincaid Park

The Anchorage Parks and Recreation Department has reviewed the submitted plans for the Kincaid Stadium Storage building dated 8/2/24 that were sent via email to the department. APR is supportive of the project and approves it's construction on park property as submitted.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: TBD (no subdivision name)
- Project Location, Tax ID, or Legal Description: 01041112000
- Project Area (if different from the entire parcel or subdivision): See attached. New storage building is proposed.

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X ~~Y~~ YES **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- | | | | | |
|----------------------------|---------------------------------------|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input checked="" type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:



8/8/24

NORDIC SKI ASSOCIATION OF ANCHORAGE KINCAID STADIUM STORAGE ANCHORAGE, ALASKA



PERSPECTIVE VIEW - NE CORNER



PERSPECTIVE VIEW - SE CORNER

DRAWING INDEX

GENERAL	PROJECT TITLE PROJECT TEAM	STRUCTURAL	GENERAL STRUCTURAL NOTES AND SCHEDULES
0001		5001	GENERAL STRUCTURAL NOTES AND SCHEDULES
ARCHITECTURE		5002	TYPICAL DETAILS
A001	CODE ANALYSIS, ABBREVIATIONS, GENERAL NOTES, SYMBOLS, ASSEMBLIES	5110	FOUNDATION AND FIRST LEVEL FRAMING PLANS
A002	SHEET SPECIFICATIONS	5111	ROOF FRAMING PLAN
A003	SHEET SPECIFICATIONS	ELECTRICAL	
A004	SHEET SPECIFICATIONS	E001	LEGEND
A100	FLOOR AND ROOF PLANS, DOOR & FINISH SCHEDULE	E101	ELECTRICAL SITE PLAN
A200	REFLECTED CEILING PLAN	E202	ELECTRICAL PLANS
A300	EXTERIOR ELEVATIONS AND SECTIONS	E301	ONE-LINE DIAGRAMS, DETAILS, AND SCHEDULES
A301	EXTERIOR DETAILS		
A302			

PROJECT TEAM

ARCHITECTURE, LANDSCAPE, INTERIORS
 BETTISWORTH NORTH ARCHITECTS
 PROJECT LEADER: DAVID POPEL
 CONTACT: DAVID POPEL
 EMAIL: dpoppel@bettisworthnorth.com

ELECTRICAL
 ECI ENGINEERS
 PHONE: (907) 348-9712
 CONTACT: EZAN CLARK
 EMAIL: ezan@ecieng.com

AGENT, LLC
 PHONE: (907) 441-5772
 CONTACT: SETH ANDERSON
 EMAIL: setha@erwbak.com

PERMIT DOCUMENTS AUGUST 2, 2024

GENERAL PROJECT NOTES

PROJECT DESCRIPTION: THE PROJECT IS A ONE-FLOOR UTILITY STORAGE FACILITY OF TWO PALE FOUNDATION AND IS CONSTRUCTED OF ENGINEERED WOOD AND DIMENSIONAL LUMBER FRAMING.

REFERENCE CODES: ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES AND REGULATIONS, AND ALL OTHER APPROPRIATE AMENDMENTS PER THE JURISDICTIONS OF THE PROJECT.

DRAWING FORMAT: THESE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED AT DRAWING SCALES RELATED TO THEIR FULL-SIZE DIMENSIONS. THIS FORMAT SHALL PRODUCE DIMENSIONS OUTSIDE OF THE SCALE LIMITS INDICATED.

ELECTRONIC MEDIA: THE AVAILABILITY OF ELECTRONIC DOCUMENTS FOR USE BY THE GENERAL CONTRACTOR ON THIS PROJECT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. PERMISSION OF DESIGN SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO ANY SUCH USE.

VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL PROJECT-RELATED NEW AND/OR EXISTING CONDITIONS, INCLUDING DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE ARCHITECT AND OWNERS SHALL NOT BE RESPONSIBLE FOR CONTRACTING OFFICER IN WRITING OF ALL DISCREPANCIES AND/OR UNKNOWN CONDITIONS OBSERVED.

SITE SAFETY: THE CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT-RELATED SAFETY MEASURES ON-SITE. DURING THE CONSTRUCTION OF THIS PROJECT, THE GENERAL CONTRACTOR AND/OR THE DESIGNATED SAFETY OFFICER AT ONCE SHOULD ANY SAFETY RELATED CONCERNS BE OBSERVED.

BETTISWORTH NORTH

CORPORATE NO. AEC221 BETTISWORTHNORTH.CO

NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
 ANCHORAGE, ALASKA

CONSULTANT:

PERMIT DOCUMENTS

NOT FOR CONSTRUCTION

PROJECT NO:	24-108
DATE:	2024-08-02
DRAWN BY:	RHR
CHECKED BY:	DP
DATE:	08/05/24
SCALE:	AS SHOWN
PROJECT TITLE PROJECT TEAM	G001

11/20/2023 11:15 AM

<p>SECTION 13 00 00 PAINT SYSTEMS</p> <p>1.01 SUBMITTALS</p> <p>A. Shop Drawings: Indicate materials, component profiles, finishing methods, joining details, and finishes. Submit two samples of wood trim 1/2 inch long.</p> <p>1.02 FABRICATION</p> <p>A. Fabricate in accordance with manufacturer's instructions. Provide materials having the end finish properties as specified by manufacturer.</p> <p>1.03 INSTALLATION</p> <p>A. Surface during construction: Provide materials having the end finish properties as specified by manufacturer.</p> <p>1.04 MAINTENANCE</p> <p>A. Surface during construction: Provide materials having the end finish properties as specified by manufacturer.</p>	<p>SECTION 13 00 00 PAINT SYSTEMS</p> <p>1.01 SUBMITTALS</p> <p>A. Shop Drawings: Indicate materials, component profiles, finishing methods, joining details, and finishes. Submit two samples of wood trim 1/2 inch long.</p> <p>1.02 FABRICATION</p> <p>A. Fabricate in accordance with manufacturer's instructions. Provide materials having the end finish properties as specified by manufacturer.</p> <p>1.03 INSTALLATION</p> <p>A. Surface during construction: Provide materials having the end finish properties as specified by manufacturer.</p> <p>1.04 MAINTENANCE</p> <p>A. Surface during construction: Provide materials having the end finish properties as specified by manufacturer.</p>
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NOT FOR CONSTRUCTION

