

# Application for Administrative Site Plan Review

Planning Department  
P.O. Box 135660  
Anchorage, AK 99519-6650

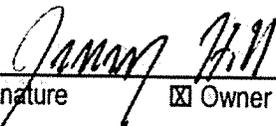
PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first) Gamers Sports Travel		Name (last name first) Ron Thompson	
Mailing Address P.O. Box 221342, Anchorage, Ak 99522		Mailing Address 7216 Lake Otis Pkwy, Anch Ak 99507	
Contact Phone – Day 907-231-5056	Evening	Contact Phone – Day 907-529-5120	Evening
Fax		Fax	
E-mail jamarhill23@gmail.com		E-mail scopepne.ron@gmail.com	

\*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax # (000-000-00-000): 005-022-06-000			
Site Street Address: NA			
Current legal description: (use additional sheet if necessary) Fairview Block 1 Lot 6A			
Zoning: R3	Acreage: 0.29	Grid #: SW1136	Underlying plat #: 67-0119

SITE PLAN APPROVAL REQUESTED	
Use: Community Center	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)/(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Signature   Owner  Representative Date 2/24/20  
(Representatives must provide written proof of authorization)

Print Name  
Jamar Hill

Accepted by:	Poster & Affidavit:	Fee:	Case Number: 2020-0050
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# Application for Administrative Site Plan Review

Municipality of Anchorage  
Planning Department  
PO Box 196650  
Anchorage, AK 99519-6650



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Name (last name first) Gamers Sports Travel		Name (last name first) Ron Thompson	
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Signature     Owner     Representative    Date  
(Representatives must provide written proof of authorization)

Jamar Hill

Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number:
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COMPREHENSIVE PLAN INFORMATION		
Anchorage 2020 Urban/Rural Services: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural		
Anchorage 2040 Land Use Designation(s):		
<input type="checkbox"/> Large Lot Residential	<input type="checkbox"/> Single and Two-family Residential	<input checked="" type="checkbox"/> Compact Mixed Residential – low
<input type="checkbox"/> Compact Mixed Residential–Medium	<input type="checkbox"/> Urban Residential – High	<input type="checkbox"/> Neighborhood Center
<input type="checkbox"/> Town Center	<input type="checkbox"/> Regional Commercial Center	<input type="checkbox"/> City Center
<input type="checkbox"/> Commercial Corridor	<input type="checkbox"/> Main Street Corridor	<input type="checkbox"/> Open Space
<input type="checkbox"/> Facilities and Institutions	<input type="checkbox"/> Industrial	
Anchorage 2040 Growth Supporting Features:		
<input type="checkbox"/> Transit-supportive Development	<input type="checkbox"/> Residential Mixed-use Development	
<input type="checkbox"/> Greenway-supported Development	<input checked="" type="checkbox"/> Traditional Neighborhood Development	
Chugiak-Eagle River Land Use Classification:		
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks <input type="checkbox"/> Community Facility
<input type="checkbox"/> Town Center	<input type="checkbox"/> Transportation facility	<input type="checkbox"/> Special study area <input type="checkbox"/> Development reserve
<input type="checkbox"/> Residential at _____ dwelling units per acre		
Girdwood- Turnagain Arm Land Use Classification:		
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Parks/open space <input type="checkbox"/> Public lands/institutions
<input type="checkbox"/> Resort	<input type="checkbox"/> Transportation facility	<input type="checkbox"/> Special study area <input type="checkbox"/> Reserve
<input type="checkbox"/> Commercial/Residential	<input type="checkbox"/> Commercial Recreation	
<input type="checkbox"/> Residential at _____ dwelling units per acre		
Neighborhood, District or Other Area-Specific Plan: _____		

ENVIRONMENTAL INFORMATION <small>(All or portion of site affected)</small>					
Wetland Classification:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> "C"	<input type="checkbox"/> "B"	<input type="checkbox"/> "A"	
Avalanche Zone:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> Blue Zone	<input type="checkbox"/> Red Zone		
Floodplain:	<input checked="" type="checkbox"/> None	<input type="checkbox"/> 100 year	<input type="checkbox"/> 500 year		
Seismic Zone (Harding/Lawson):	<input type="checkbox"/> "1"	<input checked="" type="checkbox"/> "2"	<input type="checkbox"/> "3"	<input type="checkbox"/> "4"	<input type="checkbox"/> "5"

RECENT REGULATORY INFORMATION <small>(Events that have occurred in last 5 years for all or portion of site)</small>
<input type="checkbox"/> Rezoning - Case Number:
<input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s):
<input type="checkbox"/> Conditional Use - Case Number(s):
<input checked="" type="checkbox"/> Zoning variance - Case Number(s): 2019-0162
<input type="checkbox"/> Land Use Enforcement Action for
<input type="checkbox"/> Building or Land Use Permit for
<input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage

**SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)**

1 copy required:  Signed application (original)  
 Watershed sign off form, completed  
 8 1/2" by 11" copy of site plan/building plans submittal

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26 copies required:  Signed application (copies)  
 Project narrative explaining:  
      the project                       planning objectives  
      addressing the site plan review criteria on page 3 of this application

Site plan to scale depicting, with dimensions:  
      building footprints               parking areas               vehicle circulation and driveways  
      pedestrian facilities               lighting                       grading  
      landscaping                       loading facilities           freestanding sign location(s)  
      required open space               drainage                       snow storage area or alternative strategy

trash receptacle location and screening detail       fences  
      significant natural features       easements                   project location

Building plans to scale depicting, with dimensions:  
      building elevations               floor plans                   exterior colors and textures

Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

**SITE PLAN REVIEW STANDARDS (21.03.180)**

The Planning Director may only approve a site plan if the director finds that all of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

GAMERS COMMUNITY CENTER  
Administrative Site Plan Review Narrative  
February 24, 2020

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**Administrative Site Plan Review Documentation**

Request: Administrative Site Plan review for Community Center in R-3 district.

Location: Fairview Subdivision, Lot 6A, Block 1

Community Council: Mountain View

Site Address: NA Pine Street

Tax Identification: 005-022-06-000

**Site:**

Acres: 12,824 Sq. Ft.

Zoning: R-3

Topography: Generally, Level

Existing Use: Vacant Land, undeveloped

Public Water and Sewer onsite

2020 Comprehensive Plan/2040 Land Use Map Designation:

Classification: Compact Mixed Residential Low, within a Traditional Neighborhood Development area

**Surrounding Area:**

	<b>NORTH:</b>	<b>EAST:</b>	<b>SOUTH:</b>	<b>WEST:</b>
Zoning:	R-3	Park	B-3	R-3
Land Use:	Residential	MT View Lions Park	Commercial	Residential

**AMC 21.04.020 G R-3: Mixed Residential District**

**1. Purpose**

The R-3 district is a multifamily residential district with gross densities between 15 and 40 dwelling units per acre, provided, however, that housing allowed in the R-1, R-1A, R-2A, and R-2D are a permitted use. It is intended primarily for multifamily and townhouse dwellings characterized by low-rise multistory buildings. It allows a higher percentage of lot coverage than the R-2M zone, while also maintaining the residential living environment with landscaping, private/common open spaces, and other amenities for residents. This district provides greater housing opportunities and efficient use of residential land near commercial, community activity centers, town centers, and areas well served by transit.

**2. District-Specific Standard**

The maximum length of a townhouse-style building elevation shall be 250 feet.

**AMC 21.05.040.2 Community Center**

**a. Definition**

A facility that is intended primarily to serve the meeting, cultural, social services, administrative, athletic, or entertainment needs of the community as a whole, operated by the government or as a non-profit facility, and generally open to the public.

**b. Use-Specific Standards (also apply to “Religious Assembly”)**

- i. Applicability*  
The standards of this subsection shall apply to all community centers and religious assemblies within a residential zoning district.
- ii. Minimum Lot Area and Width*  
Notwithstanding any smaller minimum lot area required by tables 21.06-1 and 21.06-2, community centers and religious assemblies subject to this subsection shall have a minimum lot area of 14,000 square feet and a minimum lot width of 100 feet.
- iii. Traffic Access*  
Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Highways Plan. All ingress and egress traffic shall be directly onto such street.
- iv. Buffering Standards*  
L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.
- v. Vegetated Open Space*  
In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.
- vi. Parking and Setbacks*  
In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

**Dimensional Standards for the Community Center use:**

Minimum Lot Dimension:      Area: 14000 SF                      Actual Area: 12,824 Sq. ft  
   Width: 100 ft                              Actual Width: 102.32 ft  
**Lot size for Community center:** Received variance for minimum lot size.  
Case 2019-0162

Setbacks:                              Front: 20 ft      Side: 10 ft      Rear: 20 ft

Actual:                              Existing building  
   Front: 20 ft      Side: 30.07 and 15 ft  
   Rear: 30 ft

Traffic Access:                      **Requires Access** to be 50 ft minimum along a Collector, received variance from MOA for this requirement. Case 2019-0162  
**Actual Access** is through alleys off Pine Street and N Bliss St. Mountain View Drive is nearest Collector and it is approximately 180 ft to the South along Pine Street, lot width is over 50 ft. Received Variance from for access to collector. Case 2019-0162

**SITE DESCRIPTION AND PROPOSAL:**

We are working to develop an indoor baseball softball training facility that is designated as a Community Center. The location of this project is ideal as it is across the street from Lions Park in Mountain View offering young people in the Mountain View area a year-round option to participate in athletic activity. The lot that we are proposing this project needed a variance to allow for the code requirements for the Community Center standards subsections listed below to be met:

ii) Minimum required lot size of 14,000 square feet. (List address) is 12,824 square feet, which is 9% under the required lot size. Variance Granted Case 2019-0162.

iii) N Pine Street, the adjacent ingress and egress street leading to the property. Does not have collector or greater designation. Mountain View Drive is located to the North 180 ft received variance. Case 2019-0162

We are now requesting the Administrative Site Plan review required for Community Centers in R-3. Based upon the approved variances which had an site plan provided that was approved and reviewed under the variance process.

## Administrative Site Plan Criteria Responses

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;***

The site plan is consistent with the previously approved site plan that was submitted as part of Case 2019-0162 for variance. The site plan was used and reviewed by all entities of the MOA and was determined to meet the requirements other than the two variance items requested. We were granted approval for the minimum size of the lot and the need to have a community center located along a collector. Both of these conditions were granted a variance per case 2019-0162. All other site conditions required in Title 21 have been met and submitted in the attached site plan documentation.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards;***

**21.04.020.G R-3:** R-3 Zoning District is identified zoning district.

**21.05 Use Regulations: Table 21-05-1:** Allows Community Center use in R-3 Zoning District with Administrative Site Plan Review.

**21.05.040.C.2:** 2019 Use determination from MOA identified our specific use as a Community Center. See attached Use determination.

**21.05.040.C.2.b.ii Minimum Lot area and width:** Required minimum lot size is 14,000 sq ft. Variance was granted as per case 2019-0162 to allow our lot of 12,824 to have a community center located on it. Minimum width of lot is 100 ft. This lot meets this requirement based upon the fact that both dimensions are over 100 ft.

**21.05.040.C.2.b.iii Traffic Access:** Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Highways Plan. All ingress and egress traffic shall be directly onto such street. The length of our property is greater than 50 feet, so it complies to the length requirement. A variance was necessary for the requirement to be located along a collector or greater on the OSHP. Variance was granted as per case 2019-0162 to have a community center located on it street other than collector or greater on the OSHP.

**21.05.040.C.2.b.iv Buffering Standards:** L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.

**Site plan and Landscaping plans comply with this requirement.**

**21.05.040.C.2.b.v Vegetative Open Space:** In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.

**Site plan and Landscaping plan comply with this requirement.**

**21.05.040.C.2.b.vi Parking and setbacks:** In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

**Site plan complies with this requirement.**

**21.06 Dimensional Standards and Measurements Table 21.06-1:** Lot size of 6,000, lot width 50, max lot coverage 40%, setback – Front-20, side 10, rear 20. 1 principal Structure, max height of 35.

**Lot Size :** 12,824 sq ft which is over 6,000 sq ft so lot complies

**Lot width:** Over 100 ft so it is over 50 ft and complies

**Max lot coverage:**  $4294/12824 = 33.5 \%$  so it complies

**Front yard setback:** 20 ft so it complies

**Side yard Setback:** 15 ft on North and 30.08 ft on South side so it complies

**Rear yard setback:** 30.1 ft so it complies.

**Building height:** 23' therefore it complies

**21.07 Development and Design Standards:**

**21.07.020 Natural Resource Protection:** The municipality contains many natural amenities including streams, natural drainages, wildlife habitat areas, water bodies, scenic features such as mountains and coastal areas, wetlands, and hillsides, as well as significant amounts of native forest, tree cover, and open space, all of which contribute to the municipality's character, public health, quality of life, and property values. The requirements of this section are intended to ensure that the natural character of the municipality is reflected in patterns of development and redevelopment, where feasible and appropriate.

**N/A:**, no streams, natural drainages, wildlife habitat areas, water bodies, scenic features such as mountains and coastal areas, wetlands, and hillsides, as well as significant amounts of native forest, tree cover

**21.07.030 Private Open Space:** The Open space requirement of this section does not apply as there is an exemption for 5,000 sq ft or less buildings. However, Section 21.05.040.C.2.v does apply. 25% required, 3682 sq ft of open space exists when 3206 sq ft is required. Therefore, open space complies with section 21.05.040.C.2.v.

**21.07.040 Drainage, Storm Water Treatment, Erosion Control, and Prohibited Discharges:** Civil Engineering design must meet all drainage requirements for all lots being developed. A condition of permit approval guarantees that this will be completed as per code. We will design all necessary drainage features and controls during the permitting process.

**21.07.050 Utility Distribution Facilities:** The area has already been provided with the Electrical, gas and water and sewer services. No additional should be required for this development. All requirements of any utility will be completed at time of building permit as necessary.

**21.07.060 Transportation and Connectivity:** The site was designed in accordance with the help of the Traffic Engineer. All on-site and off-site circulation was already discussed and modified to meet their requirements during the variance process for case 2019-0162. We believe our plans meet all transportation and connectivity requirements for this location including but not limited to on-site maneuvering, parking, pedestrian access and driveway access.

**21.07.070 Neighborhood Protection Standards:** The owner has worked directly with Planning Staff throughout this entire effort to develop the Community Center. The

specific standards within 21.07.070 with regards to section C have been incorporated within all correspondence to the Planning Department. We believe they have been met and briefly discuss them one by one below:

1. **Hour of Operation and Deliveries:** Hours are typically 8-10:00 pm daily, with no deliveries necessary
2. **Location on a site of activities that generate potential adverse impacts on adjacent uses, such as noise and glare:** Baseball inside should not adversely impact the neighborhood since outdoor baseball is located just across the street.
3. **Placement of trash receptacles, compactors, or recycling:** No exterior trash to be required.
4. **Location and screening of loading and delivery areas, garages, vehicle fleet parking, or vehicle maintenance areas:** N/A we have none of these on site.
5. **Lighting location, intensity, and hours of illumination:** Normal required parking lot lighting as per MOA code will be installed.
6. **Placement and illumination of outdoor vending machines, telephones, or similar outdoor services and activities:** N/A we have none of these on site.
7. **Additional landscaping and screening to mitigate adverse impacts:** Site plan addresses all required landscaping including buffer landscaping required between Community Center and other Residential lots.
8. **Height restrictions to preserve light and privacy:** Height is under 25 ft in a neighborhood that has a minimum of 35. Should be no adverse impacts.
9. **Ventilation and control of odors and fumes:** Use should have no fumes or odors that will impact the neighborhood.
10. **Paving to control dust:** Parking lot will be paved as well as the alley that will be used.
11. **Location and orientation of changeable type or illuminated signs, to protect residential character and privacy and views from residential units:** All signs if added will meet Title 21 sign standards and prevent negative impact to the neighborhood.,

**21.07.080 Landscaping, Screening, and Fences:** See attached landscape plans that meet all requirements of title 21 designed by Corvus Design. L1 along Pine Street and L2 buffer between our lot and the adjacent residential properties.

