

**PLANNING DEPARTMENT
STAFF ANALYSIS
CONDITIONAL USE**

DATE: June 6, 2016
CASE NUMBER: 2016-0053
APPLICANT: Girdwood Brewing Company
REQUEST: Conditional use to allow general manufacturing in the gC-10 (Upper Alyeska Highway commercial) district
LOCATION: Alpine View Estates Subdivision, Phase 3, Tract B-2C per Plat 2014-38
SITE ADDRESS: 2700 Alyeska Highway
COMMUNITY COUNCIL: Girdwood Board of Supervisors
TAX NUMBER: 075-163-44
SITE: ±46,385 SF
CURRENT LAND USE: Vacant
UTILITIES: Public water and sewer is available
TOPO: Minimal slope downhill to the southwest
VEGETATION: Birch, spruce, and undergrowth

COMPREHENSIVE PLAN

Classification: "Commercial" in the 1995 *Girdwood Area Plan* Land Use Plan Map

SURROUNDING AREA

	NORTH	EAST	SOUTH	WEST
Zoning:	gR-2	gC-10	gC-10	gC-10
Land Use:	Single-Family Residential	Church	Undeveloped	Undeveloped

APPLICABLE LAND USE REGULATIONS

gC-10, Upper Alyeska Highway commercial district (AMC 21.09.040B.2.j.)

(a) Location. The gC-10 district is an undeveloped portion of a residentially developed subdivision. This district is located on the south side of Alyeska Highway, west of Timerline Drive.

(b) Intent. The intent for this district is to permit development of a limited range of non-retail commercial uses along with residential uses in a manner compatible with the surrounding residential land use.

Table 21.09.050-1: Table of Allowed Uses, shows single-family detached dwellings as a permitted use. Multiple-family dwellings with four to eight dwelling units per acre require an administrative site plan review. Multiple-family dwellings with between eight and 20 dwelling units per acre require a conditional use approval.

gC-10 district	
Minimum area	8,400 SF
Minimum width	60 feet
Front setback	25 feet
Side setback	20 feet
Rear setback	20 feet
Maximum height	35 feet
Maximum lot coverage	70%
Maximum dwelling units/acre	20

REQUEST

This is a request for conditional use approval to allow general manufacturing in the gC-10 district. The petitioner's site plan shows one building containing a brewery, two fitness/recreation facilities, and two residential dwelling units. The fitness/recreational and residential dwellings are permitted uses. Breweries are classified as the "general manufacturing" use type in AMC 21.05.060B.3. On March 22, 2016, the Assembly adopted AO 2016-30, which makes the "general manufacturing" use type a conditional use in the gC-10 district. Also, general manufacturing uses are required to comply with the Girdwood Commercial, Resort and Public/Institutional Building Design Standards in AMC 21.09.080F.

AGENCY COMMENTS

The reviewing agencies provided comments which are attached. The issues raised in their comments are addressed in the following sections.

PUBLIC COMMENTS

One-hundred and twenty-two public hearing notices were mailed on April 29, 2016. No responses were received from the public. No comments were received from the Girdwood Board of Supervisors, but they passed a letter of nonobjection, which is attached.

FINDINGS

AMC 21.03.080D. Conditional Uses - Approval Criteria. The planning and zoning commission may approve a conditional use application if, in the judgment of the commission, all of the following criteria have been met in all material matters:

- 1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;**

The standard is met.

The petition site is located in an area identified as “Commercial” in the 1995 *Girdwood Area Plan* Land Use Plan Map. This classification is for areas substantially developed for commercial purposes and that are expected to remain so for the duration of the Plan, and for vacant areas best suited to commercial development.

The proposed mixed-use building would contain a brewery, two yoga studios, and a duplex. While brewing beer is industrial in nature, breweries may function in a variety of ways. For instance, some breweries appear primarily as bars because the brewery serves a tasting room, however, by State law, no live music is permitted and breweries must close by 8pm. Breweries may have retail sales counters that have the appearance and function of commercial businesses. Breweries can also be community gathering spaces.

The U.S. Corps of Engineers provided comments stating that the property contains wetlands and requires a jurisdictional determination. This should be a condition of approval.

- 2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;**

The standard is met.

The intent of the gR-4 district is, “is to permit development of a limited range of non-retail commercial uses along with residential uses in a manner compatible with the surrounding residential land use.”

Minimum lot size: The petition site contains 46,385 SF, which is more than the minimum required.

Yard setbacks: The site plan appears to meet the required setbacks (25-foot front, 20-foot side, and 20-foot rear). The site plan needs to dimension the corner of the building closest to the west property line to verify that the 20-foot side setback is met.

Maximum height: The midpoint of the highest roof is less than the maximum height of 35 feet.

Maximum lot coverage: The footprint of the building is less than the maximum lot coverage of 70%.

3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;

The standard is not met.

An analysis of compliance with AMC 21.09.070 *Site development and design standards* and AMC 21.09.080 *Building design standards* is below.

4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;

The standard is met.

The subject property is adequate for the proposed brewery and no mitigation is needed to address potential impacts. The site abuts the Alyeska Highway, a church, and vacant land. There is sufficient distance between the petition site and the church to mitigate any negative impacts from an industrial use.

5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;

The standard is met.

The abutting lot to the east contains a church. The properties to the west and south are undeveloped. The Alyeska Highway abuts the north boundary of the petition site. The proposed brewery is compatible with the existing land uses and the intent of the gR-10 district. The proposed brewery and associated tasting room would occupy 3,040 SF within a 7,200 SF mixed-use building. The remaining floor area would contain 1,920 SF of fitness/recreation facility and a 2,240 residential space for two dwelling units. The fitness/recreational facility and the duplex are both permitted uses in the gC-10. The tasting room would require approval of a Special Land Use Permit for Alcohol by the Assembly, in accordance with AMC 21.03.040.

6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

The standard is met.

The proposed general manufacturing (brewery) will be fully enclosed within a building. No outdoor general manufacturing activities are proposed. Therefore, no substantial noise pollution is anticipated. The proposed use is not expected to create additional air, water or other forms of environmental pollution.

The petition site is surrounded by gC-10 zoning on three sides. The Alyeska Highway runs along the north property boundary. The property to the west and south are undeveloped. The only developed property abutting the site is the church to the east. The proposed building will likely generate significantly more traffic during weekdays than the church, but it does not appear to be incompatible with the church.

7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;

The standard is met.

No significant adverse impacts are anticipated to result from the proposed general manufacturing use. The brewery will be completely enclosed within a mixed-use building.

8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and

The standard is not met.

The site plan shows a shared driveway located on the neighboring property to the west (Tract B2A). No pedestrian routes are provided from the building to the Alyeska Highway. Pedestrians will be forced to walk through unpaved areas or in the driveway. Glacier Valley Transit serves the property. The Traffic Department recommends that the site plan show an ADA pedestrian pathway from the Alyeska Highway to the sidewalk attached to the building. Planning agrees with the Traffic Department that a paved pathway is warranted, but it should not be required to meet ADA grades due to existing topography affecting the site.

9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

The standard is met.

The site is served by law enforcement protection and the Girdwood Volunteer Fire Department. The site has access to public water and sewer.

AMC 21.09.070 Site development and design standards.

C. Hazard areas

The standard is met. The property is not located in an avalanche zone.

D. Grading and drainage

The standard is met. A full drainage analysis will be required with a land use permit at the time of development.

E. Landscaping, vegetation and tree retention

The standard is not met.

Commercial uses are required to have 10% natural vegetation and 20% total permeable surface. The site plan shows 10.4% natural vegetation and 22% total permeable area.

The parking lot landscape islands should be revegetated and protected by a Type I barrier curb. This should be a conditions of approval.

F. Transportation and connectivity

The standard is not met. The driveway is subject to AMC 21.09.070N., *Driveway Standards*, below.

G. Lighting

The standard is met. Compliance with the exterior parking lot lighting requirements will be handled by the Building Safety Division and the Traffic Department at the time of land use permitting.

H. Pedestrian circulations

The standard is not met. The site plan shows a walkway around sections of the north, east, and west sides of the building. There is no walkway on the south elevation of the building adjoining the parking lot. Also, there is no walkway to the entrance of one of the dwelling units. The walkway must be a minimum of five feet wide and the roof overhang is required to cover the walkway for protection from falling snow. No walkways are provided from the building to the parking area, but given that the parking area is small, a walkway may not be necessary.

I. Fences and walls

The standard is met. No fences or walls are proposed.

J. Utilities and utility equipment standards

The standard is met. Utilities are required to be placed underground.

K. Snow management

The standard is met. The site plan shows that the 20% snow storage area requirement is met for both the driveway and the parking lot.

L. Off-street parking standards

The standard is met. The site plan requires a minimum of 14 parking spaces and 28 spaces are provided. The site plan should label the parking lot as being paved, in accordance with AMC 21.09.070L.8. No loading facility is required, however, one is provided on the west side of the building.

M. Signage

The standard is met. Signage will be reviewed at the time of land use permitting.

N. Driveway standards

The standard is not met. The site plan shows a 30-foot wide driveway. The maximum allowable width is 24 feet unless approved by the Municipal Traffic Engineer. Also, the site plan should label the driveway as paved.

O. Trash management in the multi-family, commercial, industrial, and resort districts

The standard is met. The site plan shows one dumpster with a 5-foot tall cedar fence enclosure on three sides. All refuse storage is required to be bear proof and screened with a three-sided structure.

AMC 21.09.080F. Commercial, Resort and Public/Institutional Building Design Standards.

2. Building Design Standards

a. *Mountain Building Style – Intent*

The design of new buildings shall have the appearance of structures appropriate for Girdwood’s climate, mountain valley setting, and small western mining town character. Commercial and resort buildings shall utilize a mountain style defined primarily by the materials, roof pitches, use of porches, and street treatment as set forth below and in section 21.09.070F.

The standard is met. The building will have stone and wood siding and a metal roof, which is appropriate for Girdwood’s climate, setting, and character.

b. *Residential Building Style – Intent*

New buildings in the old and new Girdwood townsite commercial areas shall have a residential character, even though the zoning permits and encourages commercial uses. Building forms and detail elements shall have predominantly pitched roofs, porches, traditional rectangular windows with a vertical orientation (on the ground floor), avoidance of blank walls or materials associated with industrial uses. Buildings shall consist of relatively small, human-scaled or appear to be an aggregation of smaller, simpler forms. Residential apartments on upper stories are encouraged.

Not applicable. The site is located outside of the Girdwood townsite.

c. *Mass*

The mass of a single building or group of buildings shall be organized so it appears to be an arrangement of smaller-sized connected structures. Upper level residential floors may be incorporated into the roof form to reduce the apparent height and mass of buildings.

The standard is met. The mass of this building is broken up into segments with roofline changes. Although this is a two-story building, the only upper level space is for the brewery office and the second story residence.

d. *Scale and Size*

No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.

The standard is met. The north and south building elevations are 120 feet long and have four foot deep wall changes every 40 feet as required. The east and west building elevations are 48 feet long and provide the required four-foot deep wall modulations.

e. *Building Façade Elements*

Windows on the ground floor shall be rectangular and vertically oriented, and recessed into the exterior wall or window trim, rather than appear as continuous areas of glass flush with the wall plane.

Balconies shall be recessed or covered. There shall be trim around openings and windows. Exterior corridors to upper floor room entrances are prohibited for buildings with more than eight dwelling units.

The standard is met. Windows on the ground floor are rectangular and vertically oriented, and recessed into the window trim as required. There are no balconies.

f. Store Fronts

i. Design Elements

The front facade for all retail/commercial uses shall be organized to display merchandise in visible and attractive ways. This requirement shall be met by providing:

- (A) Horizontal and vertical mullions and sashes to subdivide the windows into smaller panes;**
- (B) Sturdy and weather resistant storefront base materials;**
- (C) One or more angled windows, such as bay windows, or recessed doorways; and**

Standards "A" and "C" are not met. The façade of the brewery tasting room and yoga studios do not provide horizontal or vertical mullions and sashes to subdivide the windows into small panes as required by (A). Also, no windows angled windows, such as bay windows, or recessed doorways are provided as required by (C).

Standard "B" is met. The façade material is will be sturdy and weather resistant as required by (B).

ii. Entries

Entries extending from the main facade, such as arctic entries, are permitted where these areas are designed as an integral part of the structure and do not impede pedestrian movement along the building façade.

The standard is met. There are 2 arctic entries to the brewery, and all are internal to the main structure of the building. The yoga studios and residences have single doorways that open internally along the façade of the building.

iii. Glass Windows

Except for the gC-4 district, commercial buildings shall have a high percentage of glass windows with interior views in the facades, as specified below.

- (A) Retail/bar/restaurant uses at ground floor: At least 50 percent glass.**

(B) Retail/commercial use with a sideyard entrance, the portion of the store facing the street: At least 50 percent glass designed as display windows.

(C) Ground floor offices facing streets or pedestrian areas: At least 30 percent glass.

(D) Ground floor of grocery store facing streets, pedestrian areas or major parking lots: At least 50 percent glass.

The standard is met for "B". The brewery provides 8 vertical windows with interior views to the ground floor and 3 clear story windows. The fitness/recreational facilities has 8 windows on the north elevation. No windows are provided on the west elevation.

3. **Roof Form**

a. ***Pitch***

Roofs visible from a public way shall be primarily pitched. The pitch for the primary roof structure shall be between 8:12 and 12:12, but may be as shallow as 5:12, as long as the eave overhangs are at least two and one half feet. Segments of the roof may be flatter or steeper slopes, however, to achieve a specific design effect. Wherever a portion of the roof has a shallower pitch than the standard, or if it is flat, provision shall be made to avoid glaciation.

The standard is not met. The roof pitch is 6:12 which is permitted with at least 2.5 feet of eave overhang, which the building does not have. The roof pitch should be revised to 8:12 or provide the required overhang.

b. ***Flat Roofs***

Flat portions of roofs shall have distinctive cornice features, to create visual interest and provide sufficient overhang to protect walls from the weather. Large visible flat roof forms shall step or be broken by dormers. Design elements may also be used on flat roofs to create the appearance the building has a pitched or shed roof. The canopy sheltering cars at fueling stations may be flat but shall have distinctive cornice detailing. Fueling station canopies shall not be significantly larger and out of proportion to the fueling station building.

The standard is met. No flat roof is proposed.

c. ***Overhangs***

Roof overhangs shall be sufficient to provide weather protection for building walls. Overhangs on the gable end shall be a minimum of 12 inches. Overhangs on the eave ends shall be a minimum of 24 inches, except the upper eave end of a shed roof is not required to have an overhang. Solariums are exempt from this subsection.

The standard is met. The roof gable overhangs are 12 inches and the eave overhangs are 36 inches as required.

d. *Snow and Rain Protection*

Roof structures shall be designed to protect doorways, exterior stairs, balconies, vehicle service bays, and garage entrances from snow, ice and rain. Balconies shall be designed to avoid drainage onto other balconies or pedestrian spaces below.

The standard is met. The roof is designed to protect doorways and garage entrances from snow, ice, and rain.

e. *Roofing Materials*

Roofing materials may be asphaltic shingle, metal, or built-up materials on flat sections. Brightly colored enameled, reflective metal, and wood shakes are prohibited roofing materials.

The standard is met. The roof will be made of metal. The color of the roof is not provided. No brightly colored enamel, reflective metal, and wood shakes will be permitted.

f. *Projections from Roofs*

i. Location on roof chimneys, flues, vents, and antennae shall penetrate the roof near a ridgeline or only where protected from snow movement off the roof. Vent pipes shall be collected into orderly clusters or incorporated into chimney structures.

ii. *Cladding Material*

Chimney and metal flue pipes shall be clad in wood, stone, or stone veneer.

The standard is met. The building will have no roof chimneys, flues, vents, and antennae.

4. *Porches, Entrances, Arcades, and Roofed Walkways*

A key element of Girdwood mountain style for commercial, community and resort buildings is the use of porches with shed roofs to define entrances. To the maximum extent feasible, all buildings shall utilize porches constructed in accordance with the following standards:

a. *Landing Height*

Where landings are used, they shall be a minimum of eight inches higher than adjacent walkways or streets.

The standard is met. The elevations have a label stating that all landings will be 8 inches above grade.

b. *Rails*

Porch rails shall be semi-open and/or transparent. Details shall be consistent with other building detailing.

The standard is not met. No porch rails are proposed. The building elevations should be revised to show porch rails.

c. *Entry Size*

Building entrances shall be at least eight feet in width, weather protected, and well lit.

The standard is not met. The building entrances are 8 feet wide, but not weather protected.

d. *Arcades and Roofed Walkways*

i. *Relationship to Buildings*

Arcades or roofed walkways shall be fully attached to the building front and be of uniform design along the street frontage. Arcades may vary and step along the street frontage with the line and style of the buildings to which they belong. Arcade form, width, scale, materials and colors shall be compatible the adjacent building.