SHEET SPECIFICATIONS

A003

NORDIC SKI ASSOCIATION OF ANCHORAGE

NSAA: KINCAID STADIUM STORAGE FACILITY

ANCHORAGE, ALASKA

BETTSMORTH NORTH

CORPORATE NO. A003211 BETTSMORTHNORTH.COM

PROJECT NO.: 24-108

DATE: 2024-06-22

DRAWN BY: RHR

CHECKED BY: DP

PERMIT DOCUMENTS

<p>1.20 GENERAL</p> <p>1.20.1 SUBMITTALS</p> <p>A. Shop drawings, including opening dimensions and required hardware, connection details, anchorage, and installation details.</p> <p>B. Product data, including manufacturer's name, model number, and technical specifications.</p> <p>C. Material samples, including color and finish samples.</p> <p>D. Finish schedule, including color and finish schedule.</p> <p>E. Material test reports, including strength and performance test results.</p> <p>F. Manufacturer's literature, including brochures and technical manuals.</p> <p>G. Other documents, including permits and approvals.</p> <p>1.20.2 FABRICATION</p> <p>A. Fabricate frames, mullions and sash members with fusion welded corners and joints, in 100% to 100% of the shop.</p> <p>B. Support frames and mullions with structural members with required material (AISC).</p> <p>C. Frame mullion and sash members with required material (AISC).</p> <p>D. 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Material test reports, including strength and performance test results.</p> <p>F. Manufacturer's literature, including brochures and technical manuals.</p> <p>G. Other documents, including permits and approvals.</p> <p>1.22.2 FABRICATION</p> <p>A. Fabricate frames, mullions and sash members with fusion welded corners and joints, in 100% to 100% of the shop.</p> <p>B. Support frames and mullions with structural members with required material (AISC).</p> <p>C. Frame mullion and sash members with required material (AISC).</p> <p>D. Frame mullion and sash members with required material (AISC).</p> <p>E. Frame mullion and sash members with required material (AISC).</p> <p>F. Frame mullion and sash members with required material (AISC).</p> <p>G. Frame mullion and sash members with required material (AISC).</p> <p>1.22.3 INSTALLATION</p> <p>A. Install in accordance with manufacturer's instructions and related requirements of applicable codes.</p> <p>B. Coordinate with other trades for proper installation.</p> <p>C. Coordinate with other trades for proper installation.</p> <p>D. Coordinate with other trades for proper installation.</p> <p>E. Coordinate with other trades for proper installation.</p> <p>F. Coordinate with other trades for proper installation.</p> <p>G. Coordinate with other trades for proper installation.</p>	<p>1.23 GENERAL</p> <p>1.23.1 SUBMITTALS</p> <p>A. Shop drawings, including opening dimensions and required hardware, connection details, anchorage, and installation details.</p> <p>B. Product data, including manufacturer's name, model number, and technical specifications.</p> <p>C. Material samples, including color and finish samples.</p> <p>D. Finish schedule, including color and finish schedule.</p> <p>E. Material test reports, including strength and performance test results.</p> <p>F. Manufacturer's literature, including brochures and technical manuals.</p> <p>G. Other documents, including permits and approvals.</p> <p>1.23.2 FABRICATION</p> <p>A. Fabricate frames, mullions and sash members with fusion welded corners and joints, in 100% to 100% of the shop.</p> <p>B. Support frames and mullions with structural members with required material (AISC).</p> <p>C. Frame mullion and sash members with required material (AISC).</p> <p>D. Frame mullion and sash members with required material (AISC).</p> <p>E. Frame mullion and sash members with required material (AISC).</p> <p>F. Frame mullion and sash members with required material (AISC).</p> <p>G. Frame mullion and sash members with required material (AISC).</p> <p>1.23.3 INSTALLATION</p> <p>A. Install in accordance with manufacturer's instructions and related requirements of applicable codes.</p> <p>B. Coordinate with other trades for proper installation.</p> <p>C. Coordinate with other trades for proper installation.</p> <p>D. Coordinate with other trades for proper installation.</p> <p>E. Coordinate with other trades for proper installation.</p> <p>F. Coordinate with other trades for proper installation.</p> <p>G. Coordinate with other trades for proper installation.</p>	<p>1.24 GENERAL</p> <p>1.24.1 SUBMITTALS</p> <p>A. Shop drawings, including opening dimensions and required hardware, connection details, anchorage, and installation details.</p> <p>B. Product data, including manufacturer's name, model number, and technical specifications.</p> <p>C. Material samples, including color and finish samples.</p> <p>D. Finish schedule, including color and finish schedule.</p> <p>E. Material test reports, including strength and performance test results.</p> <p>F. Manufacturer's literature, including brochures and technical manuals.</p> <p>G. Other documents, including permits and approvals.</p> <p>1.24.2 FABRICATION</p> <p>A. Fabricate frames, mullions and sash members with fusion welded corners and joints, in 100% to 100% of the shop.</p> <p>B. Support frames and mullions with structural members with required material (AISC).</p> <p>C. Frame mullion and sash members with required material (AISC).</p> <p>D. Frame mullion and sash members with required material (AISC).</p> <p>E. Frame mullion and sash members with required material (AISC).</p> <p>F. Frame mullion and sash members with required material (AISC).</p> <p>G. Frame mullion and sash members with required material (AISC).</p> <p>1.24.3 INSTALLATION</p> <p>A. Install in accordance with manufacturer's instructions and related requirements of applicable codes.</p> <p>B. Coordinate with other trades for proper installation.</p> <p>C. Coordinate with other trades for proper installation.</p> <p>D. Coordinate with other trades for proper installation.</p> <p>E. Coordinate with other trades for proper installation.</p> <p>F. Coordinate with other trades for proper installation.</p> <p>G. Coordinate with other trades for proper installation.</p>
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NOT FOR CONSTRUCTION