**21.07.090 Off-Street Parking and Loading:** See attached site plans that meet all requirements of title 21 designed by Faulkenberry and Associates. All site constraints

were worked out with the Planning Department to ensure compliance to all Zoning and traffic requirements for the area. The site went through a thorough review during the variance process and was revised to meet all MOA recommendations. See attached site plan for this design.

**21.07.100 Exterior Lighting:** See attached Electrical plans that meet all site lighting requirements designed by Northern Electrical Engineering Consulting, LLC.

**21.07.110 Residential Design Standards:** N/A for our project.

**21.07.120 Large Establishments:** N/A for our project.

**21.07.130 Skyways and Other Projections into Public Airspace:** N/A for our project.

**21.07.140 Operational Standards:** No use may cause excessive noise, vibrations, smoke, dust or other particulate matter, toxic or noxious matter, humidity, heat, or glare at or beyond any lot line of the lot on which it is located. No equipment or process shall be used which creates visual or audible interference in any radio or television receivers off the premises, or causes a fluctuation in line voltage off the premises.

The term “excessive” is defined for the purpose of this subsection as to a degree exceeding that generated by uses permitted in the district in their customary manner of operation, or to a degree injurious to the public health, safety, welfare, or convenience.

Our use will not cause any issues.

- 3. *The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and***

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site and a place for neighborhood family members to gather and play baseball/softball. This site has remained undeveloped because of the residential zoning and be adjacent to a gas station to the South. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Based upon our landscaping design and the make-up of a new Community Center will help develop this area into a safer and cleaner neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we are justified in

this category and will definitely not adversely affect the adjacent properties as we will only enhance the area.

- 4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.**

**Policy 7: Avoid incompatible uses adjoining one another.**

**POLICY 7 RESPONSE:**

*The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to a already existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy.*

**Policy 45: Connect local activity centers such as neighborhood schools and community centers with parks, sports fields, greenbelts, and trails, where feasible.**

**POLICY 45 RESPONSE:**

*This project will provide greater infrastructure supporting organized sports programs that utilize Lions park which is across Pine street. This project being in close proximity to the existing park will promote positive use of the existing park, while providing a gathering place that is within walking distance for residence of the Mountain View Neighborhood. (collaboration with Lions club/Mountain View Little League). In fact, there is an existing walkway that leads from the sports fields to the building site of this project. We feel our design and location definitely meet the requirements of policy 45.*

**Policy 46: The unique appeal of individual residential neighborhoods shall be protected and enhanced in accordance with applicable goals, policies and strategies.**

**POLICY 46 RESPONSE:**

*The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to an existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community*

*Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy and keep the residential feel of the neighborhood.*

**OVERALL RESPONSE TO 4:**

In addition to the policies being met we believe our redevelopment of this property meets the intent of the Anchorage 2020 and 2040 plans because we are designing a Community Center that is in a great location adjacent to a park with the similar outdoor baseball/softball facilities. We will provide the buffering between the community use and the residential use to smooth the transition as well as provide a nice transition from the Commercial uses to the South and the residential uses to the West and North.

A Community Center is an approved use pending an administrative site plan review. With that established, it is assumed that this is the type of project that was intended for this zoning designation. In addition, the neighborhood has an existing baseball complex that is currently in use. This baseball complex visually defines the current character of the neighborhood. Our proposed indoor facility project enhances the current interest in this area. Additionally, nothing has ever been built on this land. A community center would make for a more attractive residential neighborhood transition from the businesses to the South. We have worked for over a year with the Planning Department to make sure our use is compatible and will continue to be compatible with the surrounding neighborhood. We have submitted a Use Determination in which they designated our use as one that would be considered a Community Center and have encouraged us to proceed with providing this within Anchorage. The lot we are proposing works very well based upon it being across the street from baseball and softball fields that currently exist. This use therefore does not change the feel or the intent of the R-3 zoning district of which currently exists. Community Centers are allowed in the R-3 so approving this admin site plan does not impact the future uses of lots in this area for what the code intended. We feel based upon this that our use and our site plan is justified for this location.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: 2020-0050
- Project Location, Tax ID, or Legal Description: 005-022-06-000  
Fairview, Lot 6A Block 1
- Project Area (if different from the entire parcel or subdivision): \_\_\_\_\_  
12824 sq ft, full lot

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X KBC DOES NOT contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.\*

\_\_\_\_\_ DOES contain stream channels and/or drainageways AND these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.  
*New or additional mapping IS NOT REQUIRED.*\*

\_\_\_\_\_ Contains stream channels and/or drainageways BUT one or more streams or other watercourses:  

- are NOT shown on submittal documents, or
- are NOT depicted adequately on submittal documents for verification, or
- are NOT located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.*\*

\_\_\_\_\_ Presence of stream channels and/or drainageways is unknown AND field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

\* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

**ADDITIONAL INFORMATION:**

- |                            |                            |  |                                      |                                |
|----------------------------|----------------------------|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y | <input type="checkbox"/> N | WMS written drainage recommendations are available.      | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input type="checkbox"/> N | Field flagging and/or map-grade GPS data is available.   |                                      |                                |

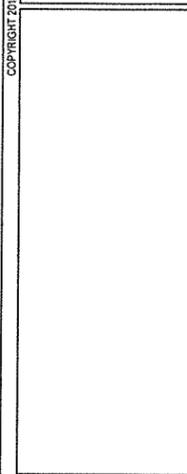
Inspection Certified By:



Date:

11/2/20

FNA Project #:  
**2019\_69**  
 Project Start Date:  
 09-17-19  
 Release Date: 10-03-19  
 Released for:  
 Preliminary Set 3



10/4/2019  
 12:12:45 PM

FAULKENBERRY & ASSOCIATES, INC.  
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 P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9193



**Gamers**  
 Indoor Training Facility  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

sheet name  
**Title Sheet**  
 sheet number  
**A0.0**

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# Gamers

## Indoor Training Facility

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 Anchorage, AK 99508

Lot 6A Block 1  
 Fairview Subdivision

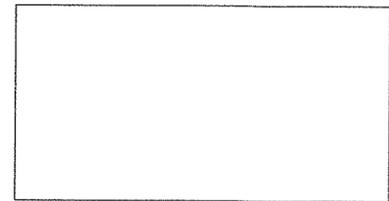
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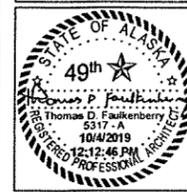
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08-15-19 ADDRESS MOA ARCH REVIEW COMMENTS

Permit #: n/a

**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

Code Study

sheet number  
**A0.1A**

CODE/ZONING INFORMATION			
<b>PROJECT INFORMATION</b>			
LEGAL DESCRIPTION	ZONING (TABLE 21.05-1 LAND USE REGS)		
LOT 6A; BLOCK 1 FAIRVIEW SUBDIVISION N. PINE STREET ANCHORAGE, ALASKA 99508	<b>USE DEFINITION</b>	<b>LOT AREA</b> (TABLE 21.06-1, p. 6-5)	<b>MIN. LOT DIMENSIONS</b> (TABLE 21.06-1, p. 6-5)
LOT NOTES: 1. PROJECT LOT IS ON PINE ST. APPROXIMATELY ONE BLOCK NORTH OF PINE & MT. VIEW DRIVE	1. COMMUNITY USES - COMMUNITY SERVICE - COMMUNITY CENTER (21.05.040.C.2; p. 5-35)	REQUIRED: 6,000 SF ACTUAL: 12,824 SF	REQUIRED MINIMUM WIDTH: 50 FT. ACTUAL: 102.32 FT.
	<b>DISTRICT</b> (TABLE 21.05-1; p.5-6)	<b>MAX. LOT COVERAGE</b> (TABLE 21.06-1, p. 6-5)	<b>MAX. PRINCIPAL STRUCT.</b> (TABLE 21.06-1, p. 6-5)
	R-3 1. COMMUNITY CENTER: PERMITTED (WITH ADMINISTRATIVE SITE PLAN REVIEW)	PERMITTED: 40% (5,130 SF) ACTUAL: 4,228 SF <OK>	ALLOWED: N/A ACTUAL: N/A
ZONING AMC 21.03.105 MARIJUANA (AO 2016-3(S), 02-23-16) SPECIAL LAND USE PERMIT			
<b>D/M/REVIEW</b> (21.02.020, TABLE 21.02-1 p. 1 OF 34)	<b>COMMUNITY MEETINGS</b> (21.03020 C.2 a.iv)	<b>SEPARATION FROM PROTECTED USES</b> (21.05.055.A.2.a)	
21-03-105: DECISION/ HEARING	REQUIRED	REQUIRED SEPARATION: 600 FT FROM BOARDING SCHOOLS; UNIVERSITY, SCHOOLS; PLAYGROUND; HOUSING, CHILD CARE CENTERS; SHELTERS; HABILITATIVE CARE CENTERS; HARRY J. McDONALD MEMORIAL CENTER; COMMUNITY CENTERS; NEIGHBORHOOD RECREATION CENTERS; RELIGIOUS ASSEMBLIES	
<b>SPECIAL LAND USE PERMIT</b> (AMC 21.03.105)	<b>VENTILATION</b> (AMC 21.05.060)	DOES FACILITY COMPLY: YES	
A SPECIAL LAND USE PERMIT IS REQUIRED FOR THIS PROJECT	DO NOT BE A PERSON WITH A NORMAL SENSE OF SMELL AT ANY LOT LINE OF THE SUBJECT PROPERTY		
<b>REQUIRED YARDS PER AMC TABLE 21.06-1 (p. 6-5)</b>			
<b>REQUIRED YARDS:</b> FRONT: 20 FT.; SIDE: 10 FT.; REAR: 20 FT.		<b>ACTUAL YARDS:</b> FRONT (EAST): 20.0 FT. TO PL (50.0 FT. TO CL PINE STREET); SIDE (NORTH): 15.0 FT.; SIDE (SOUTH): 30.07 FT.; REAR (WEST): 30.10 FT. TO PL	
<b>GOVERNING CODE</b>	2012 IBC, IFC, ANSI A177.1; "NEW" TITLE 21	<b>TYPE OF CONSTRUCTION:</b> TYPE III-B	
<b>AREA NOTE:</b> BUILDING IS NOT SPRINKLERED			
<b>ALLOWABLE AREA/STORIES (IBC TABLE 503)</b>		<b>ACTUAL AREA</b>	
A-3 (GYM)	9,500 SF/ STORY// 2 STORIES//55 FT.	<b>OCCUPANCY AREA (GROSS SQUARE FOOTAGE)</b>	
		<b>OCCUPANCY</b>	<b>AREA</b> <b>OLF</b> <b>OCC.**</b>
		<b>1<sup>ST</sup> FLOOR</b>	
		TRAINING AREAS	3,930 SF 50 SF 78.60
		ACCESSORY (TOILETS + WALLS)	126 SF -0- SF -0-
		<b>TOTAL AREAS</b>	4,056 SF 78.60 ~ 79
<b>SEPARATIONS REQUIRED PER IBC TABLE 508.4</b>		<b>IBC TOTAL BUILDING AREA (SEE FOOTNOTE 1 BELOW)</b>	
NONE		TOTAL IBC AREA: 4,056 SF	
<b>**OCCUPANT LOAD FACTORS PER IBC TABLE 1004.1.2 ARE:</b>		<b>ZONING AREA (SEE FOOTNOTE 2 BELOW)</b>	
1. 50 SF/OCC (EXERCISE);		TOTAL ZONING AREA: 4,228 SF	
<b>AREA NOTES:</b>			
1. GROSS AREA, BUILDING - IBC 202 DEFINITIONS: THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS (OR EXTERIOR WALLS AND FIRE WALLS) EXCLUSIVE OF VENT SHAFTS AND COURTS. AREA OF THE BUILDING NOT PROVIDED WITH SURROUNDING WALLS SHALL BE INCLUDED IN THE BUILDING AREA IF SUCH AREAS ARE INCLUDED WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.			
2. GROSS FLOOR AREA - TITLE 21.14.040 (p. 14-21): THE TOTAL HORIZONTAL AREA OF ALL OF THE FLOORS OF A BUILDING, MEASURED TO THE EXTERIOR OF THE WALL, INCLUDING MEZZANINES, STAIRWELLS, HALLWAYS, ELEVATOR SHAFTS, AND VENTILATION SHAFTS, ETC.			
3. ACCESSORY AREAS: THESE AREAS ARE CONSIDERED AREAS THAT ARE NOT CONTINUOUSLY OCCUPIED. THE ACCESSORY TOTALS INCLUDE HALLWAYS, STAIRS, TOILET ROOMS, LOCKER ROOM, JANITORS CLOSETS, UTILITY ROOMS, ETC.			

**EXITING GENERAL NOTES:**

**DOOR SWING (IBC 1008.1.2)**

- DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE OR A GROUP H OCCUPANCY. NOTE: THE OCCUPANT LOAD FOR THE PHASE 3 AREA IS LESS THAN 50 SO THE DOORS ARE NOT REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL.

**ELEVATION OF FLOOR AT EXIT DOORS (IBC 1008.1.5):**

- THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF DOOR.
- THE FLOOR OR LANDING SHALL BE A SAME ELEVATION ON EACH SIDE OF DOOR.
- LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" PER HORIZONTAL FOOT.

**LANDINGS (IBC 1008.1.6):**

- LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE STAIRWAY OR DOOR, WHICHEVER IS GREATER.
- DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES.
- WHEN A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH.
- LANDINGS SHALL HAVE A LENGTH MEASURE IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES.

**THRESHOLDS (IBC 1008.1.7):**

- THRESHOLDS SHALL NOT EXCEED 1/2 INCH IN HEIGHT.

**DOOR ARRANGEMENT (1008.1.9):**

- SPACE BETWEEN TWO DOORS IN A SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF A DOOR SWINGING INTO THE SPACE.
- DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.

**DOOR HARDWARE (IBC 1008.1.9):**

**DOOR OPERATION:**

- DOOR OPERATION:** EGRESS DOOR OPERATION SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE ITEM 4 FOR EXCEPTIONS TO THIS REQUIREMENT.
- HARDWARE:** DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATION DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE, SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- HARDWARE HEIGHT:** DOOR HANDLES, PULLS, LATCHED, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR. LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
- LOCKS AND LATCHES:** PROVIDE HARDWARE AS NOTED IN ITEMS 1-3 ON ALL DOORS WITH THE POSSIBLE EXCEPTION OF THE MAIN FRONT DOOR(S). THE FOLLOWING MAY BE UTILIZED, AT THE OWNER'S OPTION, FOR THE MAIN DOOR(S) ONLY: PER IBC 1008.1.9.3. EXCEPTION 2, THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED; A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND, AND THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
- UNLATCHING:** PER IBC 1008.1.9.5, THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- PANIC HARDWARE:** PER IBC 1008.1.10 PANIC HARDWARE IS **REQUIRED FOR THIS PROJECT.**

**PROJECT DESCRIPTION**

CONSTRUCT A PRE-ENGINEERED METAL BUILDING TO HOUSE AN INDOOR BASEBALL TRAINING FACILITY.