The standard is not met. No arcade or roofed walkways are provided. This should be a condition of approval.

ii. *Relationship to Streets*

A landscaped strip for snow storage at least eight feet in width shall be provided parallel to the arcade and shall separate it from the sidewalk edge.

The standard is not met. No landscape strip for snow storage is provided parallel to an arcade or roofed walkway.

iii. *Upper Floor Buildable Area*

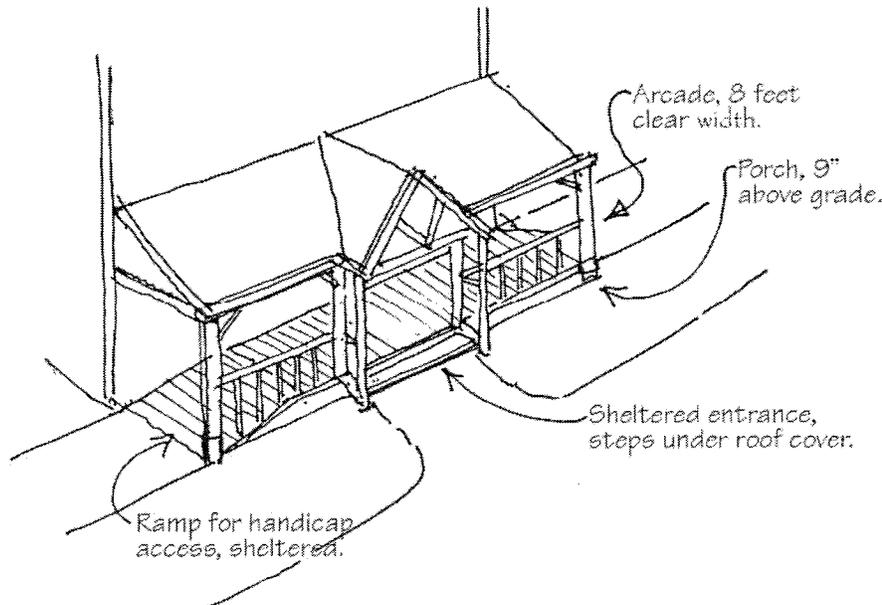
After an administrative review and sign-off by the director, the upper story areas above the arcade may be enclosed as part of the building area. The director will review the proposal for conformity with design goals of this chapter and applicable Girdwood area plans.

The standard is met. The upper floor is fully enclosed within the building area.

iv. *Clear Space*

Arcades and roofed walkways shall have a minimum of eight feet clear space between arcade columns and the building wall. The arcade of a grocery store shall allow a minimum of

10 feet clear space. The arcade shall be continuous between all entrance/exit doors.



The standard is not met. Eight feet of clear space beneath an arcade or roofed walkway is not shown on the building elevation.

v. Columns

Arcade columns shall be in scale with the overall building but shall not obscure ground level storefronts from adjacent pedestrian areas.

The standard is not met. No columns are provided beneath an arcade or roofed walkway.

vi. Roofs

Arcade and walkway roofs may be flat or sloped to complement other roof forms on the building, but the roof form shall be designed to provide adequate drainage and prevent snow dump, icicle build-up, or rainwater dripping over points of entry to the arcade or walkway. Canvas, metal, or acrylic awnings in lieu of structural covered walkways are not acceptable.

The standard is not met. No arcade or roofed walkway is provided. It must be designed to prevent the dumping of snow, icicle building-up, and rainwater at entry points.

vii. Elevation above Grade

Arcaded or roofed walkways shall be elevated at least eight inches above grade.

The standard is not met. The requirement is for an arcade or roofed walkway to be elevated 8 inches above grade.

viii. Pedestrian Scale Lighting

Arcade and roofed walkway lighting shall be adequate to provide for safety and aesthetic quality. Pedestrian scaled lighting, including but not limited to bollards, ceiling or post-mounted, or attached to the building, shall be required as part of the design of covered walkways. Light sources shall be shielded, recessed, and/or directed so glare is avoided.

The standard is not met. No pedestrian scale lighting is shown for an arcade or roofed walkway.

5. Building Materials

a. Primary Building Materials

It is intended for wood and stone to be the primary exterior building materials. Vertical or horizontal patterns, rough or resawn wood, board and batten, and round or square cut logs are permitted. Stone is also permitted. Materials at the base of buildings shall be resistant to damage from snow or water.

The standard is met. Wood and stone are the primary exterior building materials. The stone at the base of the building will be resistant to damage from snow or water.

b. Columns, Posts, and Beams

Primary exterior materials of columns, posts and beams shall consist of heavy timbers, peeled log poles, steel, concrete, or stone cladding, or a combination of these materials.

The standard is not met. No heavy timbers, peeled log poles, or other acceptable materials are shown on the building elevations for the primary exterior materials of columns, posts, and beams.

c. Alternative Façade Materials

On multistory buildings, façade materials may include pre-cast concrete or plaster surfaces, if such surfaces are heavily ribbed, textured, architecturally treated to resemble natural materials, or brush hammered, and are colored to fit the overall building design and mountain setting.

The standard is met. This two-story building is primarily wood siding with four feet of stone along the base. No alternative façade materials are required.

d. Remodels

The architectural design and the materials used in an addition to an existing structure, or accessory structure, shall be compatible with the architectural style and building materials used in the existing structure, unless an entire facade is to be remodeled in a uniform architectural style.

The standard is met. This is a new building, not a remodel.

e. ***Restricted Materials***

No more than 20 percent of any given building facade may be composed of aluminum, untextured vinyl or plastic siding, T-111 siding, brick or exposed concrete. Stucco, treated or textured CMU, or simulated stone veneer may comprise up to 35 percent of any given building facade. No more than five percent of any given building facade may be painted brick.

The standard is met. No restricted materials are proposed.

f. ***Prohibited Materials***

The following materials are prohibited:

- i. **Shiny, reflective metal surfaces anywhere on the building;**
- ii. **Mirrored or highly reflective glass;**
- iii. **Untreated concrete or masonry;**
- iv. **Unstained or untreated wood, except for cedar and redwood; all other wood elements shall be treated with oil, stain, or other weathering agent, or painted to resist weathering and discoloration from water;**
- v. **Plywood siding without board and batten; and**
- vi. **White roof gravels.**

The standard is met. None of these prohibited materials will be used.

6. **Building Colors**

a. ***Principal Colors***

Principal colors on a building shall generally be natural color tones, such as browns, ochre yellows, tans, wood colors, green, rust, barn red and gray. White and cream shades of color are permitted on not more than 35 percent of each facade. Bright, primary colors are permitted on not more than 15 percent of each facade.

The standard is met. Building colors will be provided with the land use permit.

b. ***Trim Colors***

Brighter colors than primary building colors are permitted for trim and highlight details, such as cornices, window frames, handrails,

and entrance doors. Neon tubing or an equivalent illumination technique is prohibited as a building/roofline outline feature.

The standard is met. Trim colors will be provided with the land use permit.

7. Accessory Elements

a. Parking

Detached garages, carports, and parking garages shall be designed with architectural elements and materials related to the principal commercial building or buildings, and shall be screened from view from public roads and primary common areas with landscaping and/or berming.

The standard is met. The site plan shows a surface parking lot. No parking garages or carports are proposed.

DEPARTMENT RECOMMENDATION

The Department recommends APPROVAL of a conditional use for general manufacturing in the gR-10 district, subject to the following conditions:

1. This approval is subject to the petitioner's application, narrative, and the following plans on file at the Planning Division, except as modified by these conditions of approval:

Plot Plan, dated January 24, 2016, drawn by Anthony Hoffman, the The Boutet Company; Grading Plan, dated March 2016, drawn by David Grenier, Triad Engineering; Sheets A1.0, A1.1, A1.2, and A1.3, dated March 23, 2016, drawn by Oien Associates, Inc.
2. A notice of zoning action and a final approved site plan shall be filed with the State Recorder's Office. Proof of such shall be submitted to the Planning Division.
3. Obtain jurisdictional determination approval from the U.S. Corps of Engineers.
4. Dimension the distance between the corner of the building and the west lot line to verify that the 20-foot side setback is met.
5. Provide a paved pedestrian pathway from the Alyeska Highway to the sidewalk attached to the building.
6. Extend the sidewalk on the north side of the building to meet the sidewalk shown on the east side of the building so that there is a sidewalk all the way around the building.

7. Revegetate the parking lot landscape islands and protect them with a Type I barrier curb, in accordance with AMC 21.09.070E.8. *Revegetation of Disturbed Areas.*
8. Verify that the width of all walkways have a minimum width of five feet and provide roof overhang protection from falling snow as required by AMC 21.09.070H. *Pedestrian Circulation.*
9. Add a label to the site plan to show paved parking as required by AMC 21.09.070L.8. *Parking Surface Materials.*
10. Revise the site plan to show a 24 foot wide driveway, in accordance with AMC 21.09.070N.3. *Driveway Standards for Commercial Districts and Nonresidential Uses in Residential Districts*, unless an alternative width is approved by the Municipal Traffic Engineer.
11. Revise the site plan to show a paved driveway, in accordance with AMC 21.09.070N.3. *Driveway Standards for Commercial Districts and Nonresidential Uses in Residential Districts.*
12. Revise the building elevations to show compliance with AMC 21.09.080F.2.f.i(A) and (C) *Design Elements.*
13. Revised the roof pitch to 8:12 or provide the required 2.5-foot eave overhang as required by AMC 21.09.080F.3.a. *Pitch.*
14. Revise the building elevations to show porch rails as required by AMC 21.09.080F.4.b. *Rails.*
15. Revise the building elevations to show weather protected entrances as required by AMC 21.09.080F.4.c. *Entry Size.*
16. Revise the site plan and building elevations to show an arcade or roofed walkway as required by AMC 21.09.080F.4.d.i. *Relationship to Buildings.*
17. Revise the site plan to show a landscape strip parallel to an arcade or roofed walkways as required by AMC 21.09.080F.4.d.ii. *Relationship to Streets.*
18. Revise the building elevation to show 8-foot wide arcade or roofed walkway as required by AMC 21.09.080F.4.d.iv. *Clear Space.*
19. Revise the building elevations to show columns beneath an arcade or roofed walkways as required by AMC 21.09.080F.4.d.v. *Columns.*
20. Revise the site plan and building elevations to conform with AMC 21.09.080F.4.d.vi. *Roofs.*

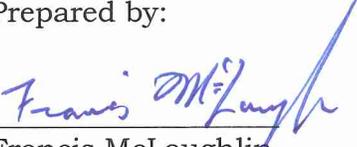
21. Revise the site plan to show an arcade or roofed walkway elevated 8 inches above grade in accordance with AMC 21.09.080F.4.d.vii. *Elevation Above Grade.*
22. Provide a pedestrian lighting plan for the arcade or roofed walkway showing compliance with AMC 21.09.080F.d.viii. *Pedestrian Scale Lighting.*
23. Revise the building elevations to show support columns are required by AMC 21.09.080F.4.c. *Entry Size.*

Reviewed by:



Hal H. Hart, AICP
Director

Prepared by:



Francis McLaughlin
Senior Planner

(Case 2016-0053; Parcel ID No. 075-163-44)

Amended Conditions of Approval

DEPARTMENT RECOMMENDATION

The Department recommends APPROVAL of a conditional use for general manufacturing in the gR-10 district, subject to the following conditions:

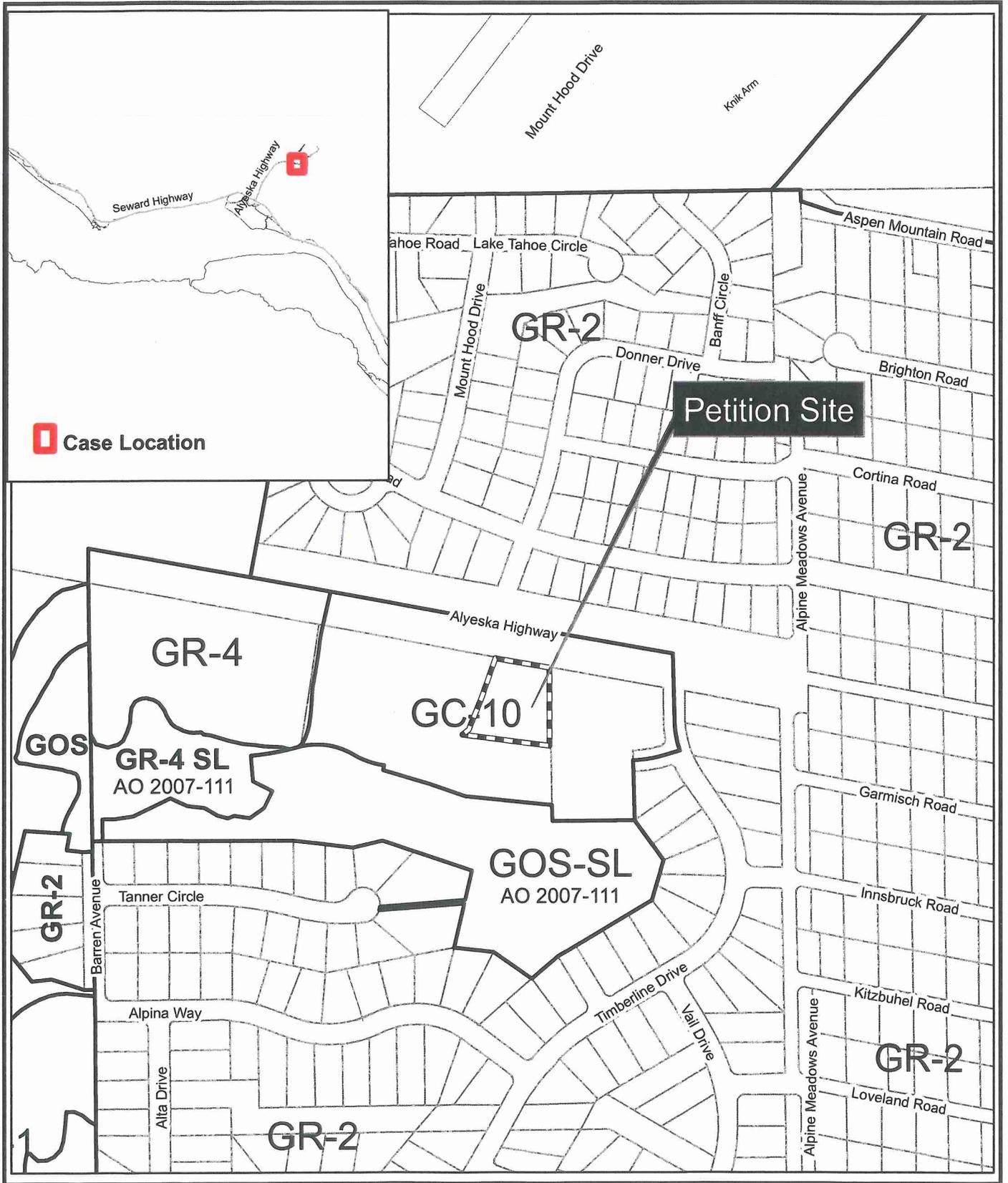
1. This approval is subject to the petitioner's application, narrative, and the following plans on file at the Planning Division, except as modified by these conditions of approval:

Plot Plan, dated January 24, 2016, drawn by Anthony Hoffman, the The Boutet Company; Grading Plan, dated March 2016, drawn by David Grenier, Triad Engineering; Sheets A1.0, A1.1, A1.2, and A1.3, dated ~~March 23~~ **May 25**, 2016, drawn by Oien Associates, Inc.
2. A notice of zoning action and a final approved site plan shall be filed with the State Recorder's Office. Proof of such shall be submitted to the Planning Division.
3. ~~Obtain jurisdictional determination approval from the U.S. Corps of Engineers.~~
4. Dimension the distance between the corner of the building and the west lot line to verify that the 20-foot side setback is met.
5. Provide a paved pedestrian pathway from the Alyeska Highway to the sidewalk attached to the building.
6. Extend the sidewalk on the north side of the building to meet the sidewalk shown on the east side of the building so that there is a sidewalk all the way around the building.
7. Revegetate the parking lot landscape islands and protect them with a Type I barrier curb, in accordance with AMC 21.09.070E.8. *Revegetation of Disturbed Areas*.
8. Verify that the width of all walkways have a minimum width of five feet and provide roof overhang protection from falling snow as required by AMC 21.09.070H. *Pedestrian Circulation*.
9. ~~Add a label to the site plan to show paved parking as required by AMC 21.09.070L.8. *Parking Surface Materials*.~~
10. ~~Revise the site plan to show a 24 foot wide driveway, in accordance with AMC 21.09.070N.3. *Driveway Standards for Commercial Districts and Nonresidential Uses in Residential Districts*, unless an alternative width is approved by the Municipal Traffic Engineer.~~
11. ~~Revise the site plan to show a paved driveway, in accordance with AMC 21.09.070N.3. *Driveway Standards for Commercial Districts and Nonresidential Uses in Residential Districts*.~~