SHEET SPECIFICATIONS

A004

PROJECT NO: 2024-02

DATE: 2024-02

DRAWN BY: RSR

CHECKED BY: PR

CONSULTANT:

NORDIC SKI ASSOCIATION OF ANCHORAGE

NSAA: KINCAID STADIUM STORAGE

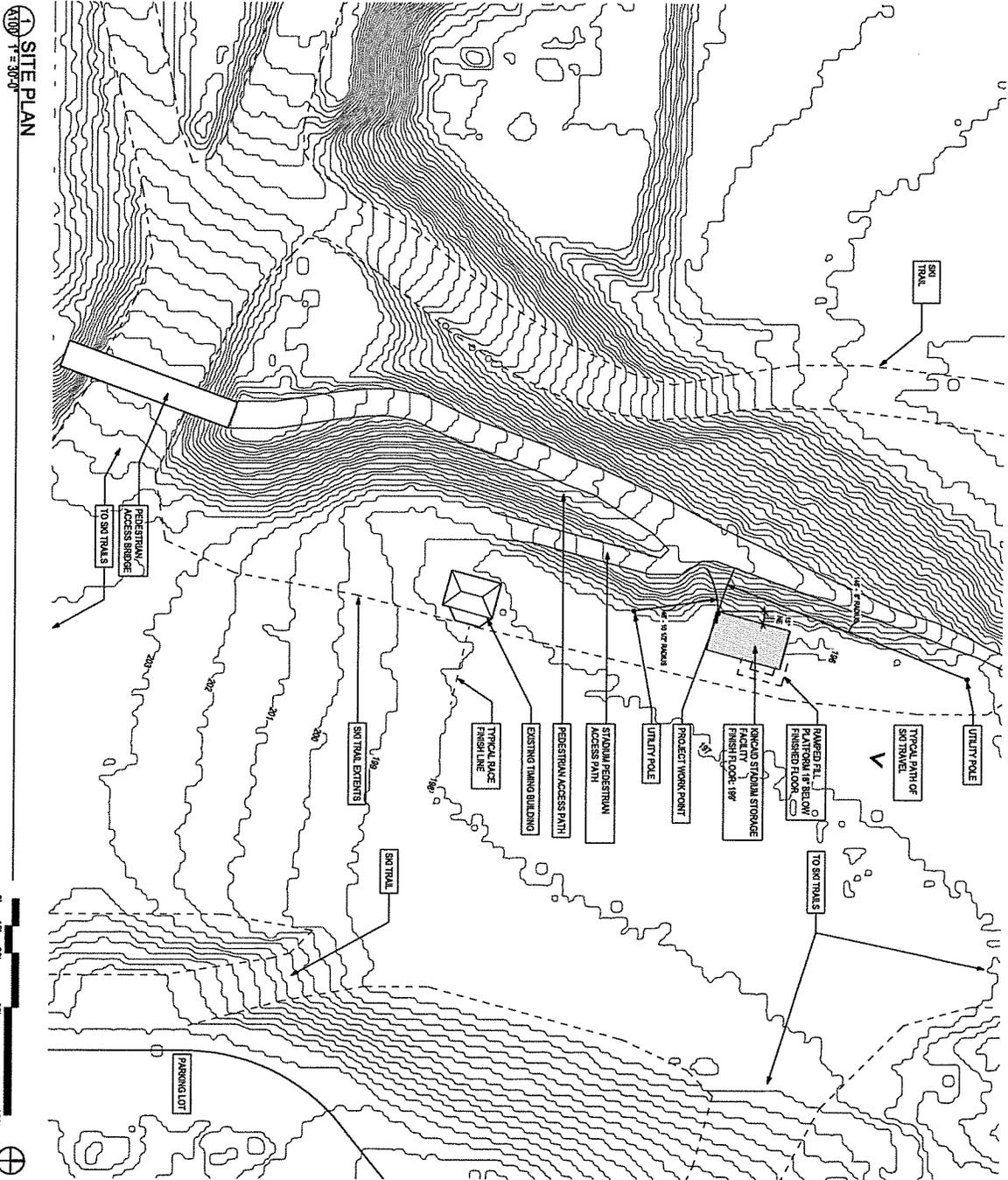
FACILITY

ANCHORAGE, ALASKA

PERMIT DOCUMENTS

BETTISWORTH NORTH

CORPORATE NO. 002323 BETTISWORTHNORTH.COM



SITE PLAN
 1" = 30' @

GENERAL SITE NOTES

THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS SHALL TO THE COMMENCEMENT OF WORK. PROPERTY REPRESENTATIVE IN WRITING OF ALL CONDITIONS OBSERVED.
 WORK LIMITS: THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING ALL WORK WITHIN THE LIMITS OF CONSTRUCTION AREAS. THE CONTRACTOR SHALL BE PROTECTED FROM THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RETURNED TO ITS ORIGINAL STATE BY THE CONTRACTOR AT NO ADDITIONAL CHARGE TO THE OWNER.

REFERENCE ELEVATION: THE ARCHITECTURAL REFERENCE ELEVATION OF 0' FOR THE DATA ELEVATION OF 100'. THE STRUCTURAL/ELECTRICAL PLANS WILL CORRESPOND TO THE ARCHITECTURAL ELEVATION.

IDENTIFIED: CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL WORK MATERIALS. PROJECT RELATED UTILITIES NOTIFICATIONS TO ANCHORAGE UTILITY DEPARTMENT SHALL BE OBTAINED AND COORDINATED IN THIS SECTION.