**PROJECT DEFERRED SUBMITTALS**

- MECHANICAL/PLUMBING DRAWINGS ARE TO BE PREPARED BY OTHERS AND SUBMITTED AS A DEFERRED SUBMITTAL TO THIS PERMIT.
- ELECTRICAL DRAWINGS ARE TO BE PREPARED BY OTHERS AND SUBMITTED AS A DEFERRED SUBMITTAL TO THIS PERMIT.
- EXTERIOR SIGNAGE DRAWINGS ARE TO BE PREPARED AND SUBMITTED BY OTHER UNDER SEPARATE PERMIT.

**OCCUPANCY/ CHANGE OF USE**

THIS PROJECT IS A NEW PROJECT.

**HAZARD CATEGORY ANALYSIS (IEBC)**

- PER IBC TABLE 1012.4 MEANS OF EGRESS HAZARD CATEGORY: N/A
- PER IBC TABLE 1012.5 HEIGHT/AREA HAZARD CATEGORY: N/A
- PER IBC TABLE 1012.6 EXTERIOR WALL HAZARD CATEGORY: N/A
- REQUIREMENTS DUE TO CHANGE IN CATEGORIES AS NOTED ABOVE: NONE

**IBC NOTES**

- PER 1014.2 BUILDINGS PREVIOUSLY OCCUPANCY OF ANY BUILDING EXISTING ON THE DATE OF ADOPTION OF THIS CODE SHALL BE PERMITTED TO CONTINUE WITHOUT CHANGE EXCEPT AS IS SPECIFICALLY PROVIDED BY THE INTERNATIONAL FIRE CODE OR THE INTERNATIONAL PROPER CODE OR AS IS DEEMED NECESSARY BY THE CODE OFFICIAL FOR THE SAFETY AND WELFARE OF THE OCCUPANTS AND THE PUBLIC.
- THIS BUILDING WAS CONSTRUCTED IN 1994.
- A. THE UNIFORM BUILDING CODE (UBC) WAS THE GOVERNING CODE WHEN THIS BUILDING WAS ORIGINALLY CONSTRUCTED.
- B. DOCUMENTATION FROM THE OLD CODES ARE AVAILABLE UPON REQUEST.
- PER 403.1 GENERAL: ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NO LESS CONFORMING TO THE PROVISIONS OF THE INTERNATIONAL BUILDING CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION FINDINGS.
- A. ANY NEW CONSTRUCTION WILL COMPLY WITH CURRENT IBC REQUIREMENTS.

**SPECIAL REQUIREMENTS PER OCCUPANCY/ SEPARATION NOTES**

**SPECIAL REQUIREMENTS PER GROUP A-3 (GYM)**

- NONE

**SPECIAL REQUIREMENTS PER GROUP M (RETAIL)**

- NONE

**PER IBC 508.4 - SEPARATED OCCUPANCIES.**

- THIS PROJECT COMPLIES WITH THE SEPARATED USES REQUIREMENTS.

**PER IBC 711 SMOKE PARTITIONS:**

- NOT REQUIRED

**FIRE-RESISTANCE NOTES**

EXTERIOR WALLS (IBC TABLE 602 AND SECTION 705):

- ALL EXTERIOR WALLS ARE AT LEAST 10 FT. FROM A PROPERTY LINE OR CENTERLINE OF A DEDICATED PUBLIC WAY.

INTERIOR WALLS

- PER IBC 708: WALLS SEPARATING VARIOUS USES **ARE NOT** REQUIRED TO BE FIRE PARTITIONS AND **ARE NOT** REQUIRED TO HAVE A FIRE RATING.

**EXITING**

- REQUIRED:**
  - FIRST FLOOR (PER IBC TABLE 1015.1) A-3 (GYM-ASSEMBLY) OCCUPANCIES: TWO EXITS ARE REQUIRED WHEN OCCUPANT LOAD IS 50 OR MORE. THE OCCUPANT LOAD FOR THIS PROJECT IS 79. TWO EXITS ARE REQUIRED.
  - PROVIDED:**
    - TWO EXITS ARE PROVIDED. SEE PLAN FOR LOCATIONS.
- EXIT TRAVEL/COMMON PATH OF EGRESS**
  - PER IBC TABLE 1014.3 THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL SHALL NOT BE MORE THAN 75 FT. NOTE: THIS PROJECT COMPLIES WITH THAT REQUIREMENT.
  - EXIT ACCESS TRAVEL DISTANCE**
    - PER IBC TABLE 1016.2 THE MAXIMUM TRAVEL DISTANCE FOR THIS SPACE IS:
      - GROUP A-3: 200 FEET AS THIS FACILITY IS NOT SPRINKLERED. THIS PROJECT COMPLIES WITH THIS REQUIREMENT.
- CORRIDORS**
  - PER IBC TABLE 1018.1 CORRIDORS: NOT APPLICABLE.
  - ADDITIONAL CORRIDOR NOTES: NONE

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PLUMBING REQUIREMENTS		PER IBC TABLE 2902.1					
BUILDING TYPE OR OCCUPANCY	WATER CLOSETS		URINALS	LAVATORIES	TUB/SHWR	D.F.	OTHER
	MALE	FEMALE		FIXT/OCC	FIXT/OCC	FIXT/OCC	AS NOTED
A-3 (GYM)	1 PER 125	1 PER 65	67% MAX. IN LIEU OF REQ'D WC	1 PER 200	N/A	1/500	1 SERVICE SINK
CALCULATIONS	39.5 OCC/125 = 0.31	39.5 OCC/65 = 0.60		30 OCC/750 = 0.04	-	1	1
TOTAL REQ'D	0.31 + 0.60 = 0.91 ~ 2 <sup>2A</sup>		N/A	0.04 ~ 1 <sup>2A</sup>	N/A	**1 <sup>1A</sup>	1
TOTAL PROVIDED	2 <sup>2A</sup>		N/A	1 <sup>2A</sup>	N/A	N/A <sup>1B</sup>	1 <sup>3A</sup>

**PLUMBING NOTES:**  
 1. PER AMC 23.15 TABLE 2902.1: "WHERE WATER IS SERVED IN RESTAURANTS, DRINKING FOUNTAINS SHALL NOT BE REQUIRED. IN OTHER OCCUPANCIES WHERE DRINKING FOUNTAINS ARE REQUIRED, BOTTLE WATER DISPENSERS SHALL BE PERMITTED TO BE SUBSTITUTED FOR THE REQUIRED DRINKING FOUNTAINS. NOTE: A BOTTLED WATER DISPENSER IS BEING PROVIDED FOR THIS PROJECT  
 2. PER IBC 2902.2: SEPARATE FACILITIES: SEPARATE FACILITIES ARE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 16 OR LESS. NOTE: THE TOTAL OCCUPANT LOAD FOR THIS OCCUPANCY IS 79 - SEPARATE FACILITIES **ARE REQUIRED** FOR THIS OCCUPANCY.

**FIRE PROTECTION SYSTEMS**

**SPRINKLER NOTES**  
 SPRINKLERS  
 1. PER IBC 903.2.1.3 GROUP A-3: A SPRINKLER SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

**FIRE ALARM NOTES**  
 FIRE ALARM SYSTEMS  
 1. PER IBC 907.2.1 GROUP A-3: A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED FOR THIS OCCUPANCY.

**SMOKE DETECTOR NOTES**  
 1. NOT APPLICABLE FOR THIS PROJECT

**CARBON MONOXIDE ALARM NOTES**  
 1. NOT APPLICABLE FOR THIS PROJECT.

**FIRE EXTINGUISHERS - TYPICAL:** PROVIDE FIRE EXTINGUISHERS FOR THIS PROJECT AS FOLLOWS:  
 3. PER IBC/IFC TABLE 906.3(1) PROVIDE 2A-10B:C FIRE EXTINGUISHERS AS INDICATED ON THE PLANS - NOT TO EXCEED 75 FT TRAVEL DISTANCE. SEE PLANS FOR LOCATIONS FOR THIS PROJECT.  
 4. LOCATE IN CONSPICUOUS LOCATION WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE.  
 5. PORTABLE FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. IN ROOMS OR AREAS IN WHICH VISUAL OBSTRUCTION CANNOT BE COMPLETELY AVOIDED, MEANS SHALL BE PROVIDED TO INDICATE THE LOCATIONS OF EXTINGUISHERS.  
 6. HAND-HELD PORTABLE FIRE EXTINGUISHERS, NOT HOUSED IN A CABINET, SHALL BE INSTALLED ON HANGARS OR BRACKETS SUPPLIED. HANGARS AND BRACKETS SHALL BE SECURELY ANCHORED TO THE MOUNTING SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
 7. IF CABINETS ARE PROVIDED, THEY SHALL NOT BE LOCKED.  
 8. EXTINGUISHERS, WEIGHING LESS THAN 40 LBS, SHALL BE MOUNTED SO THAT THEIR TOPS ARE NOT MORE THAN 5 FT. ABOVE THE FLOOR.  
 9. EXTINGUISHERS, WEIGHING MORE THAN 40 LBS, SHALL BE MOUNTED SO THAT THEIR TOPS ARE NOT MORE THAN 3.5 FT ABOVE THE FLOOR.  
 10. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES.  
 11. **FIRE EXTINGUISHERS - SPECIAL:** PER IBC 906.4, FOR LOCATIONS THAT REQUIRED PROTECTION FROM COMMERCIAL COOKING EQUIPMENT GREASE FIRES. **NOTE:** NOT REQUIRED FOR THIS PROJECT.  
 12. **EMERGENCY LIGHTING:** PER IBC 1006, PROVIDE EMERGENCY LIGHTING AS FOLLOWS: 1 FOOT-CANDLE AT THE WALKING SURFACE; POWER SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY; IN THE CASE OF POWER SUPPLY FAILURE, AN EMERGENCY POWER SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE EMERGENCY LIGHTING. THIS EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR 90 MINUTES DURATION AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR.  
 13. **EXIT SIGNS:** PER IBC 1011.1, EXCEPTION 1, EXIT SIGNS ARE REQUIRED FOR THIS PROJECT. EXIT SIGNS SHALL COMPLY WITH THE FOLLOWING:  
 14. EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM AN DIRECTION OF EGRESS TRAVEL.  
 15. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE MARKED BY EXIT SIGNS.  
 16. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.  
 17. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. THE FACE OF THE EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES.  
 18. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO INSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR.

**FINISH NOTES**

- FINISHES IN GENERAL SHALL COMPLY WITH IBC CHAPTER 8. THIS FACILITY IS NOT SPRINKLERED.
- PER IBC 803: INTERIOR WALL AND CEILING FINISHES SHALL HAVE CLASS B FINISHES WITH A MINIMUM FLAME SPREAD INDEX (26-75) AND SMOKE DEVELOPMENT INDEX (0-450).
- PER IBC 804: FLOOR FINISHES SHALL BE A MINIMUM OF CLASS II.

**PARKING REQUIREMENTS (PER AMC 21.07.090.E OFF-STREET PARKING)**

**REQUIRED PARKING CALCULATIONS:**  
**PARKING REQUIRED** TABLE 21.07-4  
 1. COMMUNITY USES USES - COMMUNITY SERVICE - COMMUNITY CENTER (p. 7-84): 1 PER 5 OCCUPANTS  
 PARKING CALCULATIONS/OCCUPANT LOAD  
 1. OCCUPANT LOAD: 79 OCCUPANTS (SEE A0.1A CODE STUDY)  
 2. PARKING CALCULATION: 79 OCCUPANTS/5 = 15.8 ~ 16 TOTAL PARKING SPACES REQUIRED

**ALLOWABLE PARKING REDUCTIONS FOR THIS PROJECT**

- PER 21.07.090.F.22 BICYCLE PARKING:
  - ALLOWABLE REDUCTION:
    - 1 PARKING SPACE REDUCTION PER 6 BICYCLE PARKING SPACES
    - 12 BICYCLE PARKING SPACES ARE PROVIDED FOR THIS PROJECT
  - ALLOWED REDUCTION FOR BICYCLE PARKING SPACES: 2.0 PARKING SPACES
- PER 21.07.090.F.8 TRANSIT PARKING REDUCTION
  - ALLOWABLE DISTANCE: 1 PARKING SPACE IF LOCATED WITHIN 800 FT. FROM BUS STOP.
  - ACTUAL DISTANCE: 167 FT. (APPROX.) TO BUS STOP LOCATED ON SOUTH SIDE OF HOLIDAY CONVENIENCE STORE/GAS STATION
  - ALLOWABLE REDUCTION FOR TRANSIT: 1.0 PARKING SPACES
- TOTAL ALLOWABLE PARKING SPACE REDUCTIONS: 3.0 TOTAL
- TOTAL REQUIRED PARKING AFTER REDUCTIONS:** 16 - 3.00 = 13.0 PARKING SPACES REQUIRED <OK - 14 PARKING SPACES PROVIDED>

**PARKING PROVIDED**  
 1. TOTAL PROVIDED: 14  
 A. PARKING BREAKDOWN  
 a. TYPICAL PARKING SPACES (9'x20'): 13  
 b. H/C ACCESSIBLE (8'x20' + 8'x20' AISLE): 1  
 c. H/C TYPICAL (8'x20' + 8' OR 5' x 20' AISLE) -0-