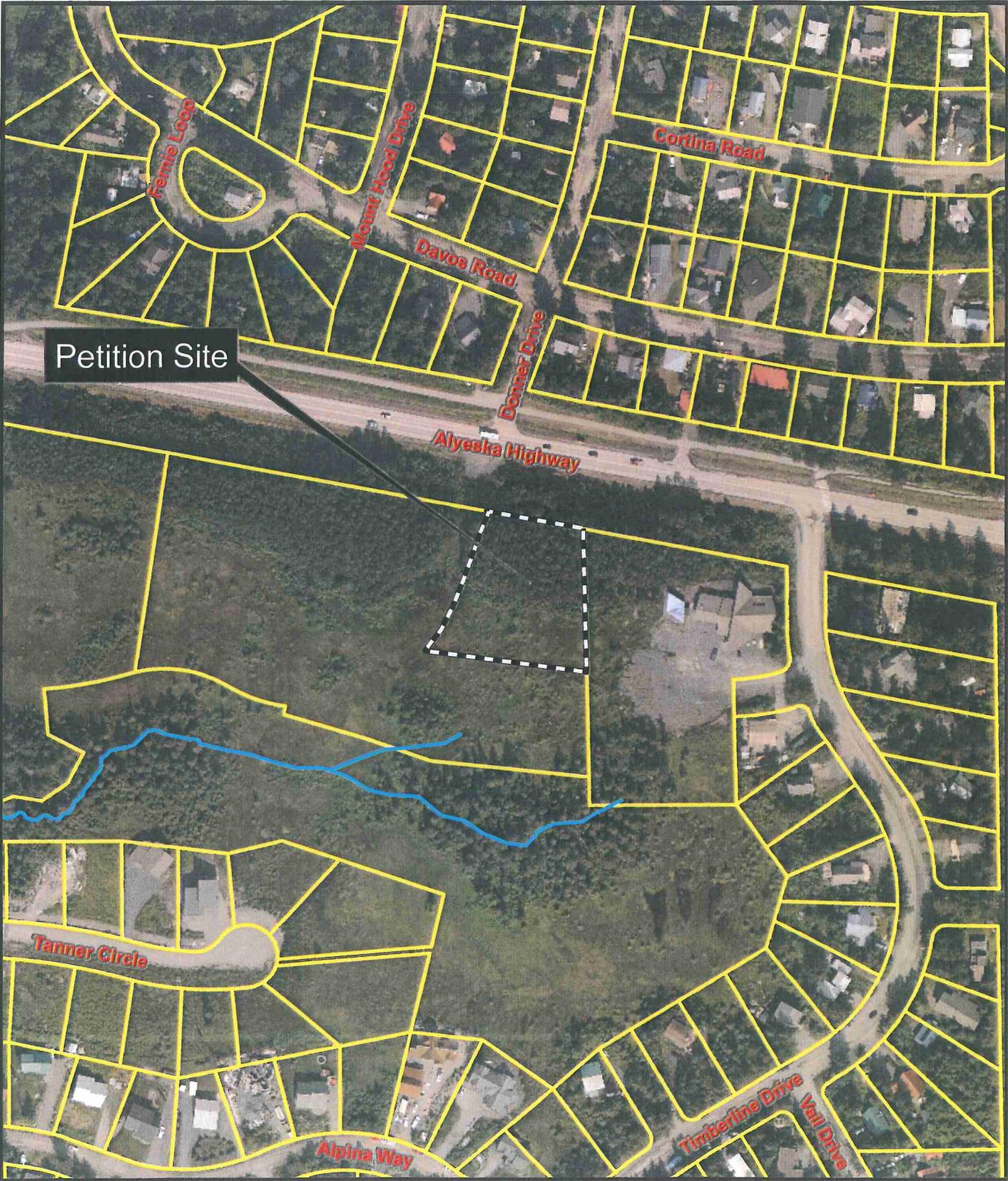
Amended Conditions of Approval

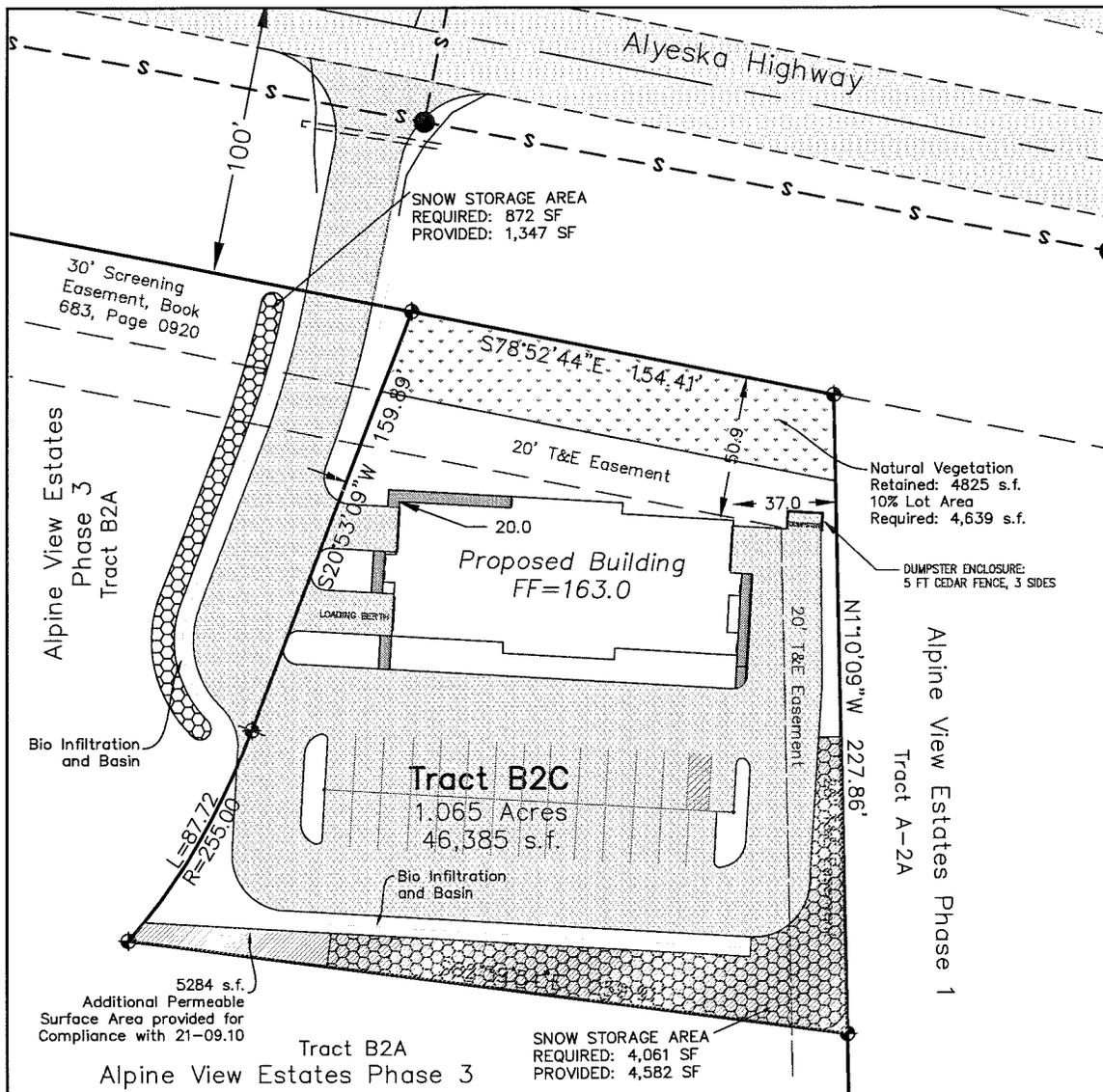
12. Revise the building elevations to show compliance with AMC 21.09.080F.2.f.i(A) and (C) *Design Elements*.
- ~~13. Revised the roof pitch to 8:12 or provide the required 2.5-foot eave overhang as required by AMC 21.09.080F.3.a. *Pitch*.~~
14. Revise the building elevations to show porch rails as required by AMC 21.09.080F.4.b. *Rails*.
- ~~15. Revise the building elevations to show weather protected entrances as required by AMC 21.09.080F.4.c. *Entry Size*.~~
16. Revise the site plan and building elevations to show an arcade or roofed walkway as required by AMC 21.09.080F.4.d.i. *Relationship to Buildings*.
17. Revise the site plan to show a landscape strip parallel to an arcade or roofed walkways as required by AMC 21.09.080F.4.d.ii. *Relationship to Streets*.
18. Revise the building elevation to show 8-foot wide arcade or roofed walkway as required by AMC 21.09.080F.4.d.iv. *Clear Space*.
19. Revise the building elevations to show columns beneath an arcade or roofed walkways as required by AMC 21.09.080F.4.d.v. *Columns*.
20. Revise the site plan and building elevations to conform with AMC 21.09.080F.4.d.vi. *Roofs*.
21. Revise the site plan to show an arcade or roofed walkway elevated 8 inches above grade in accordance with AMC 21.09.080F.4.d.vii. *Elevation Above Grade*.
22. Provide a pedestrian lighting plan for the arcade or roofed walkway showing compliance with AMC 21.09.080F.d.viii. *Pedestrian Scale Lighting*.
23. Revise the building elevations to show support columns are required by AMC 21.09.080F.4.c. ~~*Entry Size*~~. **5.b. Columns, Posts, and Beams.**

2016-0053



2016-0053



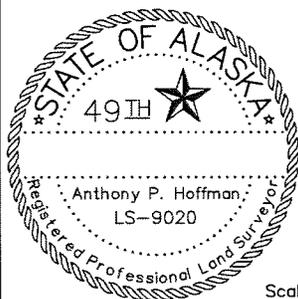


Parking Calculation:

Required parking (21.07.090 Table 21.07-4): 14
 (3 for 2,240 s.f. of residential mixed dwelling, 7 for 1,920 s.f. of commercial fitness/ rec center, 4 for 3,040 s.f. of industrial general manufacturing)
 26 Provided

Compliance Table

1. Vegetation coverage (Table 21.09-10). Natural vegetation retained: 4,825 s.f.. 10% lot area required 4,639 s.f... Total permeable surface provided: 4,825 s.f. & 5,284 s.f.=10,649 s.f.. 20% lot area required 9,878 s.f.
2. Snow storage (21.09.070.K): Total non permeable surfaces (paved areas and walkways) shown on Tract B2C is 20,306 s.f.. 4,582 s.f. area provided. 20% area required 4,061 s.f.. Total non permeable surface shown on Tract B2A is 4,358 s.f.. 1,347 s.f. provided. 20% area required 872 s.f.



Scale: 1"=50'

Notes

1. Vertical Datum is GAAB. Elevations are expressed in feet.
2. Basis of Bearings is per MOA plat 2014-38

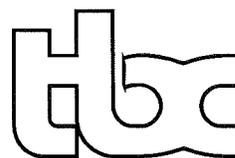
Legend

- End Monument per Plat 2014-38
- Proposed Snow Storage Area
- Proposed Paving
- Proposed Conc Walkway

**Plot Plan
 Tract B-2C
 Alpine View Estates, Phase 3**

Ordered By: **Tim Cabana** Date: January 24, 2016
 Job No: Plat: 2014-38 Grid: SE4815 Drawn By: APH

Survey Certification: The Boutet Company has conducted a physical survey of the property shown hereon and certifies that the lot corners have been found or established as indicated, and that to the best of our knowledge and abilities, all dimensions have been measured true and correct.
Exclusionary Note: It is the owners' responsibility to determine the existence of any easements, covenants, restrictions or right-of-way takings which do not appear on the recorded subdivision plat. It is the contractor's responsibility to check top of foundation grade and building setbacks in relation to lot lines and easements.



The Boutet Co.
 601 East 57th Place, Suite #102
 Anchorage Alaska, 99518
 PHONE (907) 522-6776 FAX (907) 522-6779



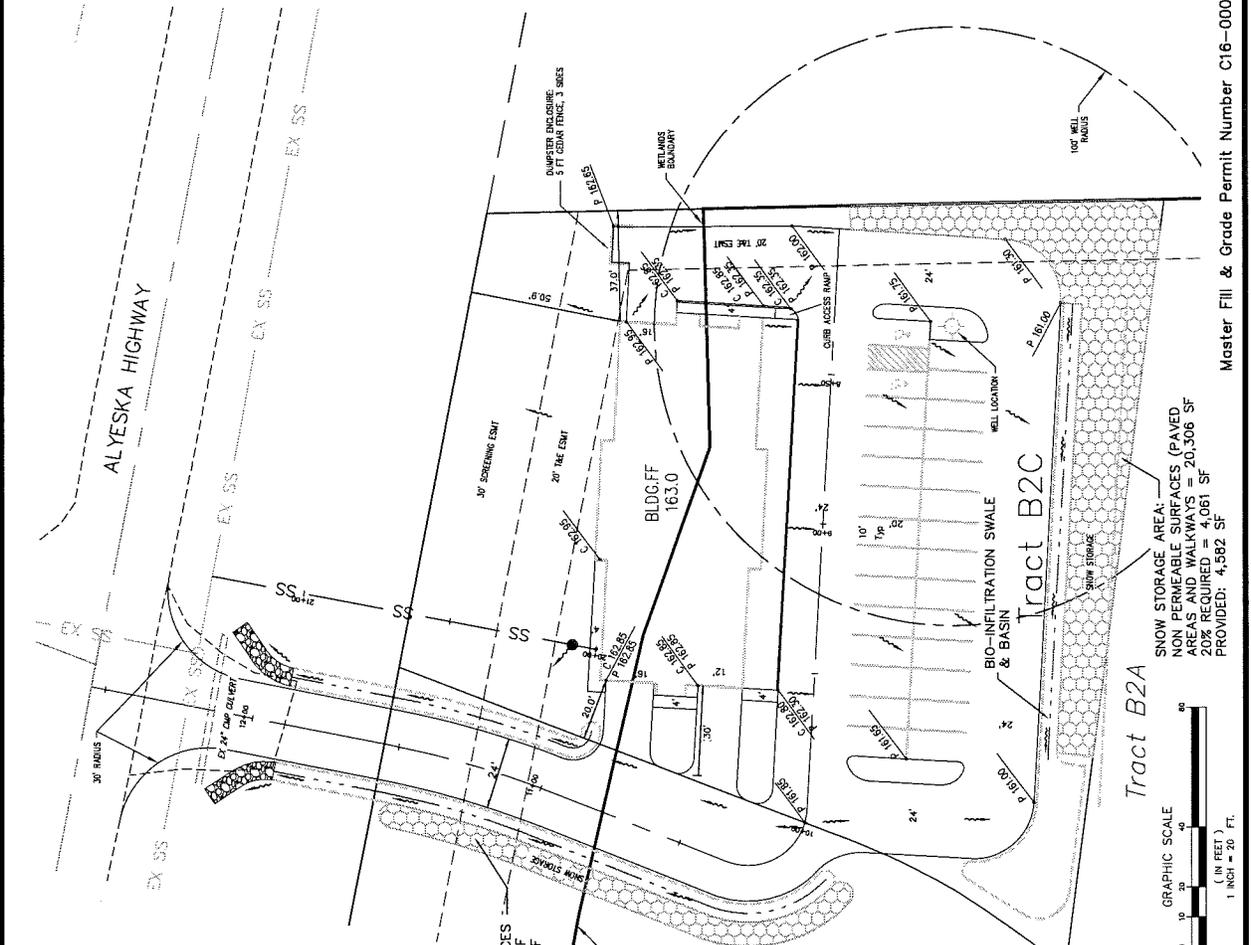
TRILAUD ENGINEERING
 P.O. Box 110600
 Anchorage, Alaska 99511
 (907) 581-5537

RECORD DRAWING
 IN: DATA PROVIDED
 THIS DRAWING IS TO BE USED FOR CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS DRAWING. ANY CHANGES TO THE PROJECT MUST BE APPROVED BY THE ARCHITECT/ENGINEER.
 1. DATA PROVIDED
 2. DATA TRANSMITTED
 3. DATA OBTAINED FROM FIELD SURVEY
 4. DATA OBTAINED FROM OTHER SOURCES
 5. DATA OBTAINED FROM PUBLIC RECORDS
 6. DATA OBTAINED FROM OTHER PROJECTS
 7. DATA OBTAINED FROM OTHER PROJECTS
 8. DATA OBTAINED FROM OTHER PROJECTS
 9. DATA OBTAINED FROM OTHER PROJECTS
 10. DATA OBTAINED FROM OTHER PROJECTS