ASSOCIATED SITE PLANS: SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.

LEGAL DESCRIPTION: THE FOLLOWING LEGAL DESCRIPTION FOR THE PROPERTY IS ON RECORD WITH THE MUNICIPALITY OF ANCHORAGE:

T15N 10W SEC 6
 SEE SENEK, SEANVA E2534
 POINT CAMPBELL

PROJECT WORK POINT: INTERSECTION OF GRID A/I, REFER TO FLOOR PLAN.

NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
 ANCHORAGE, ALASKA

CONSULTANT:

PERMIT DOCUMENTS

BETTISWORTH NORTH

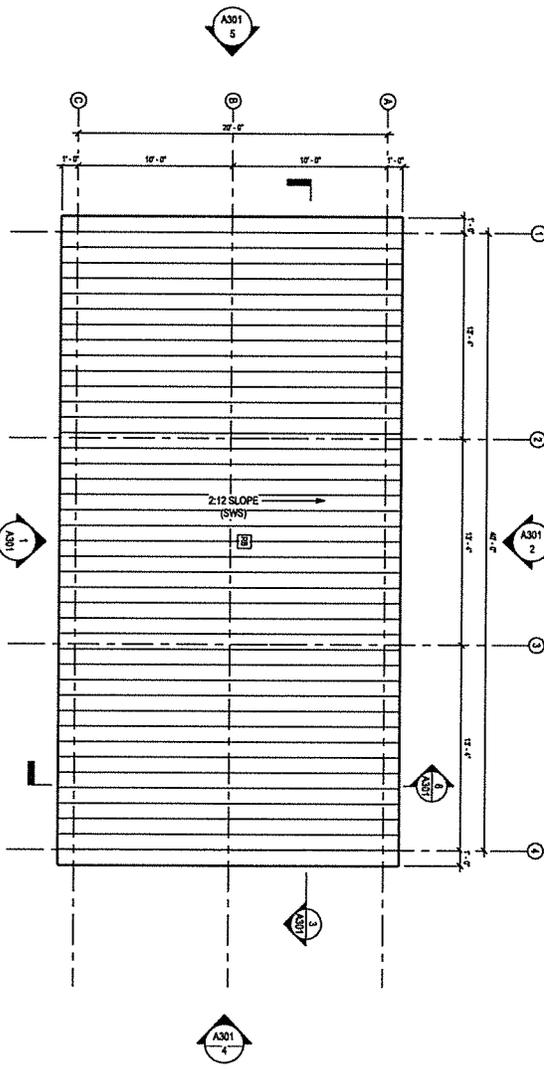
CORPORATE NO. AEEC219 BETTISWORTHNORTH.COM

PROJECT NO:	24-108
DATE:	2024-08-02
DRAWN BY:	RFR
CHECKED BY:	OP
SCALE:	30'
DATE:	

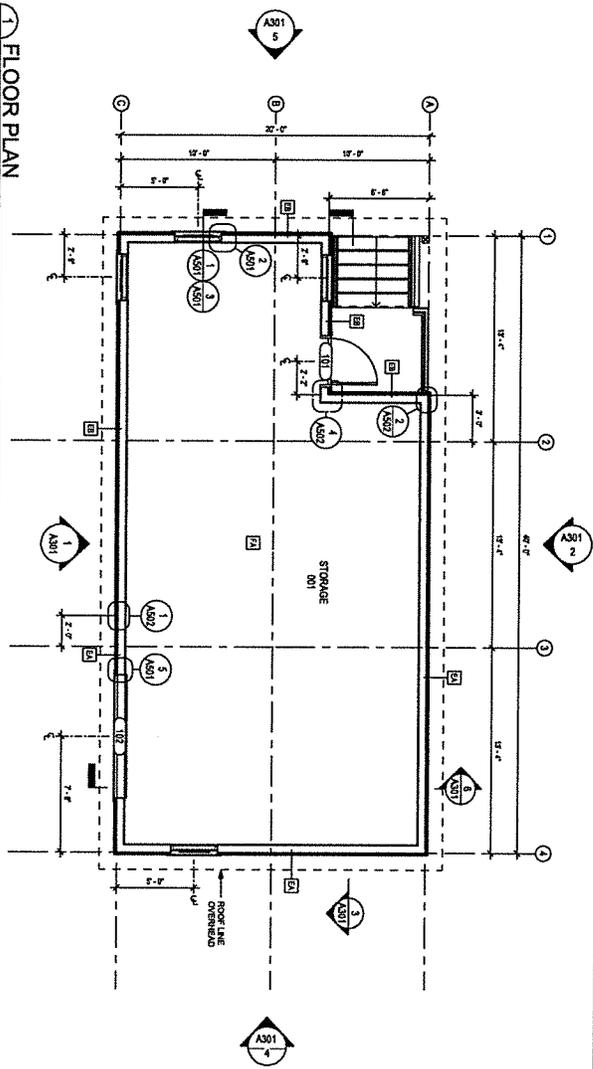
A100

SITE PLAN

ROOF PLAN
1/4" = 1'-0"



FLOOR PLAN
1/4" = 1'-0"

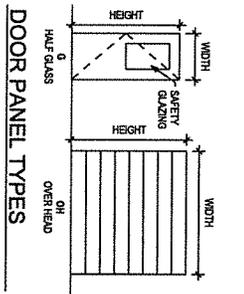


DOOR HARDWARE

- DOOR HARDWARE SET #1
- HINGES: TYPE: HEAVY-DUTY COMMERCIAL GRADE QUANTITY: 3 SIZE: 4 1/2 X 1 1/2 ANCHORS: STAINLESS STEEL FOR 1/2" FRAMING FINISH: SATIN CHROME
- LOCKSET: BRIDGE 1-COMMERCIAL LOCKSET FUNCTION: KEYED ENTRY (STORAGE ROOM FUNCTION) LEVER: ADA COMPLIANT LEVER HANDLE BRAND: SCHLAGE OR APPROVED EQUAL FINISH: SATIN CHROME
- ACCESSORIES: FULL PERIMETER WEATHERSTRIPPING DOOR BOTTOM SWEEP AND THRESHOLD DOOR STOP: WALL MOUNTED CAST ALUMINUM W/ RUBBER BUMPER