**LANDSCAPE REQUIREMENTS (PER AMC 21.07.080)**

**REQUIRED:**  
 1. SEE SITE PLAN FOR TYPES AND LOCATIONS

**PROVIDED:** LANDSCAPE DRAWINGS TO BE PROVIDED BY OTHERS

**PRIVATE OPEN SPACE (PER AMC 21.07.030)**

**REQUIRED:**  
 1. NOT REQUIRED AS THE BUILDING IS LESS THAN 5,000 SF.

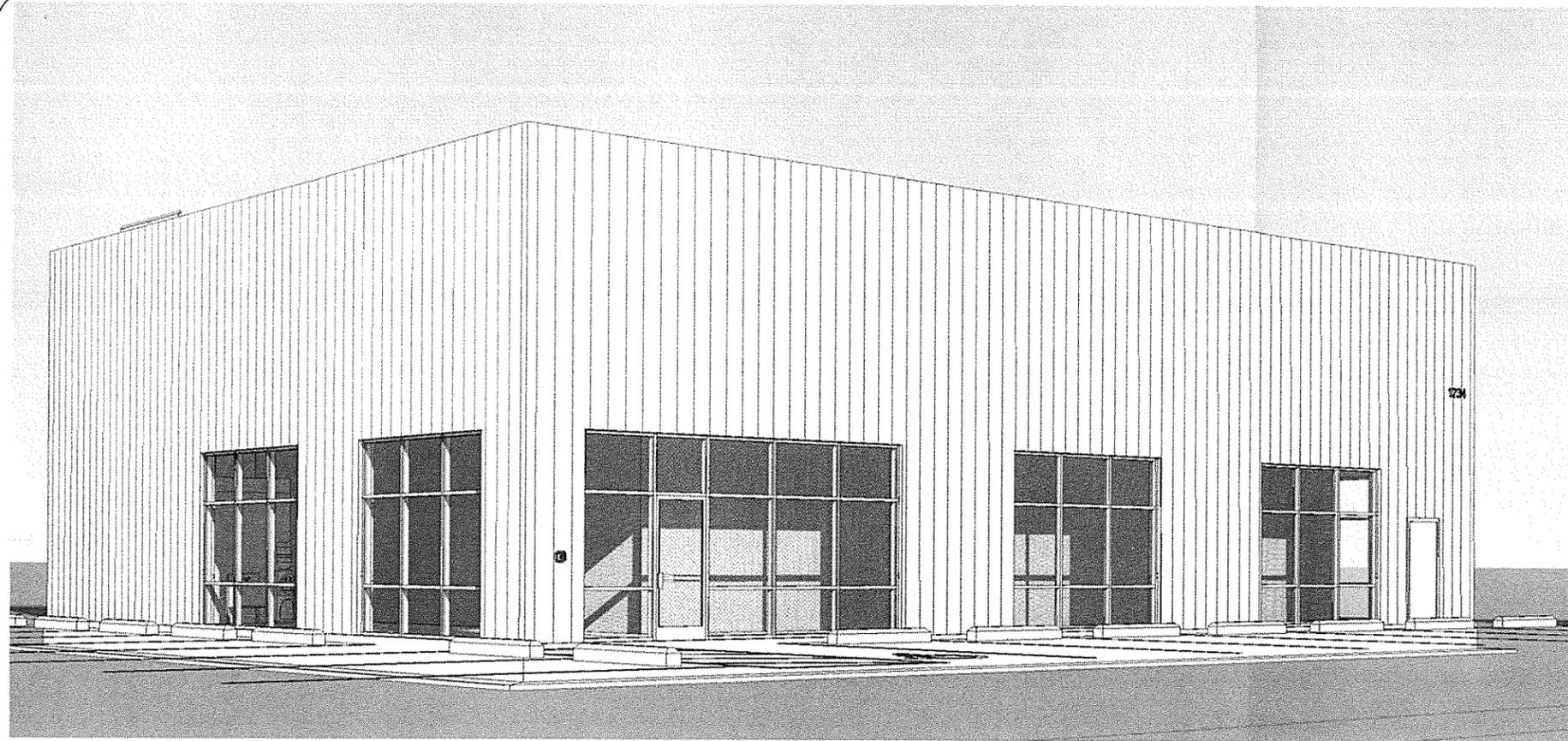
**PROVIDED:** N/A

**FIRE-RESISTANCE REQUIREMENTS (PER IBC TABLES AND SECTIONS AS NOTED)**

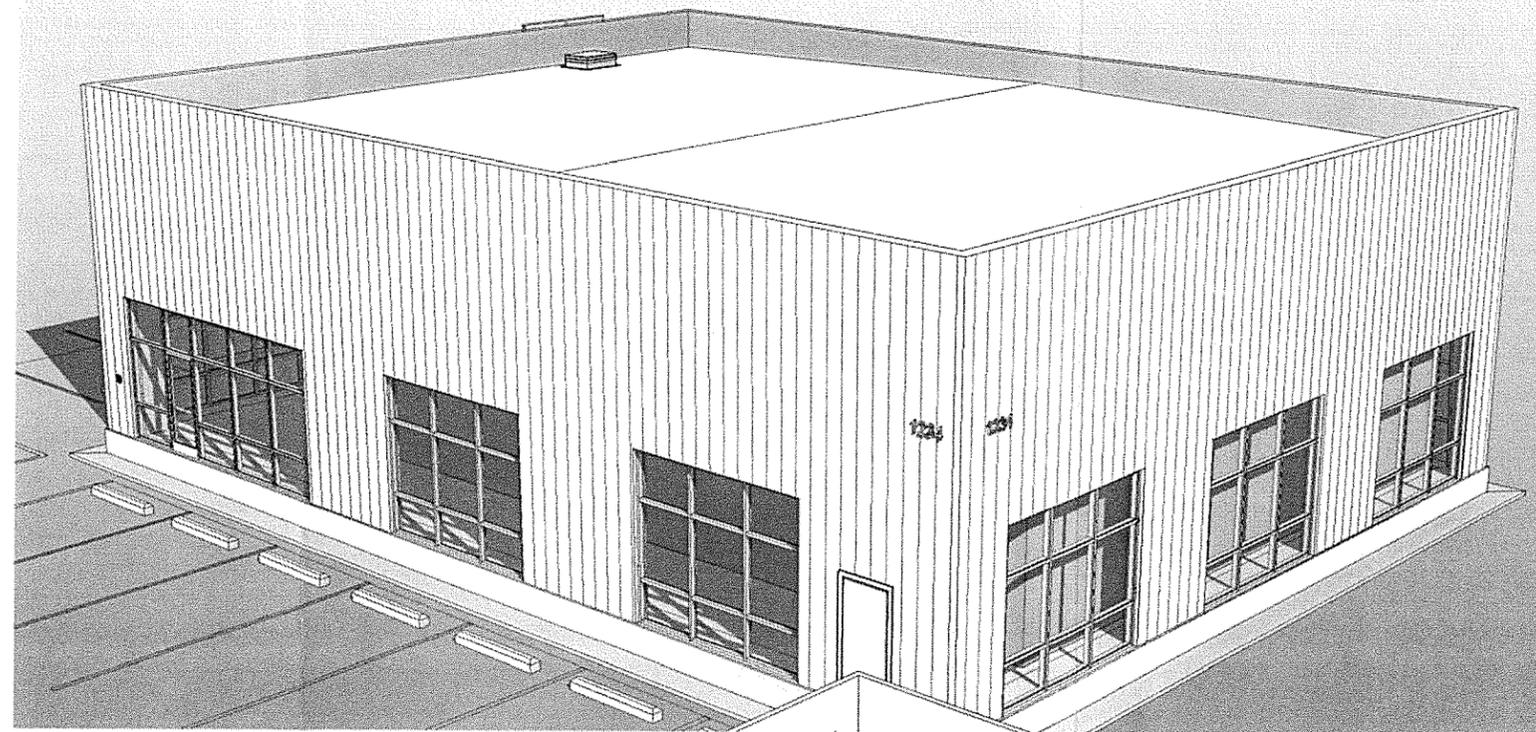
**BUILDING TYPE:** TYPE III-B  
**NOTE: BUILDING IS A NEW PRE-ENGINEERED METAL BUILDING**

**ELEMENTS**  
**PRIMARY STRUCTURAL FRAME:** PER IBC TABLE 601 (PER IBC 202 INCLUDING THE COLUMNS, STRUCTURAL MEMBERS HAVING DIRECT CONNECTIONS TO THE COLUMNS, INCLUDING GIRDERS, BEAMS, TRUSSES AND SPANDRELS) + (MEMBERS OF THE FLOOR AND ROOF CONSTRUCTION HAVING DIRECT CONNECTIONS TO THE COLUMNS) + (BRACING MEMBERS THAT ARE ESSENTIAL TO THE VERTICAL STABILITY OF THE PRIMARY STRUCTURAL FRAME UNDER GRAVITY LOADING SHALL BE CONSIDERED PART OF THE PRIMARY STRUCTURAL FRAME WHETHER OR NOT THE BRACING MEMBER CARRIES GRAVITY LOADS):  
**REQUIRED RATING:** 0-HOUR  
**BEARING WALLS - EXTERIOR:** (PER IBC TABLES 601 AND 602 AS WELL AS IBC 704.10 AND 705.5): RATING SHALL BE NOT LESS THAN THE FIRE-RESISTANCE RATING BASED ON FIRE SEPARATION DISTANCE PER IBC TABLE 602:  
**REQUIRED RATING:** 0-HOUR  
 (PER IBC 704.10 AND IBC 705.5: EXTERIOR WALLS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH IBC TABLES 601 AND 602 AND THIS SECTIONS. THE REQUIRED FIRE RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF GREATER THAN 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM THE INSIDE. THE REQUIRED FIRE-RESISTANCE RATING OF EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF LESS THAN OR EQUAL TO 10 FEET SHALL BE RATED FOR EXPOSURE TO FIRE FROM BOTH SIDES)  
**BEARING WALLS - INTERIOR:** (PER IBC TABLES 601)  
**REQUIRED RATING:** 0-HOUR  
**NON-BEARING WALLS AND PARTITIONS - INTERIOR:** (NOT LESS THAN THE FIRE-RESISTANCE RATING REQUIRED BY OTHER SECTIONS OF THIS CODE)  
**REQUIRED RATING:** 0-HOUR  
**FLOOR CONSTRUCTION AND SECONDARY MEMBERS:** (SEE NOTES FOR PRIMARY STRUCTURAL FRAME FOR DEFINITIONS)  
**REQUIRED RATING:** 0-HOUR  
**ROOF CONSTRUCTION AND SECONDARY MEMBERS:** (SEE NOTES FOR PRIMARY STRUCTURAL FRAME FOR DEFINITIONS)  
**REQUIRED RATING:** 0-HOUR

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 Permit # : n/a  
 Plotted on: 12/26/2019 12:33:49 PM  
 Sheet name: Code Study - Continued  
 Sheet number: A0.1B



① Front Left Perspective View

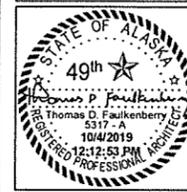


② Front Right Perspective View

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FNA Project #:  
2019\_69  
Project Start Date:  
09-17-19  
Release Date: 10-03-19  
Released for:  
Preliminary Set 3

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**Gamers Indoor Training Facility**  
Lot 6A Block 1  
Fairview Subdivision  
Anchorage, AK 99508

Plotted on: 10/4/2019 12:12:53 PM  
sheet name  
Perspectives  
sheet number  
**A0.3A**

Permit #: n/a



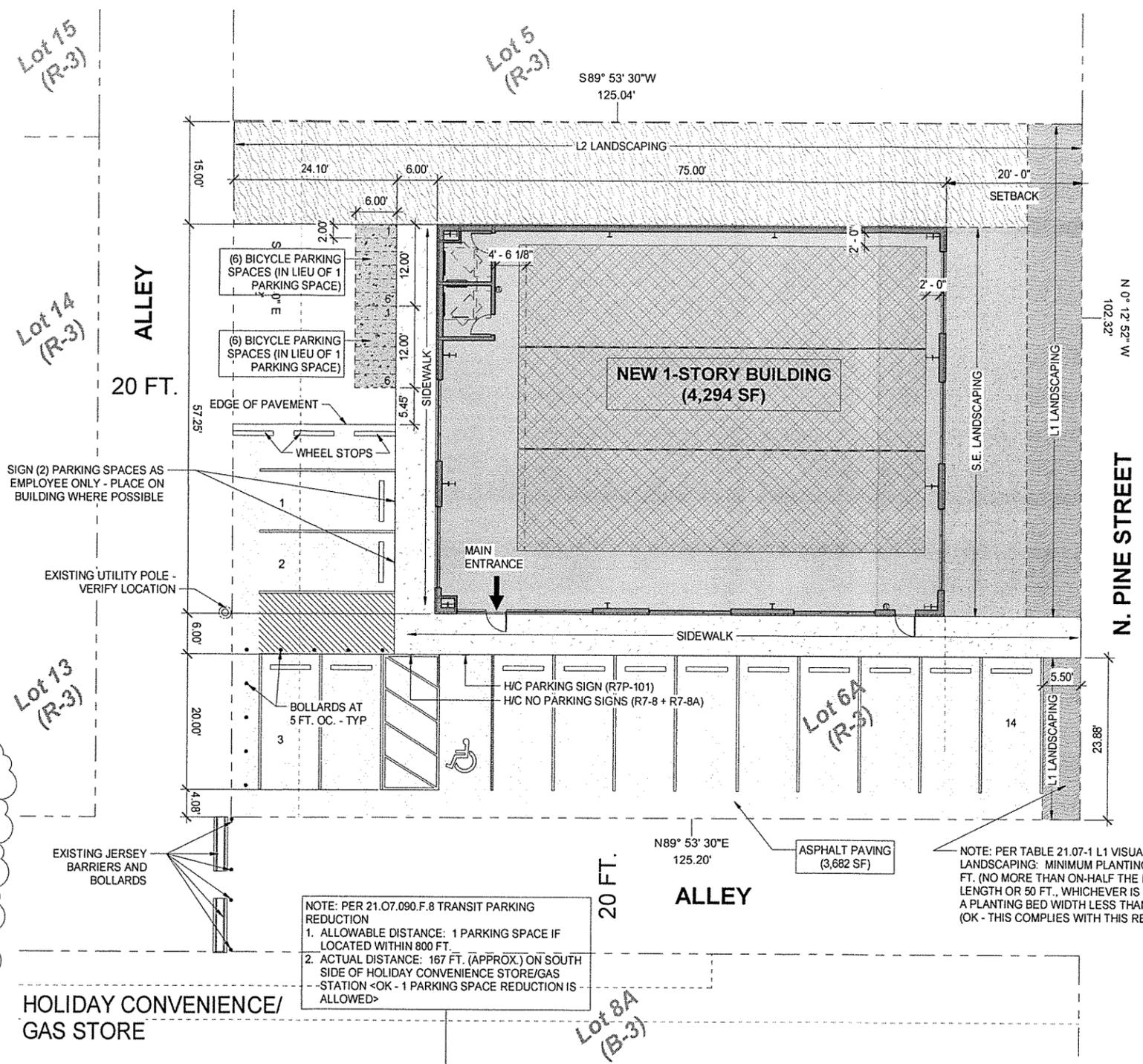
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**Gamers Indoor Training Facility**  
 Lot 8A Block 1  
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 Anchorage, AK 99508

- PARKING/SITE NOTES**
- PROVIDE HANDICAP PARKING WITH 8 FT AISLE AND/OR 5 FT. AISLE WHERE INDICATED ON PLAN.
  - PROVIDE HANDICAP SIGNS AT HANDICAP PARKING STALLS AS FOLLOWS:
    - REFER TO CIVIL DRAWINGS FOR TYPICAL DETAILS
    - PLACE ON BUILDING WHERE POSSIBLE
    - AT TYPICAL H/C PARKING STALL PROVIDE: R7-8
    - AT VAN-ACCESSIBLE PARKING STALL PROVIDE: R7-8 AND R7-8A
    - AT EACH 8 FT. HANDICAP AISLE PROVIDE: NO-PARKING SIGN (R7P-101)
  - SLOPE AT H/C PARKING AND H/C AISLE NOT TO EXCEED 2% IN ANY DIRECTION.
  - PARKING SPACE STRIPING
    - PROVIDE 4" WIDE BLUE STRIPING AT HANDICAP PARKING, AISLE, WHEEL STOPS AND/OR FACE OF CURB.
    - PROVIDE 4" WIDE WHITE STRIPING AT TYPICAL PARKING SPACES
    - IF REQUIRED PROVIDE WHITE STRIPING FOR CROSS-WALK AND/OR PEDESTRIAN ACCESS TO R.O.W
  - PROVIDE PARKING LOT LIGHTING FROM THE BUILDING. SEE ELECTRICAL DRAWINGS.
  - SNOW STORAGE (5% OF PARKING AREA):
    - REQUIRED: 4,331 SF x 5% = 216.55 ~ 217 SF
    - PROVIDED: NOTE: A SNOW MANAGEMENT AGREEMENT WILL BE PROVIDED FOR THIS PROJECT.
  - OPEN SPACE PER 25.07.030.C. (p. 7-31)
    - REQUIRED: NOT REQUIRED FOR NON-RESIDENTIAL BUILDINGS WITH AN AREA OF LESS THAN 5,000 SF.
    - PROVIDED: NOT APPLICABLE
  - NON-CONFORMING RIGHTS DETERMINATION: NOT REQUIRED