GRADING PLAN
 ALPINE MEW ESTATES, PHASE 3
 TRACT B-2C

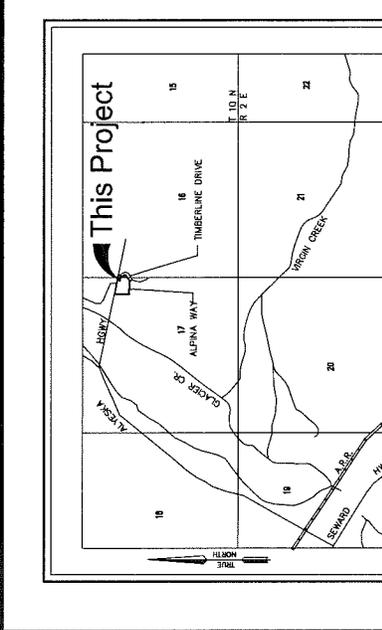
NO.	DATE	BY	CHKD	REVISIONS
1	10/15/2015	TRILAUD	TRILAUD	ISSUED FOR PERMIT
2	11/05/2015	TRILAUD	TRILAUD	REVISED PER COMMENTS
3	01/20/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
4	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
5	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
6	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
7	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
8	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
9	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS
10	02/02/2016	TRILAUD	TRILAUD	REVISED PER COMMENTS

Sheet **C1** of **1**
 Master Fill & Grade Permit Number C16-0000



SNOW STORAGE AREA:
 NON PERMEABLE SURFACES
 PAVED AREA = 4,358 SF
 20% REQUIRED = 872 SF
 PROVIDED: 1,347 SF

SNOW STORAGE AREA:
 NON PERMEABLE SURFACES (PAVED)
 AREAS AND WALKWAYS = 20,306 SF
 20% REQUIRED = 4,061 SF
 PROVIDED: 4,582 SF



SCALE: 1 inch = 2000'

FILL & GRADING NOTES

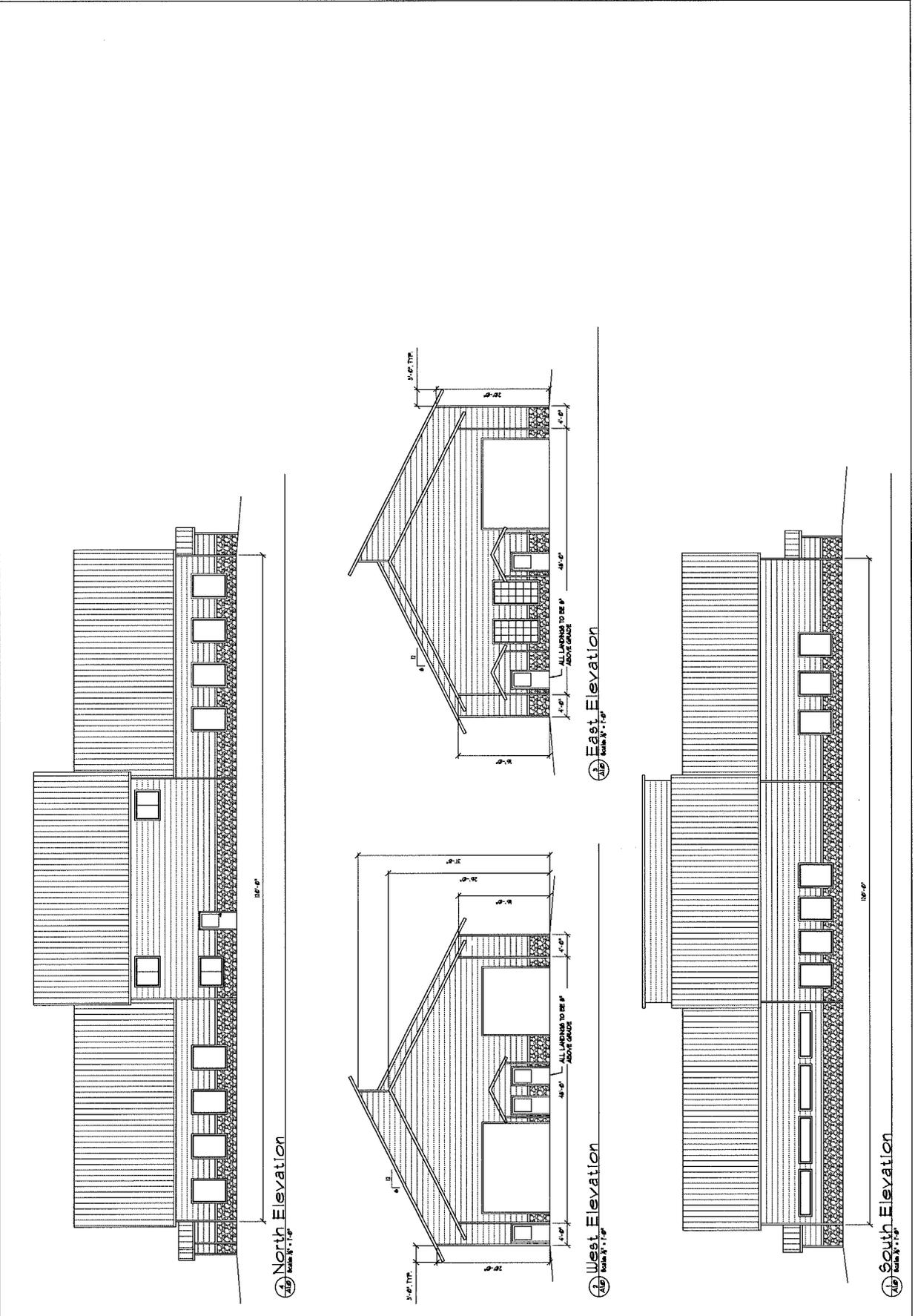
- SLOPES TO BE STABILIZED WITH VEGETATION, NO LATER THAN 10-15-2015.
- ALL FILL SHALL BE PLACED IN ONE FOOT LIFTS, MAXIMUM, AND COMPACTED TO 85% MINIMUM AND IN MATERIALS WITH MAXIMUM HUMIDITY GREATER THAN 10%. ALL FILL SHALL BE PLACED ON UNDISTURBED MATERIALS.
- BOUNDARY LINE SHALL BE THE 8% SLOPES SHALL BE PLACED NOT NEARER TO THE SITE BOUNDARY LINE THAN ONE-HALF THE HEIGHT OF THE SLOPE WITH A MINIMUM OF TWO (2) FEET AND A MAXIMUM OF TWENTY (20) FEET.
- CONTRACTOR SHALL VERIFY (TOP) COMPLETION AND ADJACENT SITES AS DETERMINED BY THE ENGINEER.
- UNITS HORIZONTAL (NOW SLOPE) SHALL BE MAINTAINED WITHIN THE BENCH UNLESS OTHERWISE SPECIFIED. HORIZONTAL (NOW SLOPE) SHALL BE MAINTAINED WITHIN THE BENCH UNLESS OTHERWISE SPECIFIED. AREA OF DISTURBANCE 1.25 ACRES.
- HOURS OF OPERATION WILL BE BETWEEN 7:00 A.M. TO 7:00 P.M. MON-SAT. REQUIRED TESTING FOR FILL OPERATIONS SHALL BE PERFORMED DURING PREPARATION OF THE NATURAL GROUND PRIOR TO COMPACTING AS WELL AS OBSERVATIONS DURING PREPARATION OF THE NATURAL GROUND PRIOR TO FILL OPERATIONS. TO THE PROJECT SITE WILL BE TYPE 1/4" FROM THE PORTAGE GRAVEL SOURCE MATERIAL HAULLED FROM THE PROJECT WILL BE EXCESS CUT FROM THE SITE EXCAVATION AND WILL CONSIST OF GREAT SAND, SILT, CLAY, AND MUD.
- FILL SLOPES TO BE 2:1 MAX. AND CUT SLOPES TO BE 2:1 MAX.
- PERMITS SHALL BE OBTAINED FOR ALL CUTS AND FILLS. THE TOP OF CUT SLOPES SHALL NOT BE MADE NEARER TO A SITE BOUNDARY LINE THAN ONE-FIFTH OF THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF TWO (2) FEET AND A MINIMUM OF ONE (1) FEET. THE SETBACK MAY NEED TO BE INCREASED FOR ANY REQUIRED INTERFERING UTILITIES.
- THE CONTRACTOR SHALL MAINTAIN OPEN AND UNRESTRICTED ROUTES DAILY UNTIL CONSTRUCTION IS COMPLETE.
- NO FILL MATERIAL WILL BE PLACED IF FROZEN AND NO FILL SHALL BE PLACED ON FROZEN MATERIAL.
- THE CONTRACTOR SHALL VERIFY THE FILL MATERIAL IS FREE OF FROZEN MATERIAL.
- A RIGHT OF WAY PERMIT IS REQUIRED FOR ANY WORK WITHIN THE MOA OR STATE RIGHTS OF WAY.
- ALL ORGANICS ENCOUNTERED BELOW THE BUILDING FOOTPRINT SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. THE CONTRACTOR SHALL VERIFY THE FOUNDATION AND SHALL BE FOUND ON COMPETENT SOILS. SEE SPECIAL INSPECTION SCHEDULE BELOW.

SPECIAL INSPECTION NOTES

- VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.
- VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.
- PERFORM CALIBRATION AND TESTING OF CONTROLLED FILL MATERIALS.
- VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL.
- PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.

SPECIAL SOIL INSPECTION & TESTING SCHEDULE (SEE 1704.7 & TABLE 1704.7)	CONTINUOUS INSPECTION	PERIODIC INSPECTION
1. VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.		X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.		X
3. PERFORM CALIBRATION AND TESTING OF CONTROLLED FILL MATERIALS.		X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL.	X	
5. PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.		X

IF THIS SHEET IS LESS THAN 22"x34" IT IS A REDUCED PRINT - SCALE ACCORDINGLY



SHEET TITLE: ELEVATIONS	
FORM NO.	4304A
DATE	5/23/98
DRAWN	PKW
CHECKED	ESD
NO.	REVISION
DATE	

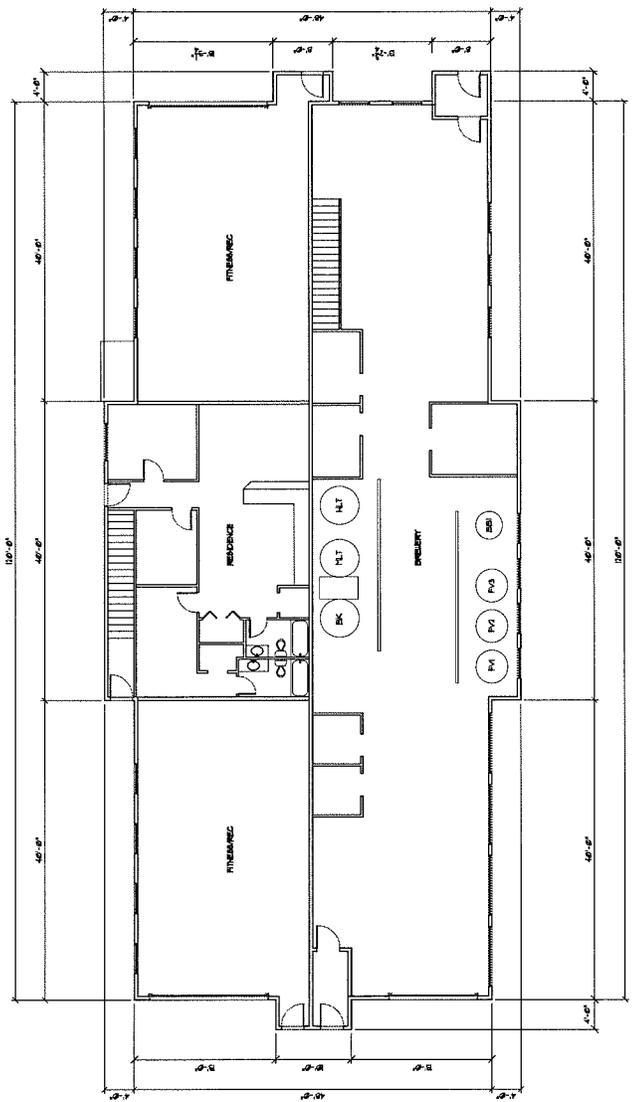
Girdwood Brewery
Girdwood, Alaska

Olen Associates, Inc.
 Construction Management Engineering Inspection
 14077 Highway Drive
 Eagle River, AK 99577
 Phone: (907) 554-5501
 Fax: (907) 554-5505
 Email: dolan@olen.com

SHEET NO. A1.0

IF THIS SHEET IS LESS THAN 22"x34" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

First Floor Plan
Scale 1/8" = 1'-0"



SHEET NO. A1.1

SHEET TITLE: FIRST FLOOR PLAN

JOB NO.	41004
DATE	5/27/14
REVISION	
BY	
DATE	

NO.	REVISION	DATE

Girdwood Brewery
Girdwood, Alaska

Olen Associates, Inc.
 Construction Management Engineering Inspection
 4207 Kenner Drive
 Fair, AK 99709
 Phone: (907) 934-8281
 Fax: (907) 934-8282
 Email: info@olenai.com

Departmental and Public Comments



MUNICIPALITY OF ANCHORAGE

Traffic Department



MEMORANDUM

DATE: April 25, 2016

TO: Current Planning Section Supervisor.
Zoning and Platting Division

FROM: Kristen A. Langley, Traffic Safety Section Supervisor,
Traffic Department

SUBJECT: **2016-0053 Conditional Use for Industrial Use (General Manufacturing) in the gC-10 (Upper Alyeska Highway Commercial) District**

1. Traffic Department will require, in conjunction with building permits, the following:
 - a. A parking area and a driveway with surfacing materials (sealed RAP or asphalt paving) per approval of the Municipal Traffic Engineer.
 - b. A parking lot illumination system, and lighting and glare statement, signed and stamped by a licensed electrical engineer.
 - c. An ADA-compliant walkway – independent of the driveway noted above – between the structure and the Alyeska Highway.

MUNICIPALITY OF ANCHORAGE



Community Development Department
Development Services Division

Mayor Ethan Berkowitz

Private Development Section

RECEIVED

MAY 11 2016

MEMORANDUM

Comments to Planning and Zoning Commission Applications/Petitions **PLANNING DEPARTMENT**

DATE: May 11, 2016
TO: Terry Schoenthal, Current Planning Section Supervisor
FROM: Brandon Telford, Plan Review Engineer
SUBJECT: Comments for Planning and Zoning Commission
Public Hearing date: June 06, 2016

Case 2016-0053 – Conditional Use for Industrial Use (General Manufacturing) in the gC-10 (Upper Alyeska Highway Commercial) District

Department Recommendations:

The Private Development Section has no comment.



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

Department of Transportation and
Public Facilities

CENTRAL REGION
Planning & Administrative Services

RECEIVED

MAY 06 2016

PLANNING DEPARTMENT

4111 Aviation Avenue
P.O. Box 196900
Anchorage, Alaska 99519-6900
Main Phone: (907)269-0520
Fax: (907)269-0521
Web site: dot.state.ak.us

May 5, 2016

Terry Schoenthal, Current Planning Section Manager
MOA, Community Development Department
Planning Division
P.O. Box 196650
Anchorage, Alaska 99519-6650

RE: MOA Zoning Review

Dear Mr. Schoenthal:

The Department of Transportation and Public Facilities (DOT&PF) Central Region Planning Division has no comments on the following zoning cases:

- 2016-0031: 189 Hightower Road, Girdwood
- 2016-0038: Abbott Road from Elmore to Birch Road
 - Comments will be submitted through the regular DOT&PF internal process.
- 2016-0045: 20933 River Park Drive, Eagle River
- 2016-0053: 2700 Alyeska Highway, Girdwood
- 2016-0056: 2421 Redwood Street
- 2016-0057: Seward Highway to Livingston Street (Phase I) and Livingston Street to Hillside Drive (Phase II)
 - Comments will be submitted through the regular DOT&PF internal process.

Sincerely,

James Starzec
Anchorage Area Planner

Cc: Tucker Hum, Right of Way Agent, Right of Way, DOT&PF
Morris Beckwith, Right of Way Agent II, Right of Way, DOT&PF
Scott Thomas, P.E., Regional Traffic Engineer, Traffic Safety and Utilities, DOT&PF
Jim Amundsen, P.E., Highway Design Group Chief, DOT&PF

Municipality Of Anchorage
ANCHORAGE WATER & WASTEWATER UTILITY

MEMORANDUM

DATE: May 2, 2016
TO: Supervisor, Planning Section, Planning Division
FROM: Paul Hatcher, Engineering Technician III, AWWU Planning
SUBJECT: Zoning Case Comments
Hearing Date: June 6, 2016
Agency Comments Due: May 9, 2016

RECEIVED
MAY 03 2016
PLANNING DEPARTMENT

AWWU has reviewed the materials and has the following comments.