DOOR SCHEDULE

DOOR NO.	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	FRAME		JAMB	HEAD	HARDWARE
							TYPE	MATERIAL			
001	G	3'-0"	7'-0"	1 3/4"	PM	PF	PF	1	PM	PF	QV502 SET #1
002	GN	8'-0"	8'-0"	1 1/2"	MTL	PF	PF	1	PM	PF	QV501 PER AFF



FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	REMARKS
001	STORAGE	IS-2	IS-1	IS-1	IS-1	IS-1	PT-1	

FINISH LEGEND

- REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION ON ROOM FINISH MATERIALS
- IS-1: INTERIOR TRANSPARENT STAIN (VERTICAL SURFACES)
- IS-2: INTERIOR TRANSPARENT STAIN (FLOORS)
- PT-1: INTERIOR PAINT

GENERAL FLOOR PLAN NOTES	GENERAL ROOF PLAN NOTES
SEE ARCHITECT FOR THE CONTRACTOR SHALL FURNISH ALL DIMENSIONS TO WORK. PROMPTLY NOTIFY THE ARCHITECT WRITING OF ALL DISCREPANCIES IN NEW OR EXISTING CONDITIONS.	GENERAL ROOF PLAN NOTES: VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS. VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS. VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS.
DIMENSIONS SHOWN: ALL DIMENSIONS ARE TAKEN FROM GRIDS TO FACE OF STUD UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN SURFACES WILL BE NOTED WHERE APPLICABLE. DIMENSIONS BETWEEN SURFACES UNLESS OTHERWISE NOTED ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL. STAIRWAYS AND SHALL BE TREATED WITHOUT INTERFERING WITH ALL ELEVATIONS REFERENCED HEREIN ARE IMPERIAL. LEVEL, VARIANCES IN THIS ELEVATION MAY EXIST, AS NOTICED.	VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS. VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS. VERIFY ALL EXTERIOR ROOFING ASSEMBLIES TO COMPLY WITH DESIGN AND PRESSURES FOR SPECIFIED REQUIREMENTS.

NOT FOR CONSTRUCTION

FLOOR AND ROOF PLANS, DOOR & FINISH SCHEDULE

A110

PROJECT NO: 24-108
DATE: 2024-08-02
DRAWN BY: RSR
CHECKED BY: DP

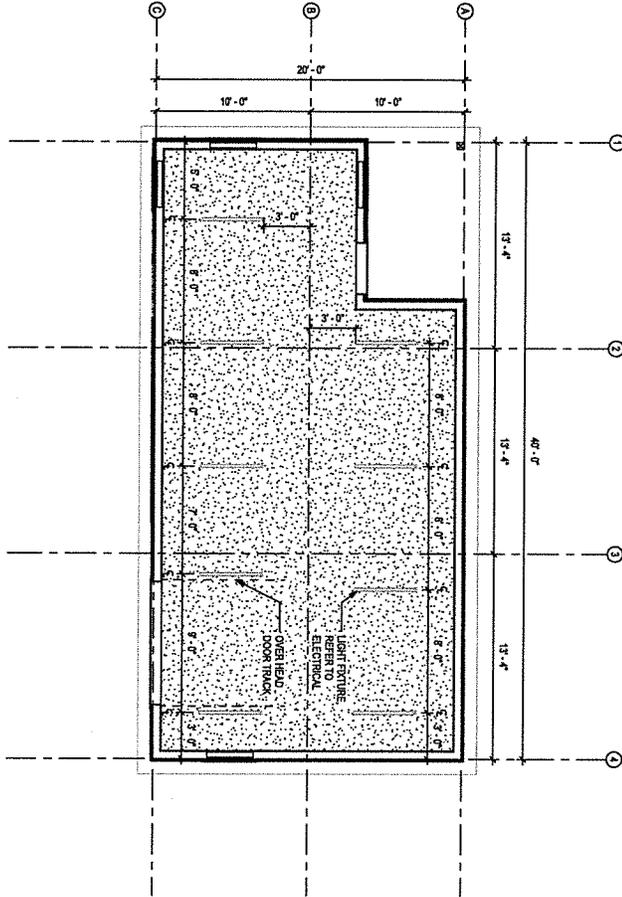
CONSULTANT: NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
ANCHORAGE, ALASKA

PERMIT DOCUMENTS

BETTISWORTH NORTH

CORPORATE NO. ACC219 BETTISWORTHNORTH.COM

A210
REFLECTED CEILING PLAN



GENERAL REFLECTED CEILING PLAN NOTES

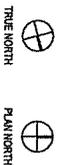
FIELD VERIFICATION: THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE ARCHITECT AND OWNER IN WRITING OF ANY DISCREPANCIES OR DISCREPANCIES IN THE NEW AND EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL ABOVE CEILING HEIGHTS AND MATERIAL FINISHES FOR SCHEDULED CEILING HEIGHTS.

DIMENSION GUIDE: ALL DIMENSIONS ARE TAKEN FROM THE LINE AND FACE OF STUD PARTITIONS, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS WILL BE NOTED WHERE APPLICABLE FROM MATERIAL FINISHES.

CEILING FINISHES: REFER TO SHEETS A110 FOR SCHEDULED CEILING FINISHES.

CEILING DEVICES: ALL CEILING LAYOUT PLANS SHOW MOST ELECTRICAL DEVICES. SEE ELECTRICAL DOCUMENTS FOR ADDITIONAL INFORMATION. CONTRACTOR TO COORDINATE LAYOUT OF ALL DEVICES.