NOTE: GARBAGE IS PLACED OUTSIDE IN CANS AND PICKED UP ON GARBAGE DAY

- ALLOWABLE PARKING REDUCTIONS FOR THIS PROJECT**
- PER 21.07.090.F.22 BICYCLE PARKING:
    - ALLOWABLE REDUCTION:
      - 1 PARKING SPACE REDUCTION PER 6 BICYCLE PARKING SPACES
      - 12 BICYCLE PARKING SPACES ARE PROVIDED FOR THIS PROJECT
    - ALLOWED REDUCTION FOR BICYCLE PARKING SPACES: 2.0 PARKING SPACES
  - PER 21.07.090.F.8 TRANSIT PARKING REDUCTION
    - ALLOWABLE DISTANCE: 1 PARKING SPACE IF LOCATED WITHIN 800 FT. FROM BUS STOP.
    - ACTUAL DISTANCE: 167 FT. (APPROX.) TO BUS STOP LOCATED ON SOUTH SIDE OF HOLIDAY CONVENIENCE STORE/GAS STATION
    - ALLOWABLE REDUCTION FOR TRANSIT: 1.0 PARKING SPACES
    - TOTAL ALLOWABLE PARKING SPACE REDUCTIONS: 3.0 TOTAL
    - TOTAL REQUIRED PARKING AFTER REDUCTIONS: 16 - 3.00 = 13.0 PARKING SPACES REQUIRED <OK - 14 PARKING SPACES PROVIDED>**



NOTE: PER 21.07.090.F.8 TRANSIT PARKING REDUCTION  
 1. ALLOWABLE DISTANCE: 1 PARKING SPACE IF LOCATED WITHIN 800 FT.  
 2. ACTUAL DISTANCE: 167 FT. (APPROX.) ON SOUTH SIDE OF HOLIDAY CONVENIENCE STORE/GAS STATION <OK - 1 PARKING SPACE REDUCTION IS ALLOWED>

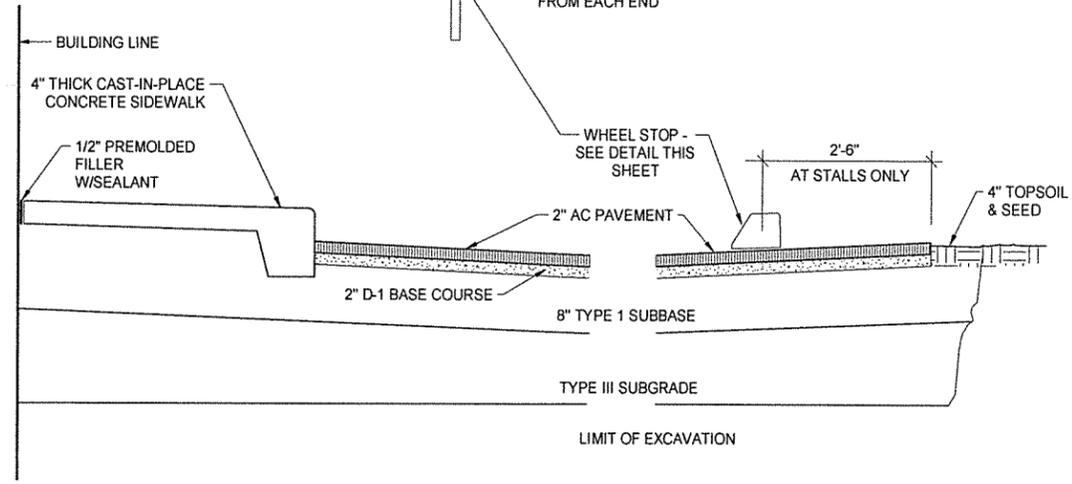
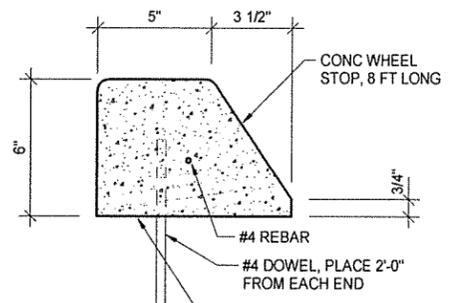
NOTE: PER TABLE 21.07-1 L1 VISUAL ENHANCEMENT LANDSCAPING: MINIMUM PLANTING BED WIDTH: 5 FT. (NO MORE THAN ON-HALF THE PROPERTY LINE LENGTH OR 50 FT., WHICHEVER IS LESS MAY HAVE A PLANTING BED WIDTH LESS THAN 8 FT. IN WIDTH. (OK - THIS COMPLIES WITH THIS REQUIREMENT)

1 Site Plan - Three Cages  
 1" = 10'-0"

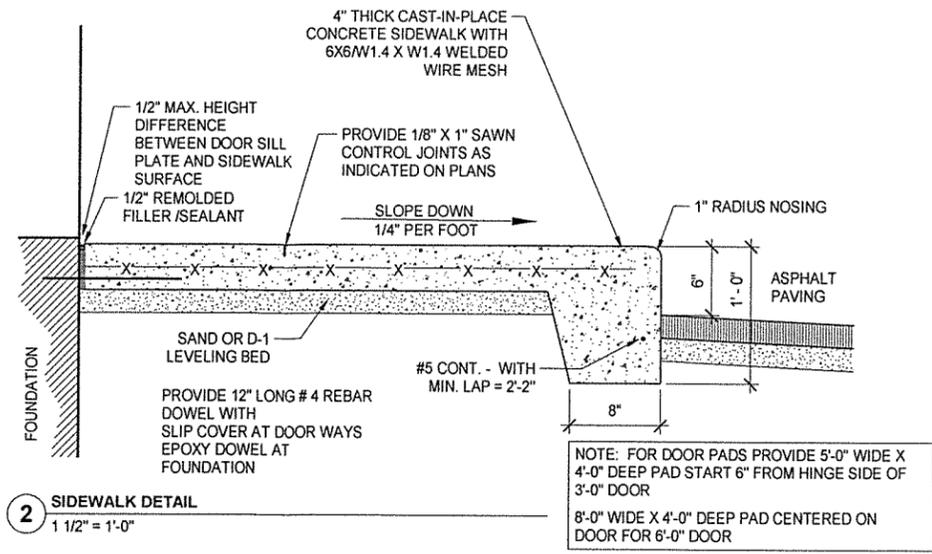




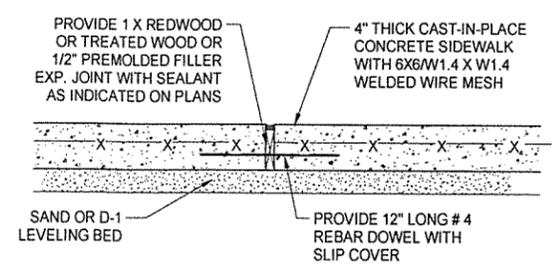
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**1** SIDEWALK/PAVING DETAILS  
 1 1/2" = 1'-0"



**2** SIDEWALK DETAIL  
 1 1/2" = 1'-0"



**3** SIDEWALK DETAIL  
 1 1/2" = 1'-0"

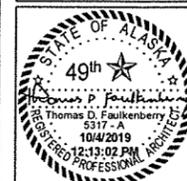
NOTE: FOR DOOR PADS PROVIDE 5'-0" WIDE X 4'-0" DEEP PAD START 6" FROM HINGE SIDE OF 3'-0" DOOR  
 8'-0" WIDE X 4'-0" DEEP PAD CENTERED ON DOOR FOR 6'-0" DOOR

Permit #: n/a

Plotted on: 10/4/2019 12:13:01 PM

**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

sheet name  
**Typical Civil Details**  
 sheet number  
**A1.2**



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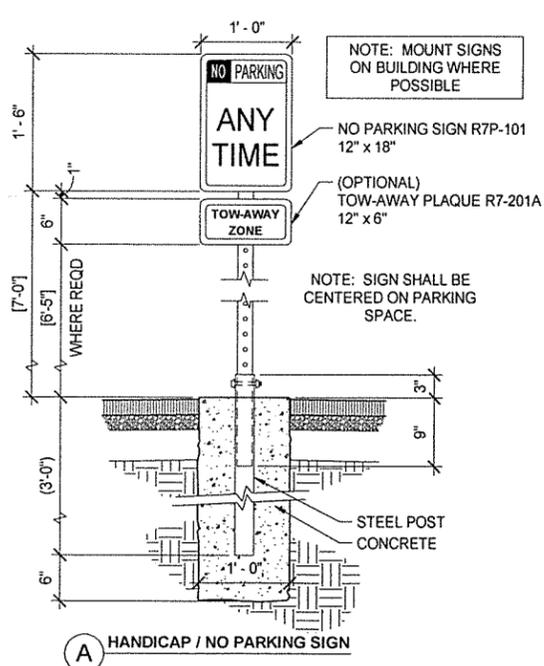
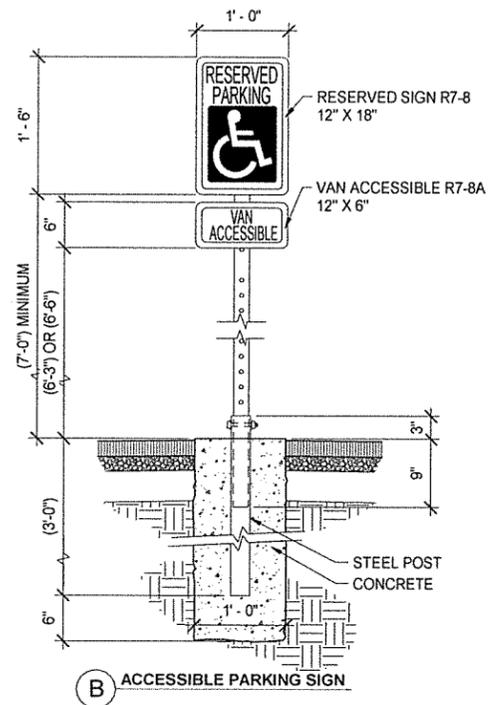
Permit #: n/a

**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
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 Anchorage, AK 99508

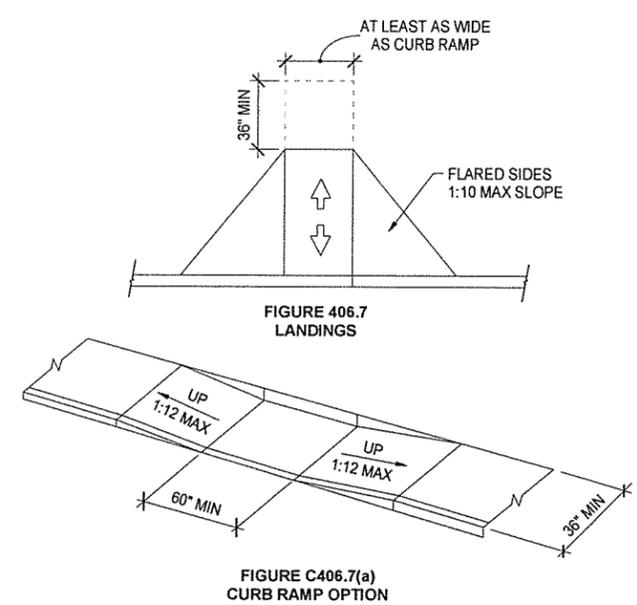
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sheet number

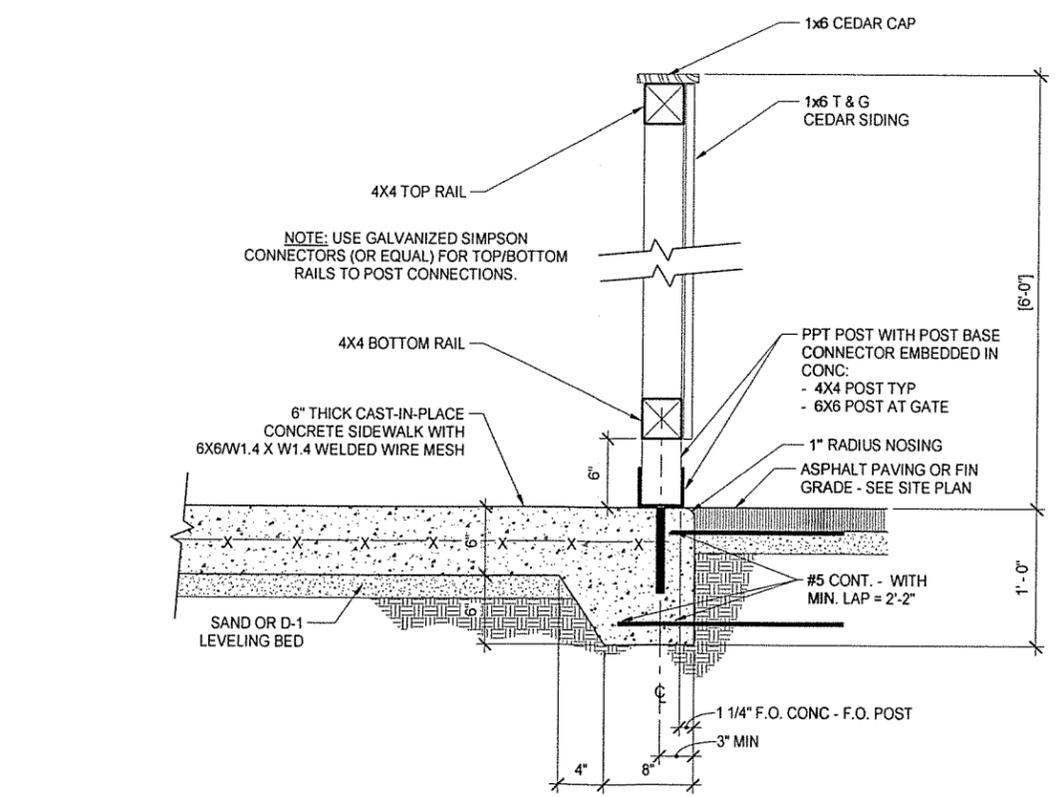
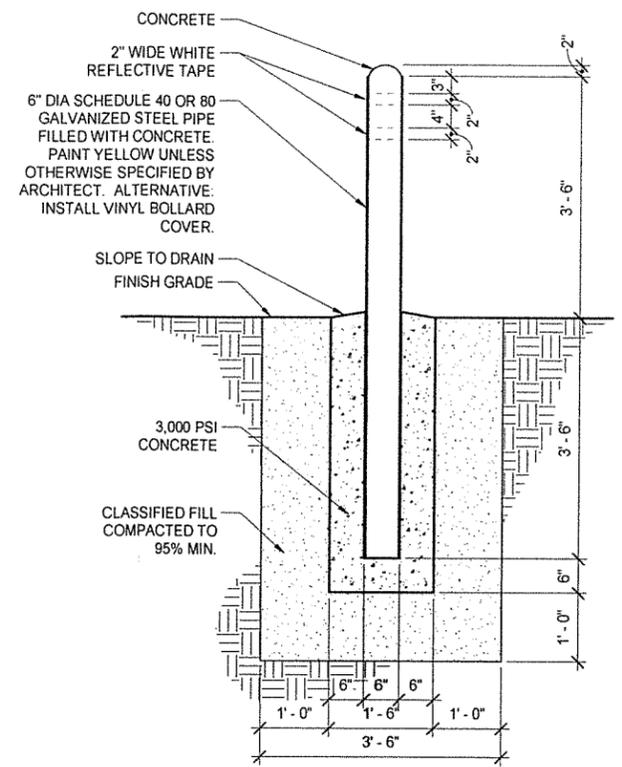
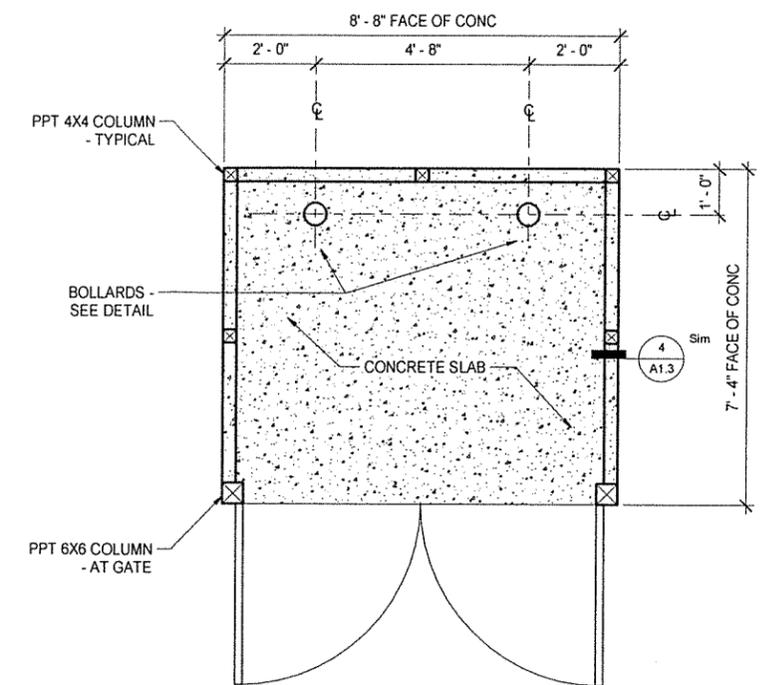
**A1.3**