2016-0053 ALPINE VIEW ESTATES PH 3 TR B-2C, Conditional Use for Industrial Use (General Manufacturing) in the gC-10 (Upper Alyeska Highway Commercial) District, Grid SE4815

1. AWWU water and sanitary sewer are available.
2. AWWU has no objection to this site plan review.

If you have any questions pertinent to public water and sanitary sewer, you may call me at 564-2721 or the AWWU planning section at 564-2739, or e-mail paul.hatcher@awwu.biz

McLaughlin, Francis D.

From: Kimmel, Corliss A.
Sent: Tuesday, May 10, 2016 2:30 PM
To: McLaughlin, Francis D.
Subject: FW: Case No: 2016-0053
Attachments: Girdwood Brewing Company.pdf

Corliss Kimmel, Office Associate
Current Planning Section
Planning Department
Municipality of Anchorage
(907) 343-7943
Fax: 343-7927

-----Original Message-----

From: Whittier, Amanda L POA [mailto:Amanda.L.Whittier@usace.army.mil]
Sent: Monday, May 9, 2016 9:32 AM
To: Kimmel, Corliss A. <KimmelCA@ci.anchorage.ak.us>
Cc: beer@girdwoodbrewing.com
Subject: Case No: 2016-0053

As of this morning, the Corps has not received an Department of Army (DA) application for a permit or a jurisdictional determination request from the Girdwood Brewing Company for Alpine View Estates Phase 3, Tract B-2C. Based on our review of the information available to us (see attached), we have preliminarily determined the property contains waters of the U.S., including wetlands, under the Corps' regulatory jurisdiction.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). The Corps defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Thank you for the opportunity to comment.

~Amanda

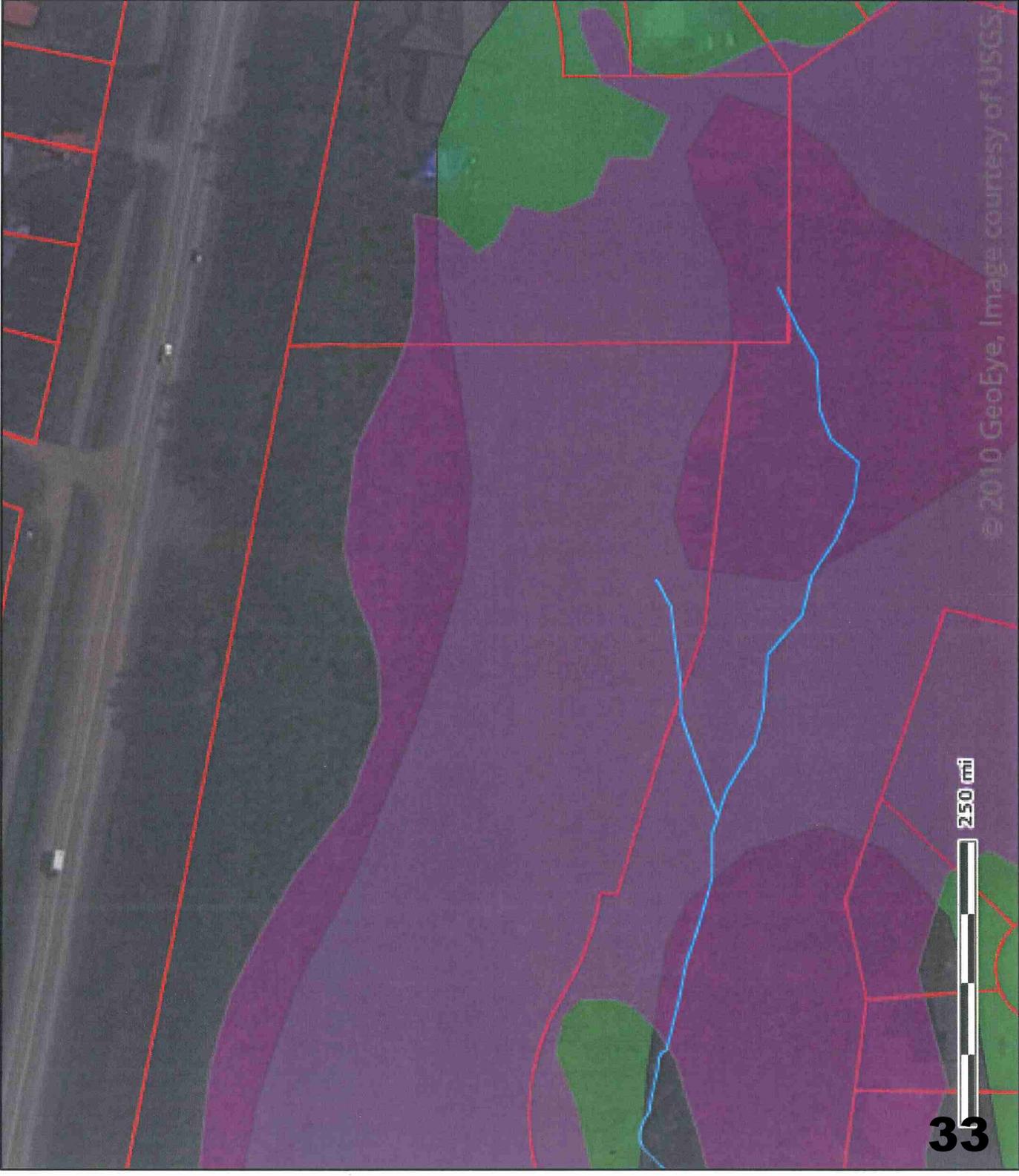
Amanda L. Whittier
Project Manager (CEPOA-RD-SS)
U.S. Army Corps of Engineers (Alaska District)
(907) 753-5582 (desk)
(907) 753-2712 (main)
Amanda.L.Whittier@usace.army.mil



US Army Corps of Engineers

Alpine View Estates Phase 3

US ARMY CORPS OF ENGINEERS



LEGEND	
MOA Streams	
Named Rivers and Streams	
MOA Wetlands	
1	
freshwater	
intertidal	
open water	
Municipality of Anchorage	
National Wetland Inventory (NWI)	
Estuarine and Marine Deepwater	
Estuarine and Marine Wetland	
Freshwater Emergent Wetland	
Freshwater Forested/Shrub Wetland	
Freshwater Pond	
Lake	
Other	
Riverine	

Alaska Highway

Open...

US Army Corps of Engineers
 This map was produced using the
 SimSuite web application on:
 09 May 2016 @ 0858

250 m





Municipality of Anchorage
Public Works Department
Project Management & Engineering Division



MEMORANDUM

RECEIVED

MAY 11 2016

PLANNING DEPARTMENT

DATE: May 11, 2016
TO: Terry Schoenthal
FROM: Steven Ellis 
SUBJECT: Comments from Watershed Management Services

Watershed Management Services (WMS) has the following comments for the June 6, 2016, Planning and Zoning Commission meeting.

2016-0053, Conditional Use for Industrial Use. WMS has the following comments.

Prior to site plan approval the applicant should provide an approved permit from the Army Corps of Engineers or a letter declining jurisdiction for the proposed development.

A review of the site plan shows an area to be used for stormwater runoff infiltration and snow storage. There has been no analysis to determine if this area as shown is the right size to contain or infiltrate the runoff. Also the MOA does not approve joint use of areas for snow storage and stormwater runoff. When the infiltration area is filled with snow the ability of the area to infiltrate stormwater during spring breakup is greatly reduced. If it is found the size of the infiltration area is not large enough, the site plan may need to be altered at a later date.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: 2700 Alyeska Highway
- Project Location, Tax ID, or Legal Description: Girdwood, AK
Alpine View Estates Phase 3 Tract B-2C
- Project Area (if different from the entire parcel or subdivision): _____

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X **DOES NOT** contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

Please note:
this site
does contain
mapped wetlands

_____ **DOES** contain stream channels and/or drainageways **AND** these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.
*New or additional mapping **IS NOT REQUIRED**.**

_____ Contains stream channels and/or drainageways **BUT** one or more streams or other watercourses:

- are **NOT** shown on submittal documents, or
- are **NOT** depicted adequately on submittal documents for verification, or
- are **NOT** located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping **IS REQUIRED** and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown **AND** field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.

ADDITIONAL INFORMATION:

- Y N WMS written drainage recommendations are available. Preliminary Final
- Y N WMS written field inspection report or map is available. Preliminary Final
- Y N Field flagging and/or map-grade GPS data is available.

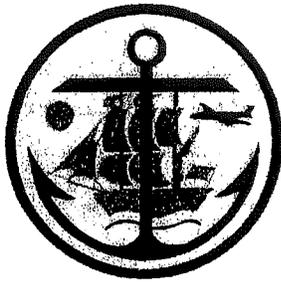
Inspection Certified By:

Date:



2/9/16

Affidavit of Posting and Historical Information

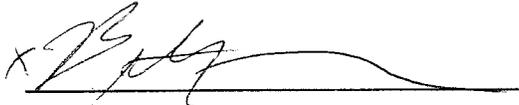


AFFIDAVIT OF POSTING

Case Number: 2016-0053

I, Brett Morenco, hereby certify that I have posted a **Notice of Public Hearing** as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for Conditional Use. The notice was posted on 4-4-16 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 4th day of April, 2016.


Signature

LEGAL DESCRIPTION

Tract or Lot B-2C
Block _____
Subdivision Alpine View Estates Phase 3

Submitted by: Chair of the Assembly at
the Request of the Mayor
Prepared by: Planning Department
For reading: March 8, 2016

CLERK'S OFFICE
APPROVED

3-22-2016

ANCHORAGE, ALASKA
AO NO. 2016-30

1 AN ORDINANCE AMENDING ANCHORAGE MUNICIPAL CODE TITLE 21
2 (NEW CODE) SECTIONS 21.09.040C. AND 21.09.050A.5. TABLE 21.09-2, TO
3 MAKE GENERAL MANUFACTURING A CONDITIONAL USE IN THE GC-10
4 (UPPER ALYESKA HIGHWAY COMMERCIAL) DISTRICT SUBJECT TO
5 COMPLIANCE WITH THE COMMERCIAL DESIGN STANDARDS, AND MAKE
6 GENERAL MANUFACTURING A PERMITTED USE IN THE GI-1 (RUANE
7 ROAD INDUSTRIAL) AND GI-2 (UPPER CROW CREEK INDUSTRIAL)
8 DISTRICTS.

9
10 (Planning and Zoning Commission Case 2016-0007)

11
12 THE ANCHORAGE ASSEMBLY ORDAINS:

13
14 **Section 1.** Anchorage Municipal Code (new code) section 21.09.040C. is
15 hereby amended to read as follows (*the remainder of the section is not affected*
16 *and therefore not set out*):

17
18 **21.09.040 Zoning Districts**

19 *** **

20
21 **C. Commercial Districts**

22 *** **

23
24 **2. Districts**

25 *** **

26
27 **j. gC-10 (Upper Alyeska Highway Commercial)**
28 **District**

29 **i. Location**

30 The gC-10[11] district is an undeveloped
31 portion of a residentially developed subdivision.
32 This district is located on the south side of
33 Alyeska Highway, west of Timberline Drive.

34
35 **ii. Intent**

36 The intent of this district is to permit
37 development of a limited range of non-retail
38 commercial uses along with residential uses in
39 a manner compatible with the surrounding
40 residential land use.

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iii. District-specific standards

(A) General Manufacturing Use

This use shall comply with the Commercial, Resort and Public/Institutional Building Design Standards in subsection 21.09.080F.

*** *** ***

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13)

Section 2. Anchorage Municipal Code (new code) section 21.09.050A.5., Table 21.09-2: *Table of Allowed Uses*, is hereby amended as shown in Exhibit A attached hereto.

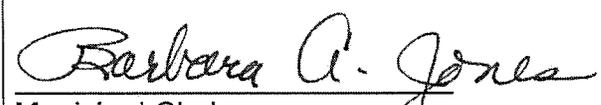
Section 3. This ordinance shall become effective immediately upon passage and approval by the Assembly.

PASSED AND APPROVED by the Anchorage Assembly this 22nd day of March, 2016.



Chair of the Assembly

ATTEST:



Municipal Clerk

(Case 2016-0007)

EXHIBIT A

21.09.050 - Use regulations.

*** ** * ** *

TABLE 21.09-2: TABLE OF ALLOWED USES

**P = Permitted; C = Conditional; S = Administrative Site Plan Review; M = Major Site Plan Review; O (with # inside) = see end of table
For GIP, GCR-1, GCR-2, GCR-3, GDR, and GRR districts, see Section 21.09.040, Zoning Districts**

Use Category	Residential		Commercial										Ind.		Resort		Other			Definitions and Use Specific Standards						
	gR 1	gR 2	gR 2A	gR 3	gR 4	gR 5	gC 1	gC 2	gC 3	gC 4	gC 5	gC 6	gC 7	gC 8	gC 9	gC 10	gl 1	gl 2	gR ST1		gR ST2	G A	G O	G S	G W	
INDUSTRIAL	***																									
Manufacturing and Production	***	***	***																							
Manufacturing, general																										21.09.060B.3.
***	***																									

*** ** * ** *

(AO 2012-124(S), 2-26-13; AO 2013-117, 12-3-13)

Application

Application for Conditional Use

Municipality of Anchorage
 Planning Department
 PO Box 196650
 Anchorage, AK 99519-6650



PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Girdwood Brewing Company		Name (last name first)	
Mailing Address PO Box 58		Mailing Address	
Girdwood, AK 99587			
Contact Phone - Day (907) 830.6982	Evening	Contact Phone - Day	Evening
Fax		Fax	
E-mail beer@girdwoodbrewing.com		E-mail	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION		
Property Tax # (000-000-00-000): 075-163-44-000		
Site Street Address: 2700 Alyeska Highway		
Current legal description: (use additional sheet if necessary) Alpine View Estates Phase 3, Tract B-2C per Plat 2014-38		
Zoning: GC-10	Acreage: 46,385 sqft	Grid #: SE 4815

CONDITIONAL USE APPROVAL REQUESTED	
Use: Conditional use for Industrial use (General Manufacturing) of Commercial Property (GC-10) per Table 21.09-2	
<input checked="" type="checkbox"/> New conditional use	<input type="checkbox"/> Amendment to approved conditional use Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for a conditional use permit in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department staff or the Planning and Zoning Commission for administrative reasons.

 3/29/2016
 Signature Owner Representative Date
(Representatives must provide written proof of authorization)

Tim Cabana
 Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2016-0053	Requested Meeting Date:
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COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: Urban Rural

Anchorage 2020 Major Elements – site is within or abuts:

- Major employment center
- Redevelopment/mixed use area
- Town center
- Neighborhood commercial center
- Industrial reserve
- Transit - supportive development corridor
- District/area plan area: _____

Chugiak-Eagle River Land Use Classification:

- Commercial
- Industrial
- Parks/open space
- Public lands/institutions
- Town center
- Transportation/community facility
- Alpine/slope affected
- Special study area
- Development reserve
- Residential at _____ dwelling units per acre
- Environmentally sensitive area

Girdwood- Turnagain Arm Land Use Classification

- Commercial
- Industrial
- Parks/open space
- Public lands/institutions
- Resort
- Transportation/community facility
- Alpine/slope affected
- Special study area
- Reserve
- Residential at _____ dwelling units per acre
- Mixed use
- Rural homestead

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- Wetland Classification: None "C" "B" "A"
- Avalanche Zone: None Blue Zone Red Zone
- Floodplain: None 100 year 500 year
- Seismic Zone (Harding/Lawson): "1" "2" "3" "4" "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- Rezoning - Case Number:
- Preliminary Plat Final Plat - Case Number(s):
- Conditional Use - Case Number(s):
- Zoning variance - Case Number(s):
- Land Use Enforcement Action for
- Building or Land Use Permit for
- Wetland permit: Army Corp of Engineers Municipality of Anchorage

SUBMITTAL REQUIREMENTS

- 1 copy required:
 - Signed application (original)
 - Ownership and beneficial interest form
 - Watershed sign off form
 - Underlying plat
 - Special limitations from the underlying zoning, if applicable
- 35 copies required:
 - Signed application (copies)
 - Map of area surrounding petition site within 500 feet, including zoning and existing uses
 - Map of existing conditions, to scale, including:
 - land uses
 - structures
 - utilities
 - vegetation
 - soils
 - natural features
 - drainage
 - topography
 - site access
 - pedestrian facilities
 - vehicle circulation and driveways
 - easements and/or reservations
 - Project narrative explaining:
 - the project
 - planning objectives
 - facility operations
 - an analysis of how the proposal meets the standards on page 3 of this application
 - construction and operation schedule
 - final ownership
 - gross and net density (PUDs only)
 - Site plan(s) to scale depicting, with dimensions:
 - building footprints
 - parking areas
 - vehicle circulation and driveways
 - pedestrian facilities
 - lighting
 - grading
 - landscaping
 - loading facilities
 - fences
 - drainage
 - required open space
 - snow storage area or alternative strategy
 - trash receptacle location and screening detail
 - easements
 - significant natural features
 - freestanding sign location(s)
 - Building plans to scale depicting, with dimensions:
 - floor plans
 - building elevations
 - exterior colors and textures
 - Summary of community meeting(s)

(Additional information may be required.)