PARTITION TYPES: PARTITION TYPES ARE REFERENCED ON THE CORRESPONDING FLOOR PLAN SHEETS A110, AND SCHEDULED ON SHEET A401.



NOT FOR CONSTRUCTION

REFLECTED CEILING PLAN

A210

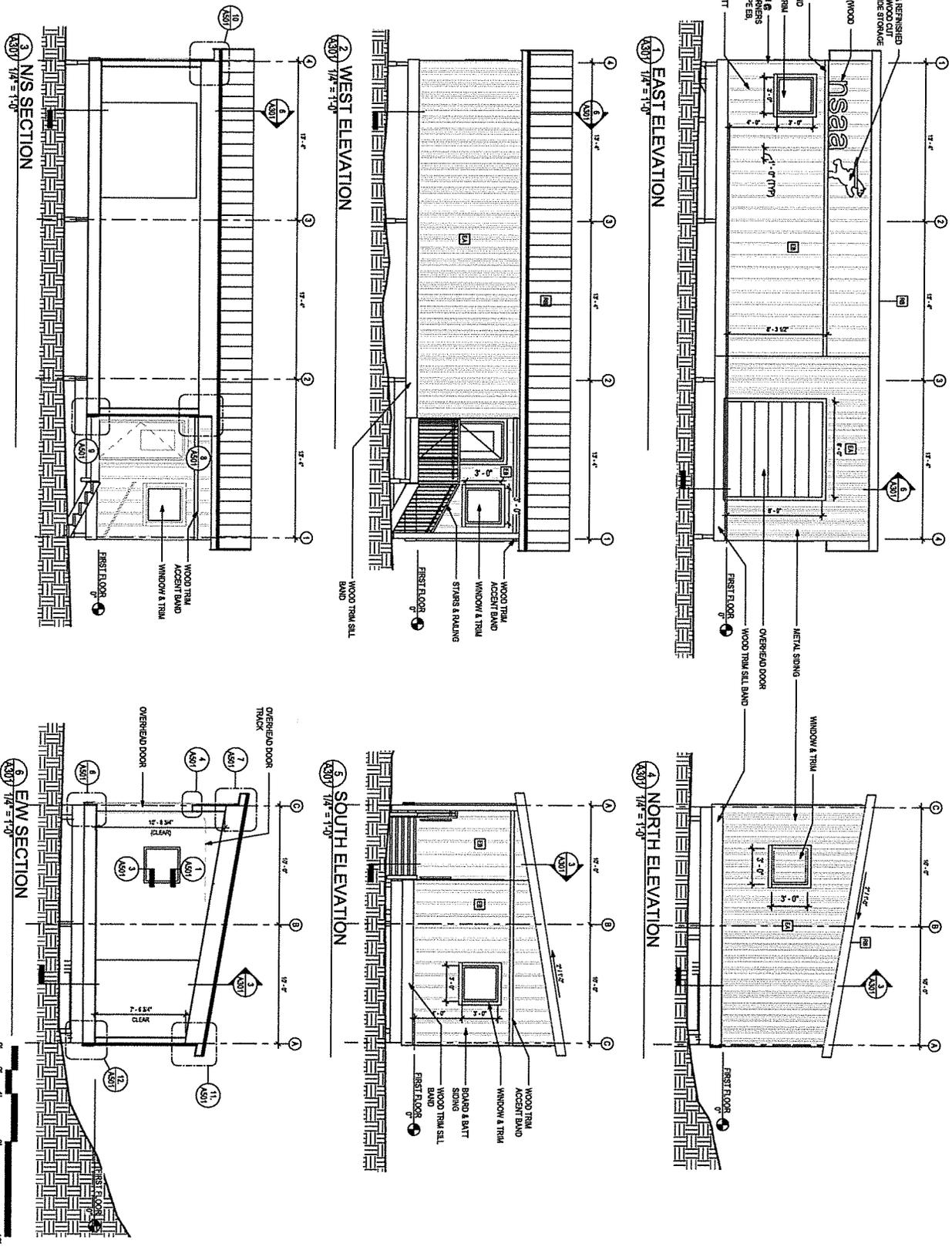
PROJECT NO.	24-108
DATE	2024-06-02
DRAWN BY:	RRR
CHECKED BY:	DP
SCALE	AS SHOWN
DATE	
DATE	
DATE	
DATE	

CONSULTANT:

NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE
FACILITY
ANCHORAGE, ALASKA

PERMIT DOCUMENTS

BETTISWORTH
NORTH



EXTENSION ELEVATIONS AND SECTIONS

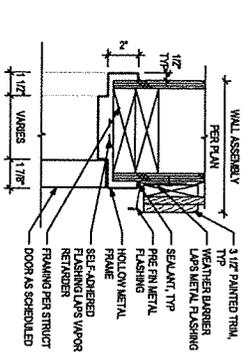
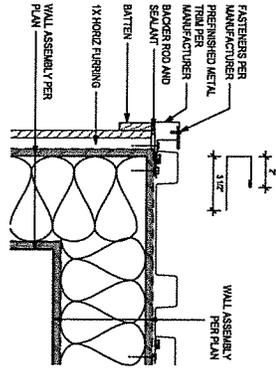
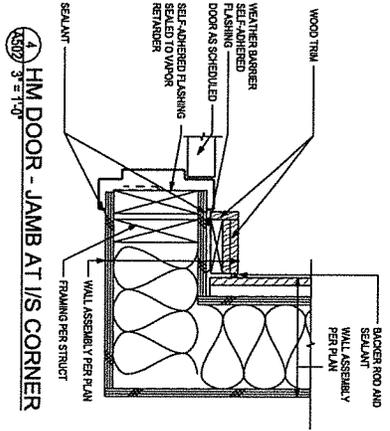
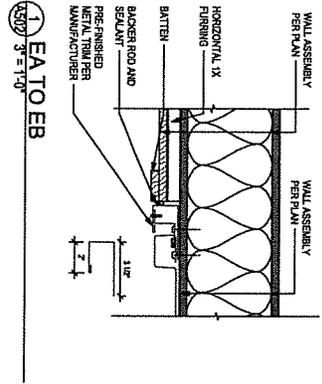
A301