**1 Civil Signage Details**  
 1" = 1'-0"



**5 ADA Ramp Diagrams**  
 1/4" = 1'-0"



Plotted on: 10/4/2019 12:13:02 PM



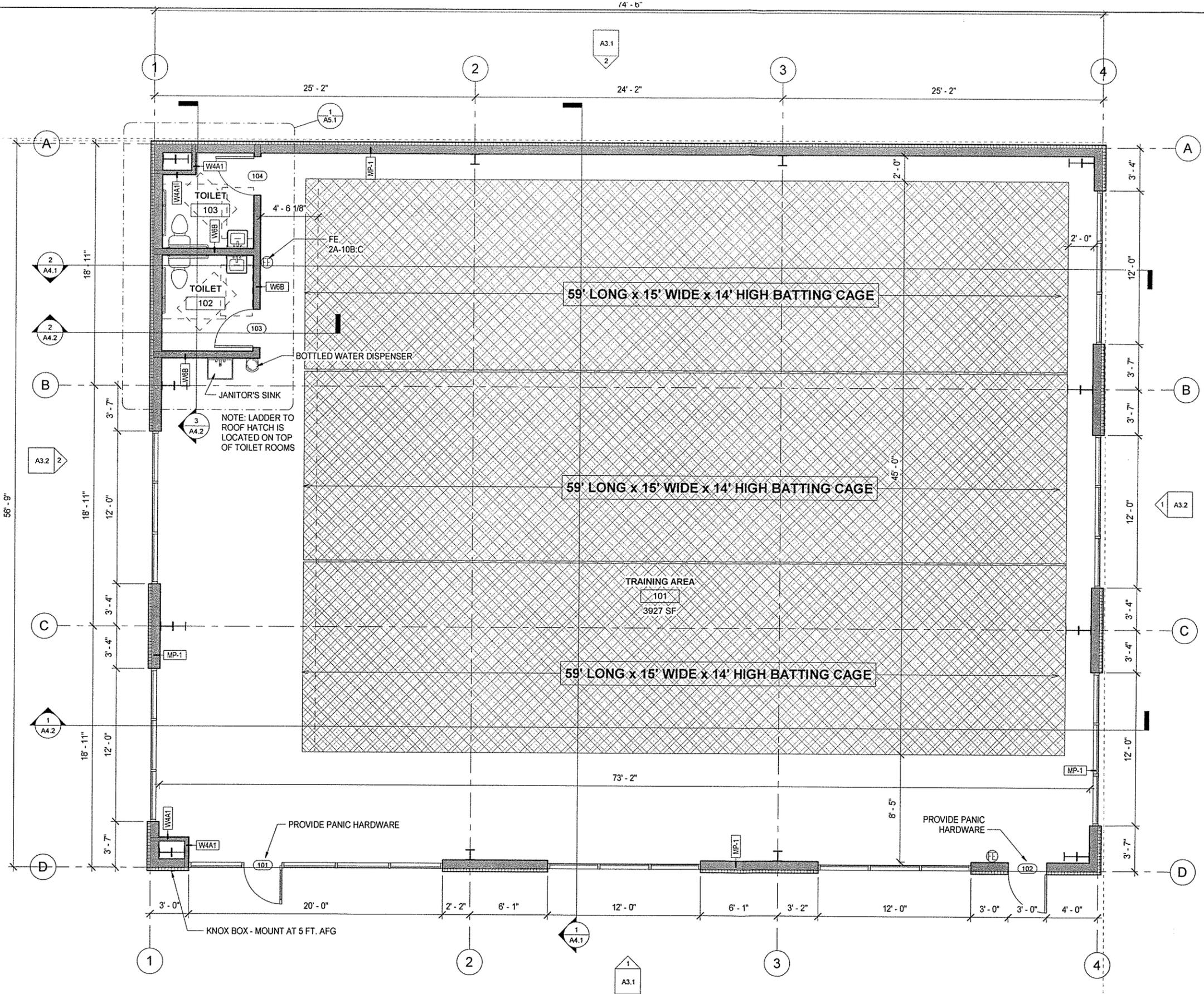
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**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
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THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

Plotted on: 10/4/2019 12:13:03 PM  
 sheet name: Floor Plan  
 sheet number: A2.1

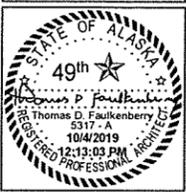


**1 Floor Plan**  
 1/4" = 1'-0"



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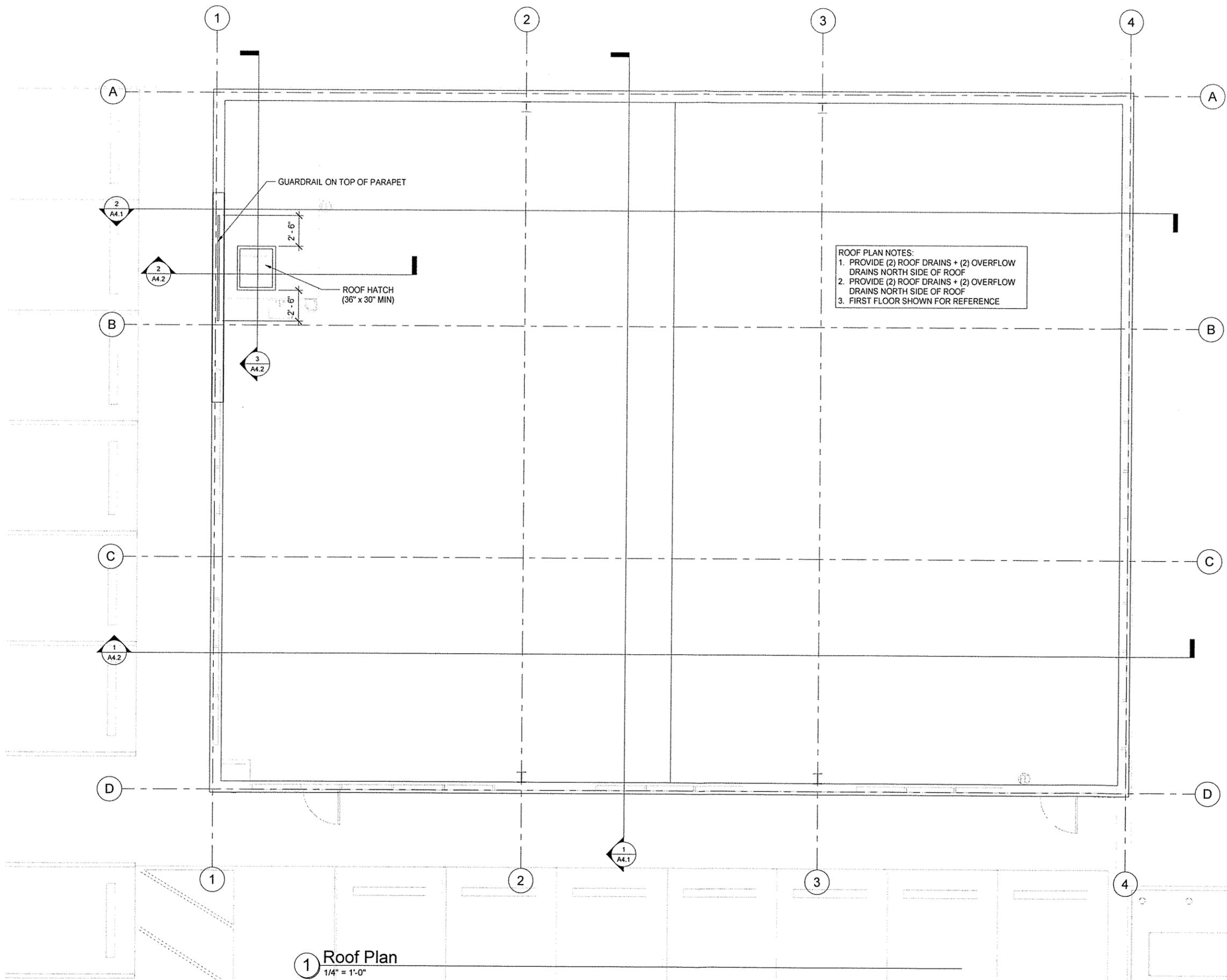
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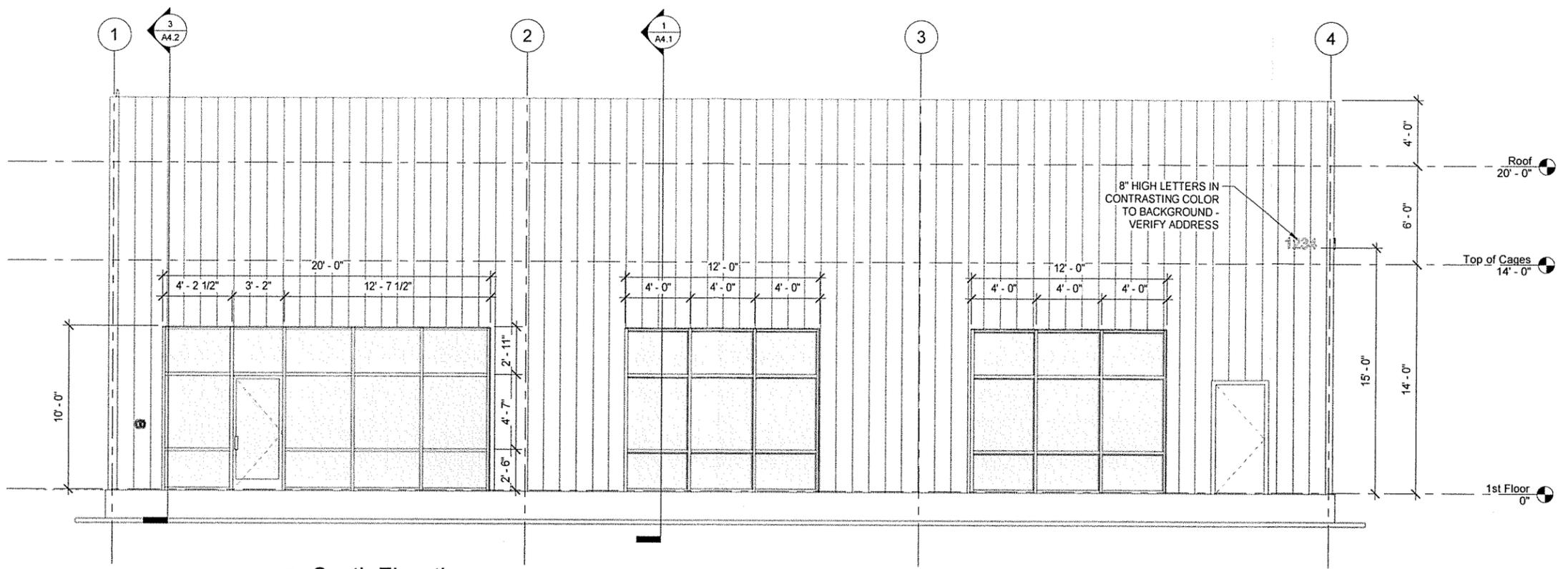
**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

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 sheet name  
**Roof Plan**  
 sheet number  
**A2.2**

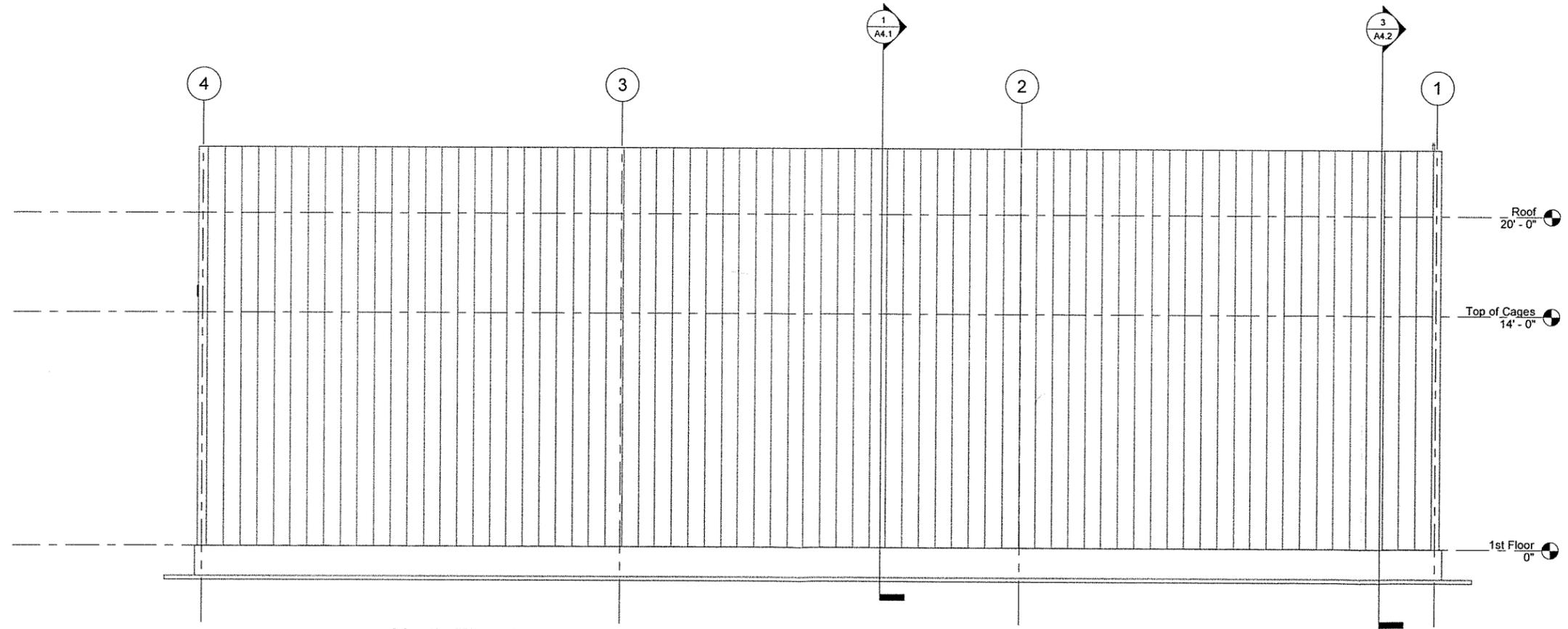


**1 Roof Plan**  
 1/4" = 1'-0"

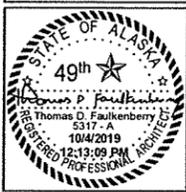
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**1** South Elevation  
 1/4" = 1'-0"