GENERAL CONDITIONAL USE STANDARDS (AMC 21.03.080D.)

The Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** of the approval criteria are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;
2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district-specific standards set forth in chapter 21.04;
3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;
4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;
5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;
6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);
7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;
8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and
9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

SPECIFIC CONDITIONAL USE STANDARDS (AMC 21.05)

Certain conditional uses have detailed standards that relate only to that type of conditional use. When there are detailed standards, the Planning and Zoning Commission may only approve the conditional use if the Commission finds that **all** general standards listed in the previous section and detailed standards listed for that conditional use in AMC 21.05 are satisfied. Each detailed standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

The proposed Conditional Use abides by the applicable sections of 21.09.080F

Supplemental Form: OWNERSHIP AND BENEFICIAL INTEREST DISCLOSURE

PETITIONER: CORPORATE OFFICERS OR PARTNERS

Applicants for an entitlement that will be in possession and the responsibility of more than one individual, such as a co-owner, joint venture, partnerships, corporations, company, or other similar form of ownership, are required to disclose a full and complete list of the name and address of each principal. (use additional paper if necessary)

Name	Title or Office (if any)	Address	Phone
Rory Marengo		1316 O St. Anchorage, AK 99501	(907) 830-6982
Brett Marengo		P.O. Box 58 Girdwood, AK 99587	(907) 351-0035
Josh Hegna		P.O. Box 1664 Girdwood, AK 99587	(907) 830-2549
Amy Shimek		570 E. Benson Blvd Ste 16 Anchorage, AK 99503	(907) 350-6157
Karl McLaughlin		5813 Yukon Charlie Loop Anchorage, AK 99502	(907) 230-3109

PROPERTY OWNER: CORPORATE OFFICERS OR PARTNERS

The petitioner of a property owned by more than one individual that will benefit from an entitlement is required to disclose a full and complete list of the name and address of each partner, officer, or co-owner. The other owner interest to be reported is co-owner, joint venture, partnership, corporation, company, or other similar form of ownership. (use additional paper if necessary)

Name	Title or Office (if any)	Address	Phone

Attach this sheet to your application form

Accepted by:	Date	Application for	Case Number
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Project Narrative:

This application is for approval of Conditional Use Permit of gC-10 Commercial District use for a brewery in Girdwood. The proposed location is 2700 Alyeska Highway (the lot directly to the west and below the Girdwood Chapel at the corner of Timberline and the Alyeska Highway). The proposed lot would provide a prime central location for Girdwood Brewing Company LLC.

Girdwood Brewing Company LLC plans to open and operate a Brewery in Girdwood, AK in the fall of 2016. We will serve our award winning beers in a tasting area occupying 750sqft of the 3040sqft brewery within a 7200sqft structure. The adjacent 4160sqft floor space will be divided amongst 1920sqft of fitness/ rec facility and 2240sqft of residential space, both of which are permitted uses for the GC-10 zoning. The structure will be designed and built to comply with the Girdwood Land Use Regulations for Commercial Building Design Standards and will fit in with the mountain resort community aesthetic that Girdwood embodies. Construction will start in May 2016, with anticipated completion in the late fall.

Girdwood Brewing Company LLC will be centered around a community taproom concept with beer being served on draft in 4oz tasters and 12oz pours at the brewery during tasting room hours, noon – 8:00 pm; growlers and 5gal kegs will be available for purchase and consumption off site. Beer will also be self-distributed in kegs to local restaurants.

Breweries do not produce visual or noise impacts that would degrade a commercial district or the surrounding neighborhoods. Breweries are not bars or clubs. There are strict regulations governing their operations. Breweries cannot play live music, the taproom can only serve beer until 8:00 pm, and each patron is limited to 36oz of craft beer consumption per day on the premises. Girdwood is our home and we want it to stay a beautiful mountain town. We are committed to operating within all laws and regulations to ensure that we are good neighbors.

General Conditional Use Standards:

1. The proposed use is consistent with the comprehensive plan and all applicable provisions of this title and applicable state and federal regulations;

This project is in line with the goals and objectives of the Girdwood Area Plan, it stands to promote socioeconomic benefits by strengthening, diversifying, and expanding the Girdwood economy. It fits into the Land Use Regulations, takes advantage of views and solar exposure to the greatest extent possible, and has a pleasing mountain resort aesthetic. The use is consistent with all applicable provisions of this title as well as applicable state and federal regulations.

2. The proposed use is consistent with the purpose and intent of the zoning district in which it is located, including any district specific standards set forth in chapter 21.04;

This project meets all requirements of Title 21 Chapter 9 of the Anchorage Municipal Code Girdwood Land Use Regulations for the applicable GC-10 zoning requirements.

3. The proposed use is consistent with any applicable use-specific standards set forth in chapter 21.05;

This project conforms to the Girdwood Commercial Building Design Standards 21.09.080F as required per 21.09.040.C.2.j.iii

4. The site size, dimensions, shape, location, and topography are adequate for the needs of the proposed use and any mitigation needed to address potential impacts;

The proposed development will suite the intended use and allow for future expansion without the need to construct additional infrastructure.

5. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or prevents the use of surrounding properties for the permitted uses listed in the underlying zoning district;

The GC-10 district is undeveloped except for a Church to the East. This project will further strengthen the community vibe of this district and promote future responsible development.

6. The proposed use is compatible with uses allowed on adjacent properties, in terms of its scale, site design, operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other external impacts);

This project will adhere to the Girdwood Commercial Design Standards and provide a visually appealing structure. The building is not close enough to any adjacent properties to limit views or solar exposure. The brewery will not generate any substantial noise, air, or water pollution. The operating hours of noon-8pm will ensure that we aren't open early or late enough to create a nuisance.

7. Any significant adverse impacts anticipated to result from the use will be mitigated or offset to the maximum extent feasible;

Girdwood Brewing Company LLC is committed to operating within all laws and regulations to ensure that we are good neighbors; Girdwood is our home and we want it to stay a beautiful mountain town. No significant adverse impacts associated with the use are anticipated. Should such issues arise, they will be mitigated or offset to the maximum extent feasible.

8. The proposed use is appropriately located with respect to the transportation system, including but not limited to existing and/or planned street designations and improvements, street capacity, access to collectors or arterials, connectivity, off-site parking impacts, transit availability, impacts on pedestrian, bicycle, and transit circulation, and safety for all modes; and

Glacier Valley Transit has a stop just up the highway at the Timberline intersection. With it's central location, Girdwood Brewing Company will likely attract bicycle and foot traffic. Pedestrian crossing is accessible at the Timberline intersection; however, there are no pedestrian trails or sidewalks on the South side of the Alyeska Highway, but the shoulder is of sufficient width for foot and bike traffic. As such, there may be some changes to established traffic or pedestrian circulation patterns. Sufficient off-street parking will be provided on-site.

9. The proposed use is appropriately located with respect to existing and/or planned water supply, fire and police protection, wastewater disposal, storm water disposal, and similar facilities and services.

This project includes the drilling of a well for water supply purposes. Adequate access will be provided for emergency vehicles. Tie-ins to the sewer system, gas pipeline and electrical grid are available adjacent to the site, extensions will be constructed as part of this project.

Specific Conditional Use Standards:

21.09.080F Girdwood Land Use Regulations Commercial Building Design Standards

F. Commercial, Resort and Public/ Institutional Building Design Standards

1. Applicability

a. Development of any structure containing a use categorized in table 21.09-2 as a community or commercial use shall, except as specifically provided herein, comply with the standards of this subsection. Where a structure contains both residential and commercial uses, the standards of this section shall apply.

The Commercial Building Design Standards are applicable per 21.09.040.C.2.j.iii

b. The following community uses shall meet the industrial building design standards in subsection 21.09.080G. below rather than the commercial, resort, and community building design standards of this section: aircraft repair, aircraft storage hangar, aviation services, utility facility, and utility substation.

N/A

2. Building Style, Massing and Size

a. Mountain Building Style – Intent

The design of new buildings shall have the appearance of structures appropriate for Girdwood’s climate, mountain valley setting, and small western mining town character. Commercial and resort buildings shall utilize a mountain style defined primarily by the materials, roof pitches, use of porches, and street treatment as set forth below and in section 21.09.070F.

The building design will have the appearance appropriate for Girdwood’s climate and mountain valley setting via the use of wood, stone, and metal for exterior finishes.

b. Residential Building Style – Intent

New buildings in the old and new Girdwood townsite commercial areas shall have a residential character, even though the zoning permits and encourages commercial uses. Building forms and detail elements shall have predominantly pitched roofs, porches, traditional rectangular windows with a vertical orientation (on the ground floor), avoidance of blank walls or materials associated with industrial uses. Buildings shall consist of relatively small, human-scaled or appear to be an aggregation of smaller, simpler forms. Residential apartments on upper stories are encouraged.

N/A

c. Mass

The mass of a single building or group of buildings shall be organized so it appears to be an arrangement of smaller-sized connected structures. Upper level residential floors may be incorporated into the roof form to reduce the apparent height and mass of buildings.

The building design is intended to reduce the mass of the building and give the appearance of an arrangement of smaller connected structures by incorporating a multilevel roofline and building offsets.

d. Scale and Size

No wall shall be longer than 42 feet without a change or alteration in alignment of at least four feet in depth from the plane of the referenced wall. For building sides longer than 64 feet, the combined length of the segments not in plane with the primary wall plane of the building side shall equal at least one-third of the building side length. Curved walls that include a change in wall plane of at least four feet depth in 40 feet of wall length shall satisfy this requirement. Where two arms or elevations of a building are separated by a change in wall plane of six degrees or more, these shall be considered as separate building sides for the measurement purposes of this provision.

Wall popouts of 4' in depth are incorporated into both sides of the building for 1/3rd of the building side length.

e. Building Façade Elements

Windows on the ground floor shall be rectangular and vertically oriented, and recessed into the exterior wall or window trim, rather than appear as continuous areas of glass flush with the wall plane. Balconies shall be recessed or covered. There shall be trim around openings and windows. Exterior corridors to upper floor room entrances are prohibited for buildings with more than eight dwelling units.

Windows on the ground floor are rectangular.

f. Store Fronts

i. Design Elements

The front facade for all retail/commercial uses shall be organized to display merchandise in visible and attractive ways. This requirement shall be met by providing:

- (A) Horizontal and vertical mullions and sashes to subdivide the windows into smaller panes;
- (B) Sturdy and weather resistant storefront base materials;
- (C) One or more angled windows, such as bay windows, or recessed doorways; and

ii. Entries

Entries extending from the main facade, such as arctic entries, are permitted where these areas are designed as an integral part of the structure and do not impede pedestrian movement along the building façade.

iii. Glass Windows

Except for the gC-4 district, commercial buildings shall have a high percentage of glass windows with interior views in the facades, as specified below.

- (A) Retail/bar/restaurant uses at ground floor: At least 50 percent glass.
- (B) Retail/commercial use with a sideyard entrance, the portion of the store facing the street: At least 50 percent glass designed as display windows.
- (C) Ground floor offices facing streets or pedestrian areas: At least 30 percent glass.
- (D) Ground floor of grocery store facing streets, pedestrian areas or major parking lots: At least 50 percent glass.

Windows are strategically located to allow the brewing equipment to be visible from the outside and to provide natural light inside the brewery. Windows in the taproom are arranged to maximize mountain views and solar exposure and provide the required 50 percent glass. The storefront base material is constructed of sturdy, weather resistant stone and/or metal.

3. Roof Form

a. Pitch

Roofs visible from a public way shall be primarily pitched. The pitch for the primary roof structure shall be between 8:12 and 12:12, but may be as shallow as 5:12, as long as the eave overhangs are at least two and one half feet. Segments of the roof may be flatter or steeper slopes, however, to achieve a specific design effect. Wherever a portion of the roof has a shallower pitch than the standard, or if it is flat, provision shall be made to avoid glaciation.

The roof pitch is 6:12

b. Flat Roofs

Flat portions of roofs shall have distinctive cornice features, to create visual interest and provide sufficient overhang to protect walls from the weather. Large visible flat roof forms shall step or be broken by dormers. Design elements may also be used on flat roofs to create the appearance the building has a pitched or shed roof. The canopy sheltering cars at fueling stations may be flat but shall have distinctive cornice detailing. Fueling station canopies shall not be significantly larger and out of proportion to the fueling station building.

N/A

c. Overhangs

Roof overhangs shall be sufficient to provide weather protection for building walls. Overhangs on the gable end shall be a minimum of 12 inches. Overhangs on the eave ends shall be a minimum of 24 inches, except the upper eave end of a shed roof is not required to have an overhang. Solariums are exempt from this subsection.

Gable overhangs are 12", Eave overhangs are 36"

d. Snow and Rain Protection

Roof structures shall be designed to protect doorways, exterior stairs, balconies, vehicle service bays, and garage entrances from snow, ice and rain. Balconies shall be designed to avoid drainage onto other balconies or pedestrian spaces below.

Roof structures are metal and designed to protect doorways and garage entrances from snow, ice, and rain.

e. Roofing Materials

Roofing materials may be asphaltic shingle, metal, or built-up materials on flat sections. Brightly colored enameled, reflective metal, and wood shakes are prohibited roofing materials.

The roof is constructed of metal

f. Projections from Roofs

i. Location on Roof

Chimneys, flues, vents, and antennae shall penetrate the roof near a

ridgeline or only where protected from snow movement off the roof. Vent pipes shall be collected into orderly clusters or incorporated into chimney structures.

ii. Cladding Material

Chimneys and metal flue pipes shall be clad in wood, stone, or stone veneer.

N/A

4. Porches, Entrances, Arcades, and Roofed Walkways

A key element of Girdwood mountain style for commercial, community and resort buildings is the use of porches with shed roofs to define entrances. To the maximum extent feasible, all buildings shall utilize porches constructed in accordance with the following standards:

a. Landing Height

Where landings are used, they shall be a minimum of eight inches higher than adjacent walkways or streets.

N/A

b. Rails

Porch rails shall be semi-open and/or transparent. Details shall be consistent with other building detailing.

N/A

c. Entry Size

Building entrances shall be at least eight feet in width, weather protected, and well lit.

Arctic Entries are appropriately sized, weather protected, and well lit.

d. Arcades and Roofed Walkways

i. Relationship to Buildings

Arcades or roofed walkways shall be fully attached to the building front and be of uniform design along the street frontage. Arcades may vary and step along the street frontage with the line and style of the buildings to which they belong. Arcade form, width, scale, materials and colors shall be compatible the adjacent building.

ii. Relationship to Streets

A landscaped strip for snow storage at least eight feet in width shall be provided parallel to the arcade and shall separate it from the sidewalk edge.

iii. Upper Floor Buildable Area

After an administrative review and sign-off by the director, the upper story areas above the arcade may be enclosed as part of the building area. The director will review the proposal for conformity with design goals of this chapter and applicable Girdwood area plans.

iv. Clear Space

Arcades and roofed walkways shall have a minimum of eight feet clear space between arcade columns and the building wall. The arcade of a grocery store shall allow a minimum of 10 feet clear space. The arcade shall be continuous between all entrance/exit doors.

Arcades and Roofed Walkways

v. Columns

Arcade columns shall be in scale with the overall building but shall not obscure ground level storefronts from adjacent pedestrian areas.

vi. Roofs

Arcade and walkway roofs may be flat or sloped to complement other roof forms on the building, but the roof form shall be designed to provide adequate drainage and prevent snow dump, icicle build-up, or rainwater dripping over points of entry to the arcade or walkway. Canvas, metal, or acrylic awnings in lieu of structural covered walkways are not acceptable.

vii. Elevation above Grade

Arcaded or roofed walkways shall be elevated at least eight inches above grade.

viii. Pedestrian Scale Lighting

Arcade and roofed walkway lighting shall be adequate to provide for safety and aesthetic quality. Pedestrian scaled lighting, including but not limited to bollards, ceiling or post-mounted, or attached to the building, shall be required as part of the design of covered walkways. Light sources shall be shielded, recessed, and/or directed so glare is avoided.