PROJECT NO:	24-108
DATE:	2024-08-02
DRAWN BY:	RHR
CHECKED BY:	DP
SCALE:	
REVISION:	
DATE:	

CONSULTANT:
NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
 ANCHORAGE, ALASKA

PERMIT DOCUMENTS

BETTISWORTH NORTH



3 HM DOOR - HEAD
3/8" = 1'-0"

2 EA TO EB AT O/S CORNER
3/8" = 1'-0"

4 HM DOOR - JAMB AT I/S CORNER
3/8" = 1'-0"

PROJECT NO:		24-108
DATE:		2024-08-02
DRAWN BY:		RRR
CHECKED BY:		GP
SCALE:	DATE:	

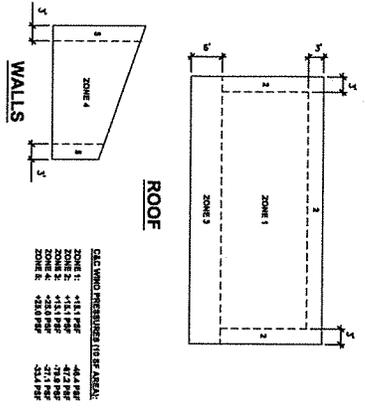
CONSULTANT:
 NORDIC SKI ASSOCIATION OF ANCHORAGE
NSAA: KINCAID STADIUM STORAGE FACILITY
 ANCHORAGE, ALASKA

PERMIT DOCUMENTS

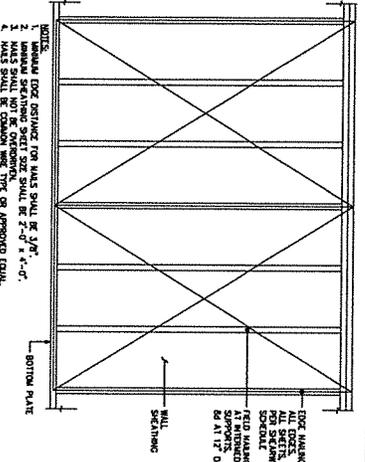
BETTISWORTH NORTH

EXTERIOR DETAILS
A502

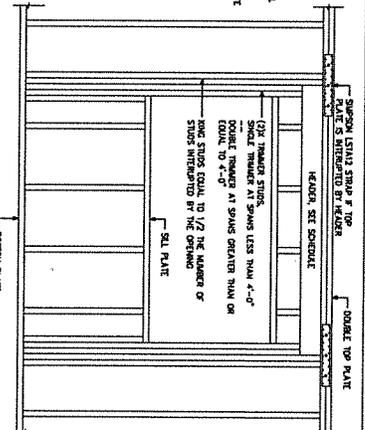
IF THIS DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING HAS BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES



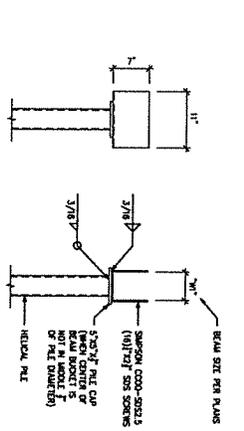
1 WIND COMPONENT AND CLADDING PRESSURES
SCALE: NOT TO SCALE



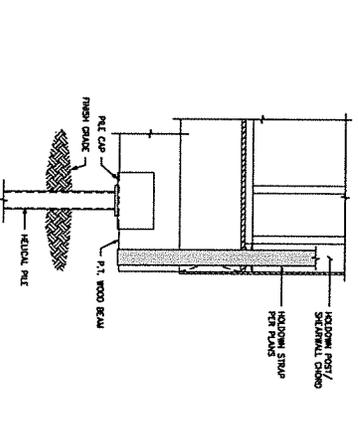
2 TYPICAL EXTERIOR SHEATHING DETAIL
SCALE: NOT TO SCALE



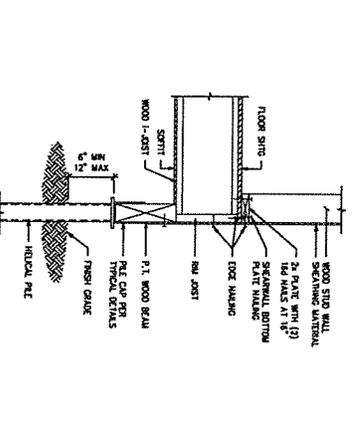
3 TYPICAL WINDOW OPENING
SCALE: NOT TO SCALE



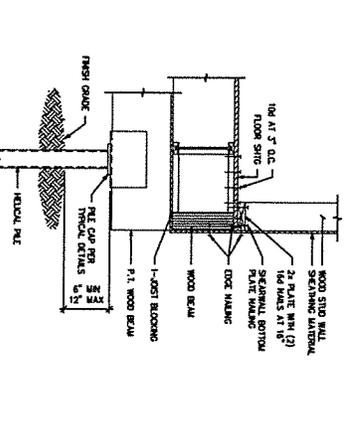
4 TYPICAL PILE CAP
SCALE: NOT TO SCALE



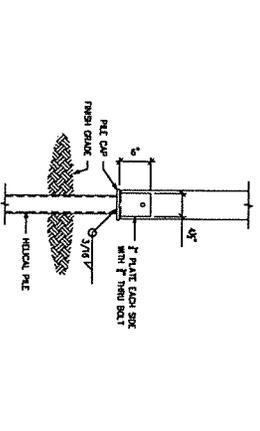
5 HOLDDOWN AT WOOD BEAM
SCALE: NOT TO SCALE