**2** North Elevation  
 1/4" = 1'-0"



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Permit # n/a

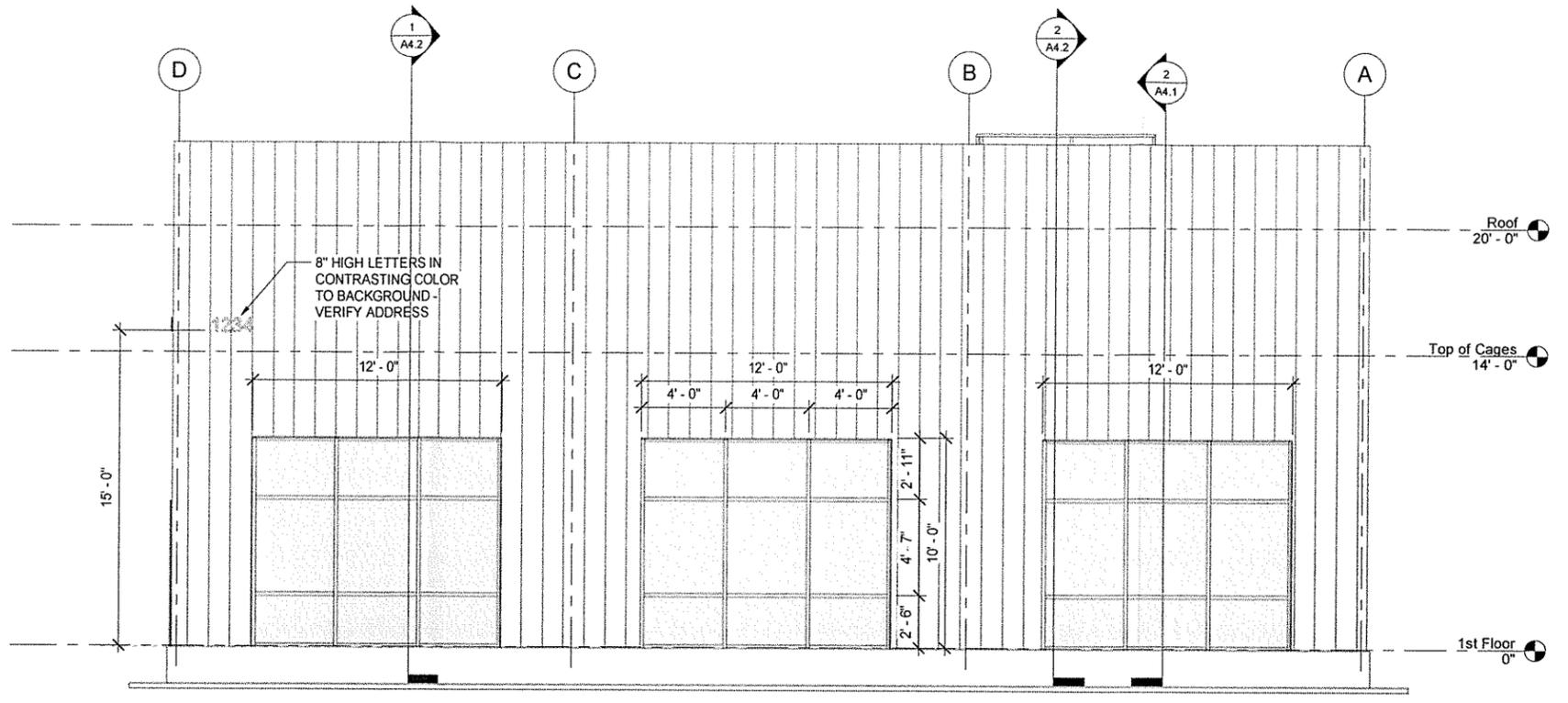
**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

sheet name  
**Exterior Elevations**

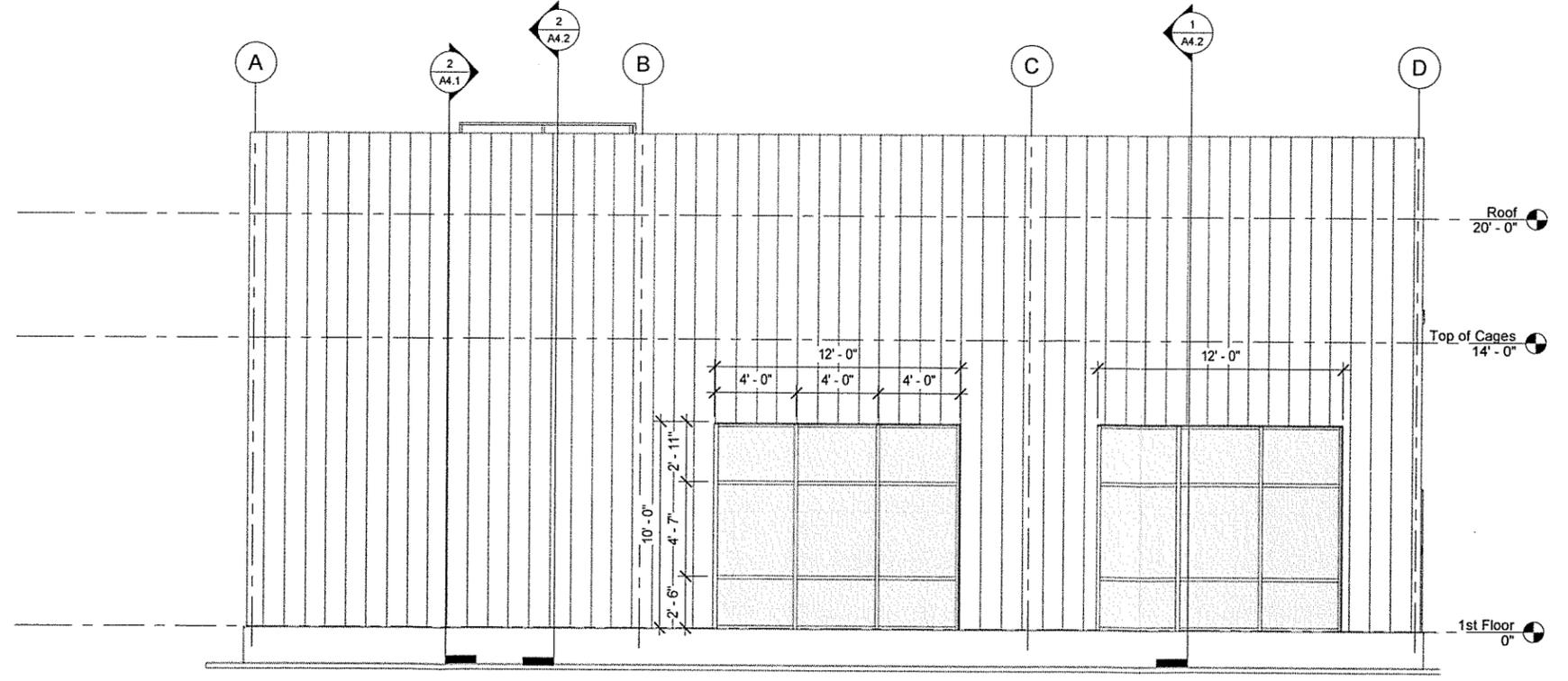
sheet number  
**A3.1**

Plotted on: 10/4/2019 12:13:09 PM

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1 East Elevation  
 1/4" = 1'-0"



2 West Elevation  
 1/4" = 1'-0"

10/4/2019  
 12:13:13 PM

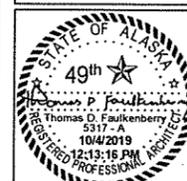
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Permit #: n/a

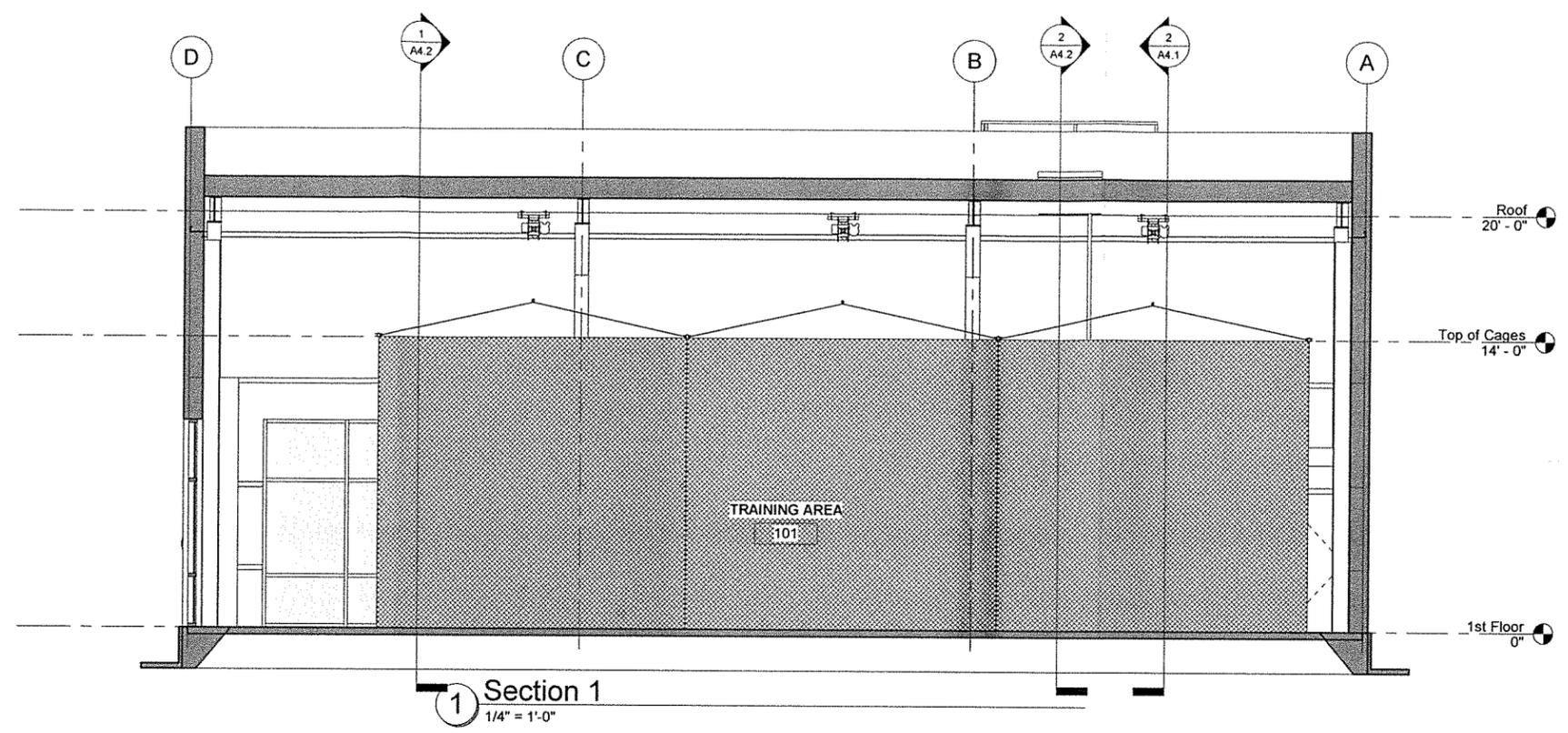
**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

sheet name  
 Exterior Elevations

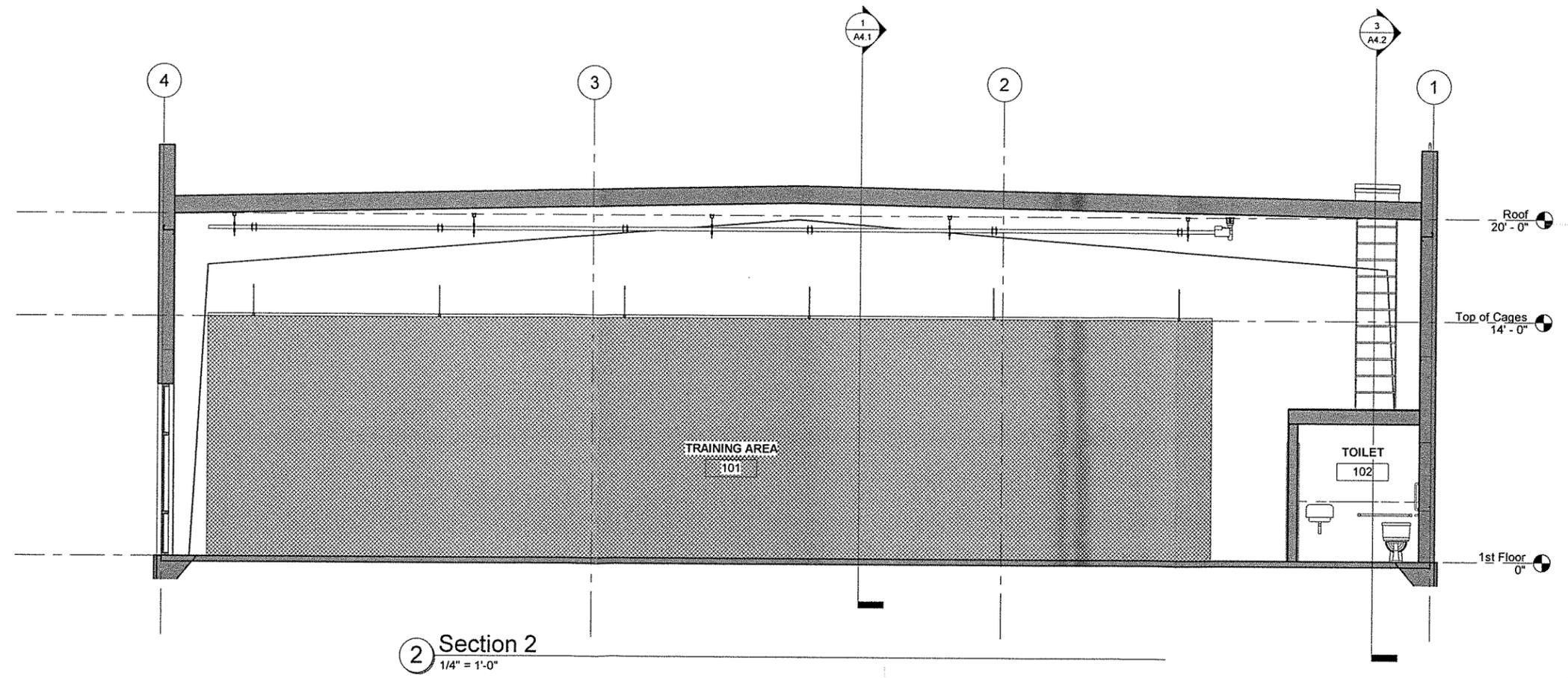
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1 Section 1  
 1/4" = 1'-0"