Roofed walkways are attached to the building. Support columns are in scale with the overall building and located 8' from the building edge. The roofs are 6:12 pitch to match that of the building and prevent unexpected snow shedding.

5. Building Materials

a. Primary Building Materials

It is intended for wood and stone to be the primary exterior building materials. Vertical or horizontal patterns, rough or resawn wood, board and batten, and round or square cut logs are permitted. Stone is also permitted. Materials at the base of buildings shall be resistant to damage from snow or water.

Wood is the primary building material with weather resistant metal and/ or stone at the base of the structure for resistance to damage from snow and water.

b. Columns, Posts, and Beams

Primary exterior materials of columns, posts and beams shall consist of heavy timbers, peeled log poles, steel, concrete, or stone cladding, or a combination of these materials.

Columns are heavy timbers

c. Alternative Façade Materials

On multistory buildings, façade materials may include pre-cast concrete or plaster surfaces, if such surfaces are heavily ribbed, textured, architecturally treated to resemble natural materials, or brush hammered, and are colored to fit the overall building design and mountain setting.

N/A

d. Remodels

The architectural design and the materials used in an addition to an existing structure, or accessory structure, shall be compatible with the architectural style and building materials used in the existing structure, unless an entire facade is to be remodeled in a uniform architectural style.

N/A

e. Restricted Materials

No more than 20 percent of any given building facade may be composed of aluminum, untextured vinyl or plastic siding, T-111 siding, brick or exposed concrete. Stucco, treated or textured CMU, or simulated stone veneer may comprise up to 35 percent of any given building facade. No more than five percent of any given building facade may be painted brick.

N/A

f. Prohibited Materials

The following materials are prohibited:

- i. Shiny, reflective metal surfaces anywhere on the building;
- ii. Mirrored or highly reflective glass;
- iii. Untreated concrete or masonry;
- iv. Unstained or untreated wood, except for cedar and redwood; all other wood elements shall be treated with oil, stain, or other weathering agent, or painted to resist weathering and discoloration from water;
- v. Plywood siding without board and batten; and
- vi. White roof gravels.

N/A

6. Building Colors

a. Principal Colors

Principal colors on a building shall generally be natural color tones, such as browns, ochre yellows, tans, wood colors, green, rust, barn red and gray. White and cream shades of color are permitted on not more than 35 percent of each facade. Bright, primary colors are permitted on not more than 15 percent of each facade.

b. Trim Colors

Brighter colors than primary building colors are permitted for trim and highlight details, such as cornices, window frames, handrails, and entrance doors. Neon tubing or an equivalent illumination technique is prohibited as a building/roofline outline feature.

Natural color tones are used as the primary building exterior color

7. Accessory Elements

a. Parking

Detached garages, carports, and parking garages shall be designed with architectural elements and materials related to the principal commercial building or buildings, and shall be screened from view from public roads and primary common areas with landscaping and/or berming.

N/A

Additional Applicable Girdwood Land Use Standards:

Setback requirements per the Dimensional Standards Table 21.09-6 for GC-10:

front=25' from Alyeska Highway

side=20'

rear=20'

max bldg height =35'

max lot coverage=70%

dumpster screening per 21.09.070.O: durable, 3-sided enclosure consistent with the primary structures on the property

Snow storage per 21.09.070.K.1.b: snow storage=20% of parking area

Calculations for parking per 21.07.090 table 21.07-4: 14 required (3 for residential mixed dwelling, 7 for commercial fitness/ rec center, 4 for industrial general manufacturing), 28 provided

Minimum natural vegetation on lot per 21.09.070E.4.c table 21.09-10: 10%

OC



AGREEMENT TO PROVIDE ACCESS

The Municipality of Anchorage, hereinafter the "Municipality," and Glacier View LLC, hereinafter the "Owner(s)," and Glacier View LLC, hereinafter the "Neighbor(s)," enter into the following AGREEMENT TO PROVIDE ACCESS (hereinafter "this Agreement") which shall become effective on the date the Agreement is fully executed. This Agreement shall run with the land and shall be binding on the Owner(s) and Neighbor(s) and their heirs, successors, and assigns.

The Owner(s) is/are a(n) Limited Liability Company, and Tim Cabana execute(s) this Agreement on behalf of the Owner(s) in the capacity of Owner/Manager and warrant(s) he/she/they has/have authority to execute this Agreement on behalf of the Owner(s).

The Neighbor(s) is/are a(n) Limited Liability Company, and Tim Cabana execute(s) this Agreement on behalf of the Neighbor(s) in the capacity of Owner/Manager and warrant(s) he/she/they has/have authority to execute this Agreement on behalf of the Neighbor(s).

The Owner(s) own(s) a parcel of real property described as: Alpine View Estates, phase 3 tract B2A per plat 2014-38 parcel ID # 075-163-42-090, located in the Anchorage Recording District, Third Judicial District, State of Alaska, shown on the map attached hereto as Appendix A and referred to herein as the "dominant parcel." The Owner(s) desire(s) to utilize the dominant parcel for Proposed Hotel Site, and the Owner(s) must provide access to meet the requirements of the Anchorage Municipal Code.

The Neighbor(s) own(s) an abutting parcel of real property described as: Alpine View Estates phase 3 Tract B-2C per plat 2014-38 parcel ID# 075-163-44-000, located in the Anchorage Recording District, Third Judicial District, State of Alaska, shown on the map attached hereto as Appendix A and referred to herein as the "servient parcel."

In accordance with Title 21 of the Anchorage Municipal Code, the Owner(s) and Neighbor(s) covenant and agree to use the servient parcel to provide access for the use and benefit of the dominant parcel as shown on the map attached hereto as Appendix A. The above-described use of the dominant parcel shall not be altered or expanded in any manner that does not comply with requirements of the Anchorage Municipal Code. The above-described use of the servient parcels for access shall not be altered or restricted in any manner that does not comply with this Agreement and the requirements of the Anchorage Municipal Code. The above-described use of the servient parcel for access does not inure to the benefit of any other parcel.

This Agreement shall terminate upon the recording of a written release issued by the Municipality of Anchorage.

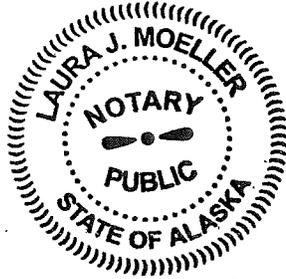
The Owner(s) and Neighbor(s) understand and agree that violation of this Agreement constitutes a violation of Title 21 of the Anchorage Municipal Code, and shall be subject to all penalties and remedies provided by law for such violation.

OWNER	NEIGHBOR
By: <u>Tim Cabana</u>	By: <u>Tim Cabana</u>
Name: <u>Tim Cabana</u>	Name: <u>TIM Cabana</u>
Title: <u>Owner Manager Gladia View LLC</u>	Title: <u>Owner/Manager Gladia View LLC</u>
Date: <u>1-26-16</u>	Date: <u>1-26-16</u>

OWNER	NEIGHBOR
By: _____	By: _____
Name: _____	Name: _____
Title: _____	Title: _____
Date: _____	Date: _____

STATE OF ALASKA) ss.
THIRD JUDICIAL DISTRICT)

The foregoing instrument was acknowledged before me this 26th day of January,
2016, by Tim Cabana, in the capacity of Owner/Manager



Laura Moeller
Notary Public in and for Alaska
My commission expires 2/22/17

STATE OF ALASKA) ss.
THIRD JUDICIAL DISTRICT)

The foregoing instrument was acknowledged before me this _____ day of _____,
20____, by _____, in the capacity of _____.

Notary Public in and for Alaska
My commission expires _____

STATE OF ALASKA) ss.
THIRD JUDICIAL DISTRICT)

The foregoing instrument was acknowledged before me this _____ day of _____,
20____, by _____, in the capacity of _____.

Notary Public in and for Alaska
My commission expires _____



STATE OF ALASKA) ss.
THIRD JUDICIAL DISTRICT)

The foregoing instrument was acknowledged before me this _____ day of _____,
20____, by _____, in the capacity of _____.

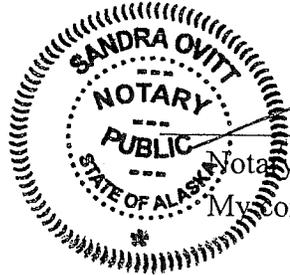
Notary Public in and for Alaska
My commission expires _____

MUNICIPALITY OF ANCHORAGE

By: Sonnet Calhoun Name: Sonnet Calhoun
Title: Land Use Plan Reviewer Date: 2/24/16

STATE OF ALASKA) ss.
THIRD JUDICIAL DISTRICT)

The foregoing instrument was acknowledged before me this 24th day of February,
2016, by Sonnet Calhoun, a Land Use Plan Reviewer
with the Municipality of Anchorage, on behalf of the Municipality of Anchorage.



Notary Public in and for Alaska
My commission expires July 26, 2018

After recording return to:

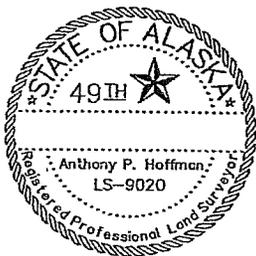
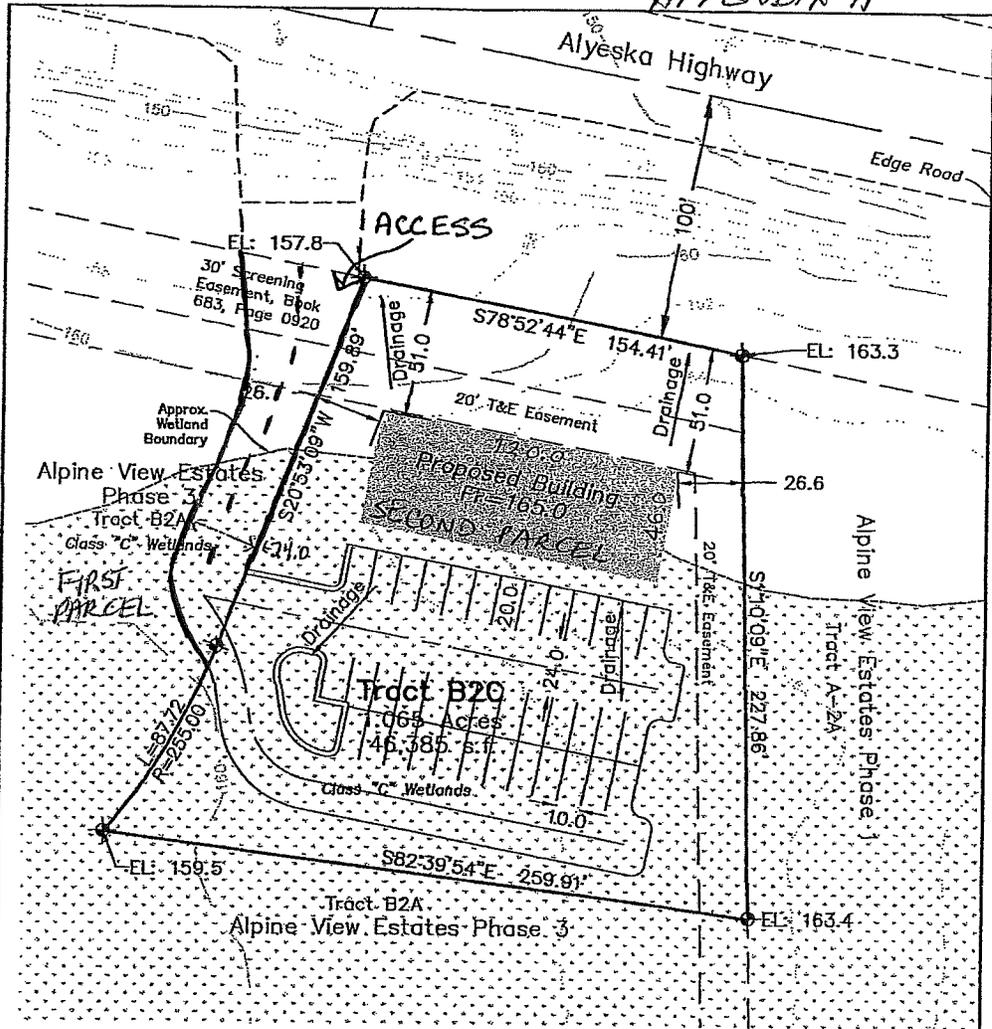
Municipality of Anchorage, Planning Department
Attn: Sonnet Calhoun, Land Use Plan Reviewer
P.O. Box 196650, Anchorage, AK 99519-6650

Reference Building/Land Use Permit:

C16-1041



APPENDIX A



Scale: 1"=50'

Notes

1. Vertical Datum is GAAB. Elevations are expressed in feet.
2. Basis of Bearings is per MOA plat 2014-38

Legend

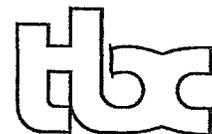
- Find Monument per Plot 2014-38
- Elevation EL: 130.2
- Drainage Direction
- Existing Paving

**Plot Plan
Tract B-2C
Alpine View Estates, Phase 3**

Ordered By: Tim Cabana	Date: January 24, 2016
Job No:	Plat: 2014-38 Grid: SE4815 Drawn By: APH

Survey Certification: The Boutet Company has conducted a physical survey of the property shown hereon and certifies that the lot corners have been found or established as indicated, and that to the best of our knowledge and abilities, all dimensions have been measured true and correct.

Exclusionary Note: It is the owners' responsibility to determine the existence of any easements, covenants, restrictions or right-of-way takings which do not appear on the recorded subdivision plat. It is the contractor's responsibility to check top of foundation grade and building setbacks in relation to lot lines and easements.



The Boutet Co.
601 East 57th Place, Suite #102
Anchorage Alaska, 99518
PHONE (907) 522-6776 FAX (907) 522-6779

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Girdwood Brewing Company- LUC Community Meeting Summary:

- a. A community meeting was held March 14, 2016 @ 7pm in the Girdwood Community Room, 250 Egloff Drive, see LUC Meeting Minutes for a detailed summary.
- b. Informational letters were mailed on Feb 19, 2016 to all properties within 500ft (99 total properties).
- c. 49 citizens of Girdwood attended the meeting.
- d. No major concerns were voiced, the community voted 49-0 in favor of LUC/GBOS submitting a Letter of Non Objection to the P&Z/Assembly.

Girdwood Land Use Committee Meeting on March 14, 2016 Draft Meeting Minutes

Announcements:

GBOS/Land Use Committee Quarterly meeting will be held on Monday, March 21 at 6PM in the Girdwood Community Room.

Agenda Item LUC 1603-01:

Call to order 7:05PM, Brian Burnett

March Meeting Agenda Approved with removal of item 1601-05 from Old Business

February Meeting Minutes approved with change

Special February Meeting Minutes approved with no changes

LUC Officer reports

Brian Burnett states that he has no specific information on the Alyeska Resort Heli Pad Safety Plan. Pad is in operation and signage is complete. There are no safety implications to pedestrians on the path nearby as long as they observe the signs at the heli pad.

Agenda Item LUC 1603-02: Public Comment

Tim Cabana 783-3297 states that he has been following up on concerns about Land Use Regulations in Title 9 of Chapter 21. Since put in place, no commercial buildings have been built due to many roadblocks that make construction prohibitive, including areas of: Allowed Uses, parking, etc. He requests that others who are interested can work with him on revisions.

Marco Zacarro adds that there is lots of work to be done on Chapter 9 to make it a less onerous process.

Currently cost-prohibitive for small projects to work through the process for elements that do not add value to the end-product. MOA planning has offered to set up work sessions to address making changes.

Lewis Leonard asks Marco to provide list of items that need to be dealt with.

Jerry Fox states that if LUC and GBOS approve changes, it is likely that Assembly will follow direction of the community. This item is to be added as a continuing item on LUC monthly agenda and Jerry Fox, Land Use Supervisor will be involved in upcoming work on this project.

Agenda Item LUC 1603-03: Committee reports:

Trails Committee Report (Brian Burnett)

At the Trails Committee meeting on March 1, Alyeska Ski Club formally adopted the Beaver Pond Trail. Brian stated that volunteer work will likely be the primary method for trail brushing in the future.

Summer Trail work by SCA will begin in mid-June and will last 3 weeks, ending on Forest Fair weekend.

Priorities for this group will be trail tread work on the Beaver Pond Trail.

Trails Committee be working on the Tiny Creek bridge on the Athabaskan Trail behind the school.

The Forest Service is working on the lower valley Iditarod Trail, Trails Committee is looking forward to working with them on this project also.

Girdwood Trails Plan project is on going, document will guide trail work in the future 10 years and should be part of the Area Plan Update.