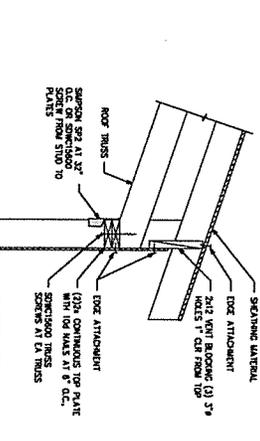
6 WOOD JOIST AND WALL AT WOOD BEAM
SCALE: NOT TO SCALE



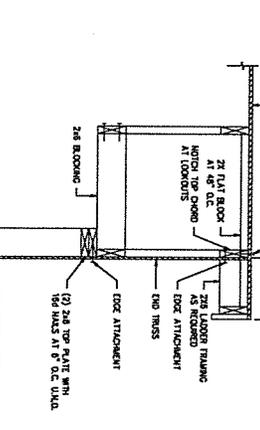
7 WOOD JOIST AND WALL AT WOOD BEAM
SCALE: NOT TO SCALE



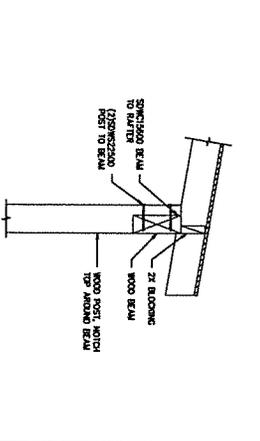
8 WOOD POST AT PILE
SCALE: NOT TO SCALE



9 WOOD TRUSS AT WOOD STUD WALL
SCALE: NOT TO SCALE



10 END TRUSS AT WOOD STUD WALL
SCALE: NOT TO SCALE



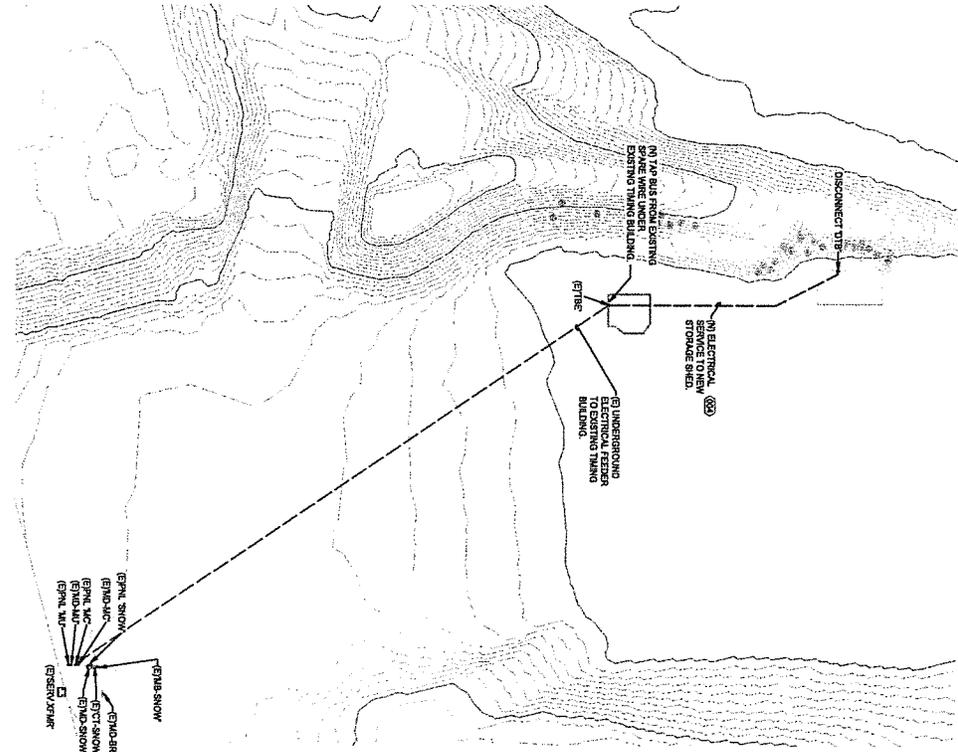
11 WOOD RAFTER AT WOOD BEAM
SCALE: NOT TO SCALE

NOTE: IF CONSTRUCTION HAS ALTERNATE P.F. CAP DETAIL FROM DRAWING, PLEASE CONSULT FOR APPROVAL.

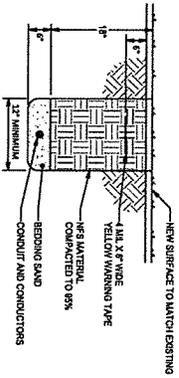
CONSULTANT: ARETE
 PROJECT: NORDIC SKI ASSOCIATION OF ANCHORAGE
 NSAA STORAGE FACILITIES
 ANCHORAGE, ALASKA
 PROJECT NO: 2024-01
 DATE: 06-20-2024
 DRAWN BY: SFA
 CHECKED BY: SFA
 TYPICAL DETAILS
S002

BETTISWORTH NORTH
 CORPORATE HQ: AEC2119 BETTISWORTHNORTH.COM

1 ELECTRICAL SITE PLAN
 SCALE: 1" = 40'



2 TRENCHING DETAIL
 SCALE: 1" = 8"



3 REFERENCED SHEET NOTES
 REF: 004
 NOTE: PROVIDE NEW UNDERGROUND CONDUIT ROUTED AS SHOWN. SEE DETAIL 2 ON THIS SHEET FOR TRENCHING DETAIL.

E101

ELECTRICAL SITE PLAN

PROJECT NO:	ES-4437
DATE:	06/27/24
DRAWN BY:	NRB
CHECKED BY:	ENG
SCALE:	1" = 40'

CONSULTANT:
EIC ENGINEERS, INC.
 1115 EAST 11TH AVENUE
 ANCHORAGE, ALASKA 99501
 907.563.8888
 www.eic-engineers.com

**NORDIC SKI ASSOCIATION OF ANCHORAGE
 NSAA STORAGE FACILITIES**
 ANCHORAGE, ALASKA
 PERMIT SET



BETTISWORTH NORTH