Hand tram kiosks are built and will be installed near each tram terminal this summer.

Next meeting is April 5 at the USFS office.

Girdwood Area Plan Review Committee (Diana Livingston & Lewis Leonard)

Kicking off this project with Hal Hart, the new MOA planner with tour of Girdwood soon and gathering materials, with writing of document in 2017. Lewis Leonard and Diana Livingston ask to attend tour. Currently planners are working on Anchorage Bowl update.

Girdwood Land Use Committee Meeting Agendas and minutes are available on line: <http://www.muni.org/gbos>



Cemetery Committee (Tommy O'Malley)
Tommy and Kyle working with CRW engineering for RFP for feasibility study.

Old Business:

Agenda Item LUC 1503-07: Update on Law Enforcement Ordinance.

Kyle Kelley provided update. GBOS put forward proposition for April ballot to give police powers to GBOS. In order to negotiate with any policing authority, need to have power given from voters. Specific language in ordinance is posted on the GBOS website: www.muni.org/gbos

Alaska State Troopers will only work on the highway and will not do neighborhood patrols after July 1. State funding to AST has been cut recently, and in addition, federal transportation safety grants also have been cut, resulting in additional reductions in trooper staffing.

Kyle reviewed other options that have been reviewed by GBOS and the Public Safety Task Force:
Contracting Alaska State Troopers
Joining service area for Anchorage Police Department
Contracting with Whittier Police Department. This option was the one most favored at public town hall meeting.

At 7PM on March 28 in the Community Room, Girdwood Rotary will host info session on policing. This will also be an opportunity to meet candidates running for Jennifer Johnston's Assembly seat and to meet candidates for GBOS seat C.

Jerry Fox adds that an element that has recently come up is that special alcohol permits have to be approved by law enforcement authority. Currently uncertain who would sign these after troopers are no longer responsible within Girdwood neighborhood. This impacts Forest Fair permitting and special alcohol permits for the resort for events such as Fiddlehead Festival, Spring Carnival, Blueberry festival. There are also concerns about liability to Girdwood Parks and Rec for Forest Fair.

Group discusses maximum cost if this is voted in. Kyle states that the tax cap is 6 mills, so 2 mills is the max they can go.

Agenda Item LUC 1601-06: Status update on GBOS Resolution of Support for Commercial Marijuana Application Process.

This is follow-up from last meeting, to provide clarity to MOA Planning Department for process.

Marco states that applicants must notice public meeting 21 days in advance of meeting, and can't apply for permit until after the meeting has taken place. This flips the usual chain of information, whereby the planning department provides the permitting packet to LUC. In addition, the process continues from the neighborhood council meeting and then to planning. He is concerned that there may be substantive changes in this part of the process, and that projects could be changed at this level, without a responsibility to bring the revised plan back to the community for approval.

Kyle states that planning department will advise Girdwood staff, and staff can call petitioners back for follow-up community meetings. The process is new and not completely clear. Brian Burnett states that LUC needs stay on top of this to be sure the public is advised and doesn't get something other than what they provided approval for.

Agenda Item LUC 1602-04: Girdwood Brewing Company, Request for LUC Non-objection to Conditional Use Permit, Brett Marengo, Rory Marengo and Josh Hegna to present.

Josh Hegna provides overview of craft brewery, with strict municipal guidelines:

36 oz total is max to be served per individual at the tasting room; business closes after 8PM, no music, no tv. Brewery will be great local attraction, create a few jobs, small tourist attraction. Positive economic benefit to community.

Negative impacts are possible foot traffic across Alyeska Highway at an area without a crosswalk.

Possible failure of business could lead to other general manufacturer in that site, but they would also need to go through the public process in order to move in.

Road development plan in place.

Group has already reached out in many ways (email, in person, via phone, etc) to nearby land owners. Overall feedback is positive.

Public comments following presentation are positive. Group is praised for being proactive in explaining the plan and have been good neighbors.

Lewis Leonard asks if there are plans for kegging and distribution. Their plan is to self-distribute locally and perhaps bottle beer later on. Production capacity anticipated to be about 1000 barrels/yr in the future.

Final assembly meeting on text amendment is TUE March 22 in the Loussac Library Assembly Chambers. Group requests that people attend to show their support for the brewery project. Group is still completing process for text amendment to allow general manufacturing on commercial zoned land. Their item has been caught behind commercial marijuana projects, and has been slowed in the system.

Motion:

Girdwood Land Use Committee moves to recommend that the Girdwood Board of Supervisors write a Letter of Non-Objection for Girdwood Brewing Company LLC for a conditional use permit required per the AMC Title 21.09, Girdwood Land Use Regulations, Table 21.09-2 requirement for development of GC-10 land for General Manufacturing use.

Non-Objection is based on the following:

A craft brewery would be a new small business in Girdwood that benefits the local community and its visitor based economy and should be promoted.

Breweries are considered "general manufacturing in the Anchorage Municipal Code.

The proposed development will adhere to the Girdwood Commercial Building Design standards per section 21.09.080F.

The CUP Application is to be submitted to the Planning and Zoning Commission by March 29, 2016 for consideration at the June 6th meeting.

Any findings and/or recommendations from the Planning and Zoning Commission shall be incorporated in the building design.

Motion by Lewis Leonard, 2nd by Tim Cabana

49 in favor

0 opposed

2 abstain

Motion passes.

Agenda Item LUC 1602-05: Girdwood Trails Committee request for LUC motion to support GBOS Resolution for work on the lower Iditarod Trail. Brian Burnett presents outline of the project produced by Alison Rein of the Chugach National Forest. Plan is to work on the lower portion of the Iditarod National Historic Trail (INHT) in 3 phases, beginning at the south end near the railroad and ending near the community center. GBOS has sent 3 resolutions in support of various aspects of the INHT project in the last 10 years. This portion of the trail is now platted and dedicated and work can begin to improve the trail alignment and tread.

Diana Livingston added that this item was brought before the Heritage Land Bank Advisory Council at their meeting on March 10 and passed unanimously.

Motion

Girdwood Land Use Committee moves to recommend that the Girdwood Board of Supervisors write a Resolution of Support for work on the lower portion of the Iditarod National Historic Trail (INHT) as the INHT is an important part of our history, is a connector trail loop, and is a connector of the new and old town sites. Trail work represents a multi-agency partnership among the US Forest Service, Chugach State Parks, Alaska Railroad, Department of Transportation and the community.

Motion by Diane Powers, 2nd by Lewis Leonard

19 in favor

0 opposed

2 abstain

Motion passes.

Agenda Item LUC 1602-07: Ski Inn Major Site Plan Review, Jeremy Ceruti and Marco Zaccaro to present. Marco Zaccaro states that the Ski Inn is looking for a support from LUC for a Letter of non-objection from the GBOS for major site review of the former Alta House building. Major site review is required because the plan is to change the building use from 1st floor commercial, 2nd and 3rd floors residential to 1st and 2nd floors

commercial, 3rd floor residential. Change in use also has changed parking requirements and snow storage requirements. Discussion regarding issues regarding parking in Town Square area and inconsistencies in Title 21 as it relates to this.

Motion:

Girdwood Land Use Committee recommends that the Girdwood Board of Supervisors write a Resolution of Support for approval of Major Site Plan Review for the Ski Inn as presented at the Regular Land Use Committee meeting on March 14, 2016.

Motion by Lewis Leonard, 2nd by Brian Burnett

15 in favor

0 opposed

2 abstain

Motion passes.

New Business:

Agenda Item LUC 1603-04: Topics for the GBOS/LUC Joint meeting. Current draft agenda includes:
Construction projects scheduled for 2016
Commercial marijuana permits
Conditional Use Permit handout

LUC Adds to the agenda:

Marijuana Commercial Application handout

Title 21, Chapter 9 review

Agenda Item LUC 1603-05: Review of materials required and timeline for LUC review of Conditional Use Permit, Vacating of Rights of Way and Easements (Lewis Leonard).

Lewis Leonard presents that a brochure needs to be created to hand to petitioners who will seek conditional use permits to outline and clarify the application process, what materials are needed and when they will be needed.

It seems this is also needed for the marijuana retail application.

Agenda Item LUC 1603-06: Marijuana License Applications

Kyle Kelley presents that final marijuana licensing was passed by the Anchorage Assembly on February 23, addressing the cultivation, manufacturing, testing and retail of marijuana. It is a special land use permit. Process is to be:

LUC meetings x 2 (1st is introduction, 2nd is specific plan and requires public vote)

GBOS meetings x 2 (1st is introduction, 2nd is specific plan and requires Resolution of Support to come from GBOS)

If approved by LUC and GBOS, item is forwarded to the Anchorage Assembly for approval.

Specifics of how this will be structured is not clear, as Assembly will likely pass over to Planning and permitting for review).

In Girdwood, most of petitions are expected to be related to retail applications as almost no space is zoned appropriately for cultivation.

At the Assembly meeting on Feb 23, the Assembly voted to bring lower distance restrictions and relax method of measuring distances, which is now allowing for more possible retail locations that previously identified.

Agenda Item LUC 1603-07: Turnagain Herb Company, Seth Molen and Marco Zacarro, presenting design and permitting for proposed marijuana retail store on Crow Creek Road.

This is the initial presentation for a marijuana retail store. This project will involve new building to be built on 1.5 acre parcel next to old Maxine's. Plan is to build 2800-3200 sf structure. Location is outside of buffers and is zoned properly. Ample space for parking, plan for 11 spaces.

Group plans to sell marijuana products for recreational and medicinal users.

Plan to sell medicinal products at cost.

Product will be grown by same owners at a location outside of Girdwood.

Plan to be open in September, 2016.

Plans for community give-back program under parent company name.

Group has not yet started on State permitting process as they must wait until 90 days of starting to sell product. At the next LUC meeting they will present the site plan and will seek support for project.

Group discusses where the taxes generated from marijuana sales will go.

Mailers went out to homeowners nearby as required by MOA and with list provided by MOA today.

Meeting adjourned 9:20PM



February 22, 2016

Dear Potential Neighbor,

Girdwood needs a craft brewery, and our goal is to bring that to you! As our potential neighbor, we want to inform you of our plans and answer your questions.

Girdwood Brewing Company LLC will serve **our award winning beers** in a tasting area occupying 800ft of the 2400sqft brewery. The structure will be designed and built to comply with the Girdwood Land Use Regulations for Commercial Building Design Standards and will fit in with the mountain resort community aesthetic that Girdwood embodies.

Girdwood Brewing Company LLC will be centered around a community taproom concept with pub-style pretzels and potentially small plate food items available for order, or food can be brought in. Beer will be served on draft in 3oz tasters and 12oz pours at the brewery during tasting room hours, noon – 8:00 pm; growlers and 5gal kegs will be available for purchase and consumption off site. Beer will also be self-distributed in kegs to local restaurants. Our brewery will sponsor local outdoor events and festivities year round and take part in several beer dinners, collaborating with local restaurants throughout the year. Girdwood Brewing Company LLC will provide fresh, delicious craft beer of the highest quality while striving towards *organic and sustainable operations*.

As it stands, breweries are considered general manufacturing which is not included in the Girdwood Title 21.09 Land Use Regulations. ***We have received approval from the Land Use Committee, Girdwood Board of Supervisors, and Anchorage Planning & Zoning Committee and are working towards Anchorage Assembly approval to allow a Conditional Use Permit of gC-10 Commercial District use for a brewery in Girdwood. The proposed location is 2700 Alyeska Highway (the lot directly to the west and below the Girdwood Chapel at the corner of Timberline and the Alyeska Highway).*** The proposed lot would provide a prime central location for Girdwood Brewing Company.

Breweries do not produce visual or noise impacts that would degrade a commercial district or the surrounding neighborhoods. Breweries are not bars or clubs. There are strict regulations governing their operations. Breweries cannot play live music, the taproom can only serve beer until 8:00 pm, and each patron is limited to 36oz of craft beer consumption per day on the premises. Girdwood is our home and we want it to stay a beautiful mountain town. We are committed to operating within all laws and regulations to ensure that we are good neighbors.

We have many more hurdles to clear before we can make our dream a reality. Our next step is to request approval for a Conditional Use Permit at the Land Use Committee meeting on Monday, March 14, 2016 at 7pm and the Girdwood Board of Supervisors meeting on Monday, March 21, 2016 at 7 pm. Both meetings will occur in the Girdwood Community Room at the Girdwood Community Center (located at 250 Egloff Road, Girdwood, AK 99587).

Interested parties are encouraged to attend the meetings, in the meantime feel free to contact us with any questions or concerns.

Cheers,

Brett Marengo	<u>brett@girdwoodbrewing.com</u>	351.0035
Rory Marengo	<u>rory@girdwoodbrewing.com</u>	830.6982
Josh Hegna	<u>josh@girdwoodbrewing.com</u>	830.2549

Girdwood Land Use Committee Regular Meeting

Date: 3-14-16

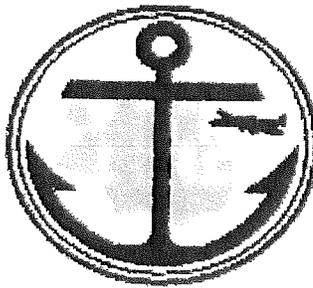
Name (please print)	e-mail address and/or phone number
Rory Marenco	rory@girdwoodbrewing.com
BRETT MARENCO	BRETT@GIRDWOOD BREWING.COM
Josh Hegne	josh@girdwoodbrewing.com
BRIAN BURNETT	burwts@icloud.com
Sue Kennedy	
ELLEN TWINAME	ELLENTWINAME@EMAIL.COM
Wendy Heard	
Jon Cradler	joncradler.furnings@att.net
Diane Powers	230-2439
Maggie Porter	240-8823/porterj4@gmail.com
John Bridges	jbridges@alaska.net
Paul Fasson	p.fasson@alaska.net
MARCO ZACCARO	Marco Zaccaro - AK Com
Diana Livingston	783 2128
Lynn ...	5471
PAT ...	783 0771
Christy Dusk	250-4529
Jerry Fux	Box 1151
M. VERKINA	PO Box 1256 GIRDWOOD

Scott Rich
Corey Anderson
Kari Anderson

PO Box 1829 Girdwood
PO Box 731
PO Box 1284 Girdwood

Jasan Parker TO BOX 693
CHAO LAMSON PO 1259
Cary Lukes Box 1693
Russ STANLA Box 1603
Krystal Hoke PO 1134 - 907-301-1558
Maria Tadden TO 1109
CROCKER Box 476
Betsy/Zach P.O. Box 714
Connell
Mike Edgington
Kabe Harrison
Shauna Hearn Box 1661
Barb Cabana FAX 201
VICKI THOMPSON Box 355
Di & James Whiting Box 101
Barbara & Paul CURS Box 649

Municipality
of
Anchorage



P.O Box 390
Girdwood, Alaska 99587
<http://www.muni.org/gbos>

Ethan Berkowitz, Mayor

GIRDWOOD VALLEY SERVICE AREA BOARD OF
SUPERVISORS

Erin Eker, Sam Daniel, Co-Chairman
Tommy O'Malley, Robert Snitzer, Jerry Fox

LETTER OF NON-OBJECTION

Attn: Josh Hegna, Rory Marengo, Brett Marengo
Re: Girdwood Brewing Company

The Girdwood Board of Supervisors, by a vote of 5 to 0 at the March 21, 2016 GBOS Regular Meeting, has no objection the Girdwood Brewing Company LLC Conditional Use Permit (CUP) application as required per the AMC Title 21.09, Girdwood Land Use Regulations, Table 21.09-2 requirement for development of gC-10 land for General Manufacturing use.

Non-Objection is based on the following:

A craft brewery would be a new small business in Girdwood that benefits the local community and its visitor based economy and should be promoted.

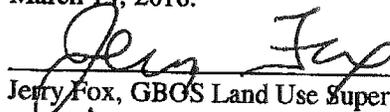
Breweries are considered "general manufacturing" in the Anchorage Municipal Code.

The proposed development will adhere to the Girdwood Commercial Building Design standards per section 21.09.080F.

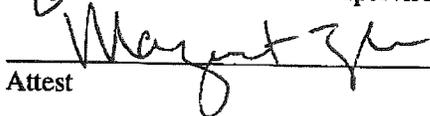
The CUP Application is to be submitted to the Planning and Zoning Commission by March 29, 2016 for consideration at the June 6th meeting.

Any findings and/or recommendations from the Planning and Zoning Commission shall be incorporated in the building design.

Support for the non-objection of Girdwood Brewing Company CUP by a vote of 49 in favor, 0 opposed, 2 abstentions at the Regular meeting of the Girdwood Land Use Committee held on March 14, 2016.


Jerry Fox, GBOS Land Use Supervisor

3/21/16
Date


Attest