2 Section 2  
 1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

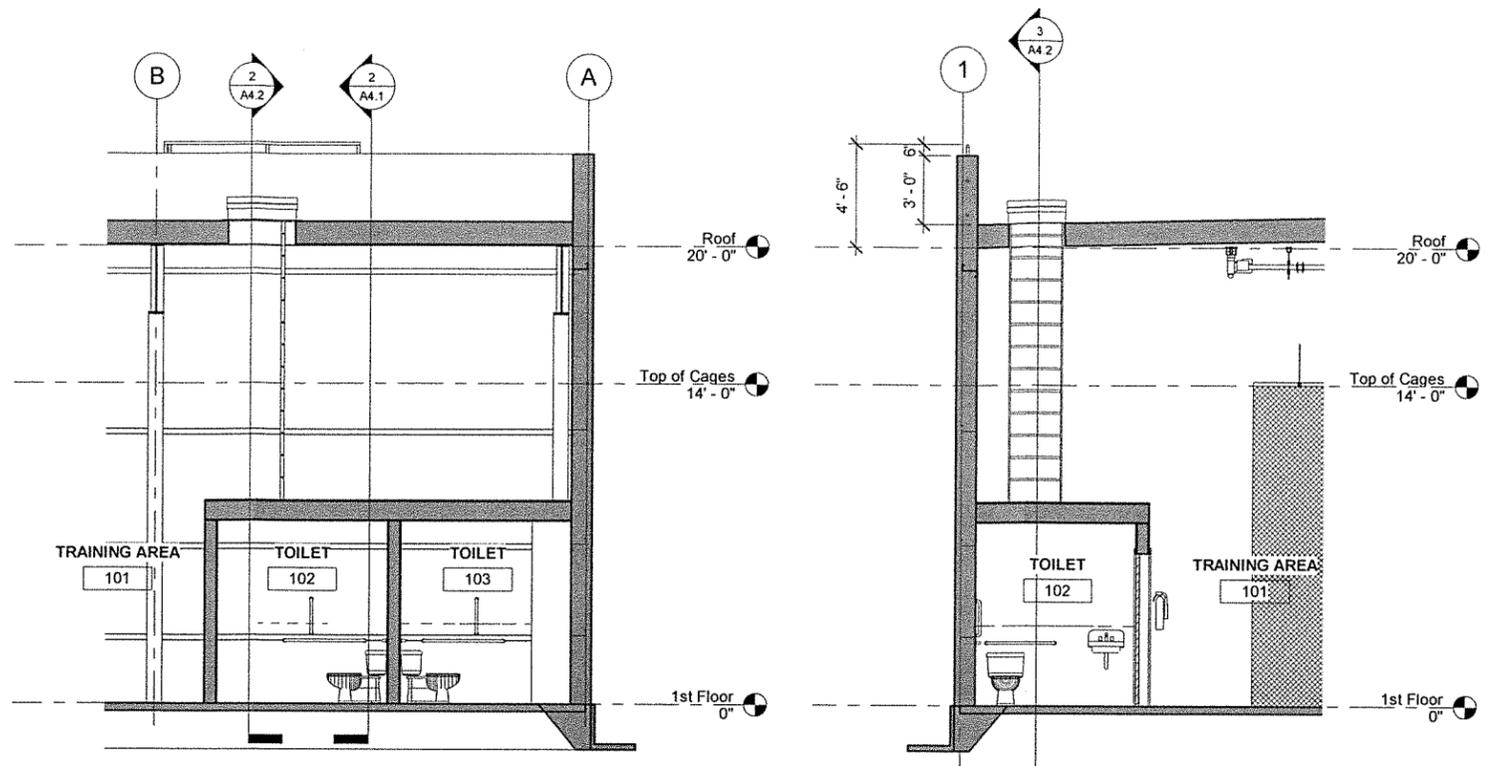
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**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

Building Sections

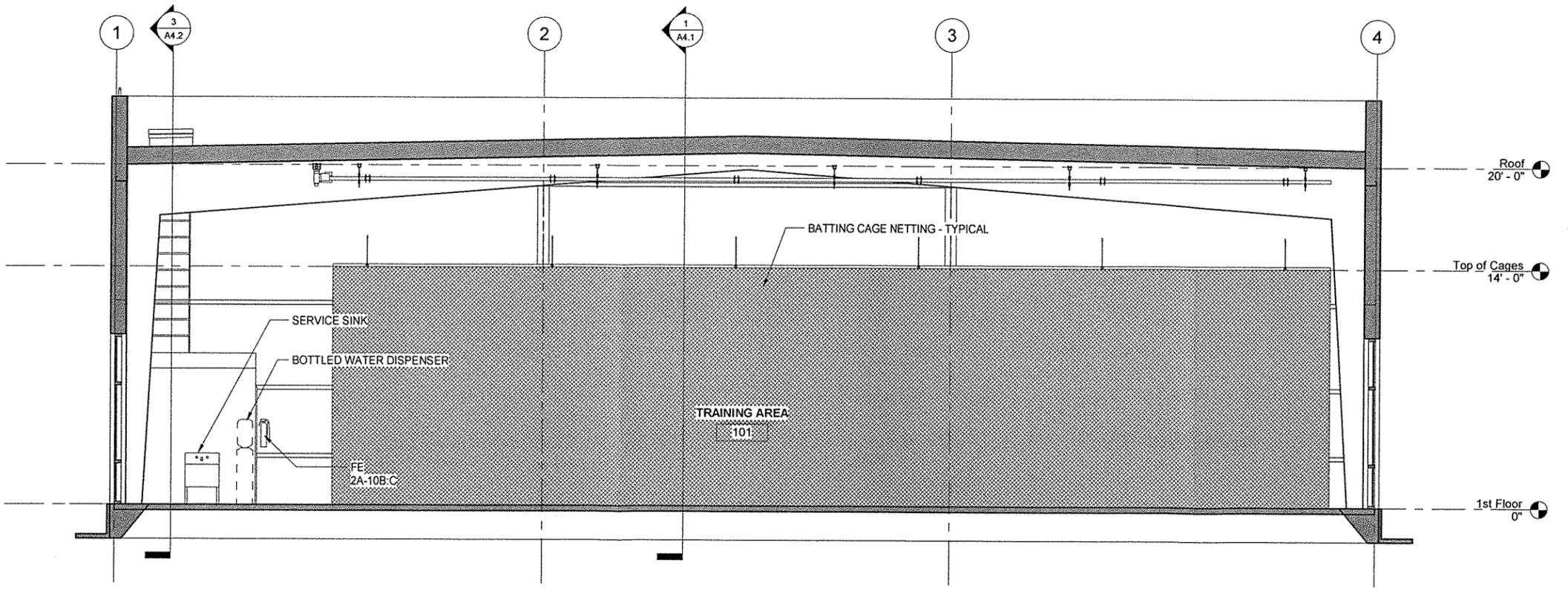
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**A4.1**



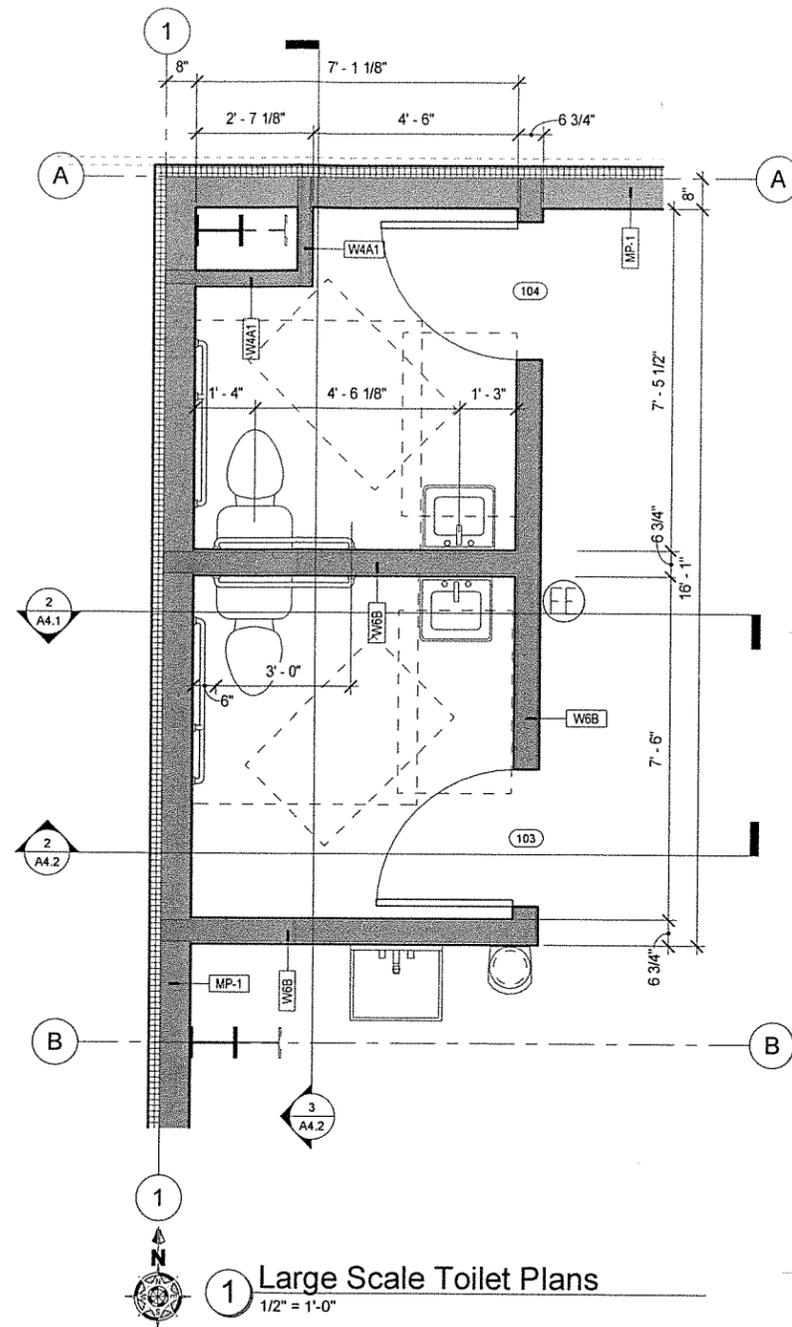
3 Section 5  
 1/4" = 1'-0"

2 Section 4  
 1/4" = 1'-0"



1 Section 3  
 1/4" = 1'-0"

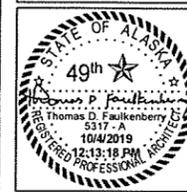
DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



1 Large Scale Toilet Plans  
1/2" = 1'-0"

FNA Project #: 2019\_69  
Project Start Date: 09-17-19  
Release Date: 10-03-19  
Released for: Preliminary Set 3

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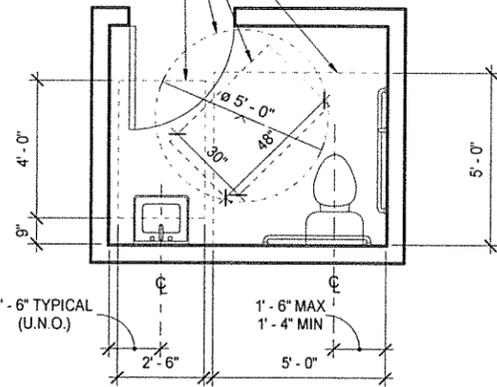
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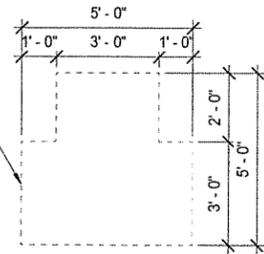
Enlarged Plans  
A5.1

DASHED LINES INDICATE CLEAR FLOOR SPACE REQUIRED FOR FIXTURES - TYPICAL - PER ANSI A117.1 CLEAR FLOOR SPACES, CLEARANCES AT FIXTURES AND TURNING SPACES SHALL BE PERMITTED TO OVERLAP

**CONTRACTOR NOTE:**  
THIS DIAGRAM IS FOR CLEARANCE ILLUSTRATION ONLY. SEE PROJECT FLOOR PLAN FOR ACTUAL TOILET LAYOUT.



T-SHAPED TURNING SPACE PER ANSI 117.1 SECT 304.3.2



T-SHAPED TURNING SPACE (OPTIONAL)

PER ANSI 117.1 SECT 304.3.2 T-SHAPED WHEELCHAIR TURNING SPACES SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECT ONLY AT THE END OF EITHER THE BASE OR ONE ARM

**TURNING SPACE NOTES:**

PER ANSI 117.1 SECT. 304.3.1 IT IS PERMITTED FOR THE TURNING SPACE TO BE A 60-INCH MIN DIAMETER CIRCLE OR PER ANSI 117.1 SECT. 304.3.2 A T-SHAPED SPACE (SEE DIAGRAM THIS PAGE)

PER ANSI 117.1. 304.4 UNLESS OTHERWISE NOTED, DOORS SHALL BE PERMITTED TO SWING INTO TURNING SPACES.

**CLEAR FLOOR SPACE NOTES:**

PER ANSI 117.1 SECT. 305.3 THE CLEAR FLOOR SPACE SHALL BE 48 INCHES (MIN.) IN LENGTH AND 30 INCHES (MIN) IN WIDTH.

PER ANSI 117.1 SECT. 305.5 UNLESS NOTED, THE CLEAR FLOOR SPACE SHALL BE POSITIONED FOR EITHER A FORWARD OR PARALLEL APPROACH TO AN ELEMENT.

ANSI NOTES: TOILET ROOM FIXTURE LAYOUT PER ICC/ANSI A117.1-2003 - REFER TO CHAPTER 6 IN GENERAL. FOR WATER CLOSETS (604.2-604.4) & GRAB BARS (604.5 & 609).

**GENERAL NOTES:**

- DIMENSIONS THIS PLAN ARE TO FACE OF FINISH.
- SEE DETAILS ON THIS SHEET FOR NOTES AND MOUNTING DIMENSIONS FOR GRAB BARS - TYPICAL
- SEE FLOOR PLAN FOR TOILET ROOM LAYOUT.

**FIXTURE NOTES:**

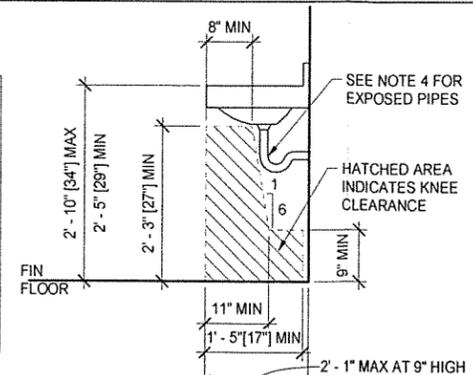
- TOP OF WC SEAT TO BE 17" MIN. TO 19" MAX. A.F.F.
- WATER CLOSETS SHALL BE MOUNTED 16" MIN. TO 18" MAX. FROM SIDE WALL PER ANSI 117.1 SECTION 604.2

**1 TYPICAL ACCESSIBLE TOILET ROOM PLAN CLEARANCES**

3/8" = 1'-0"

**TYPICAL TOILET ROOM SINK GENERAL NOTES:**

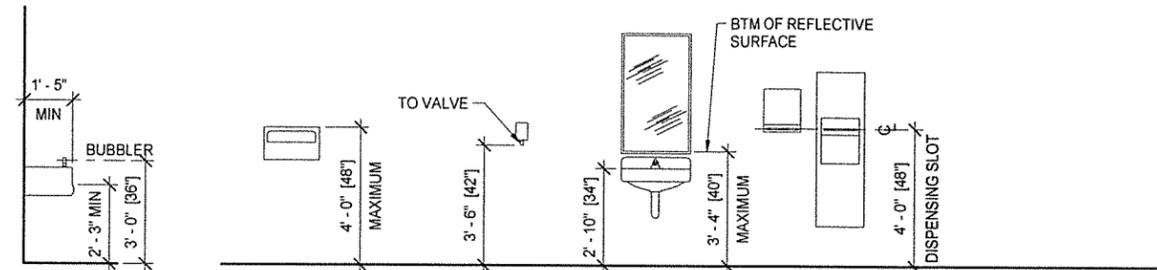
- FRONT OF LAVATORY SHALL BE 34" MAX AFF. MEASURED TO THE HIGHER OF THE FIXTURE RIM OR COUNTER SURFACE.
- SEE ELEVATION SKETCH IF KNEE CLEARANCE IS REQUIRED UNDER ELEMENT.
- SINK BOWL DEPTH SHALL BE 6 1/2" MAX DEPTH.
- EXPOSED WATER SUPPLY & DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS OR LAVATORIES.



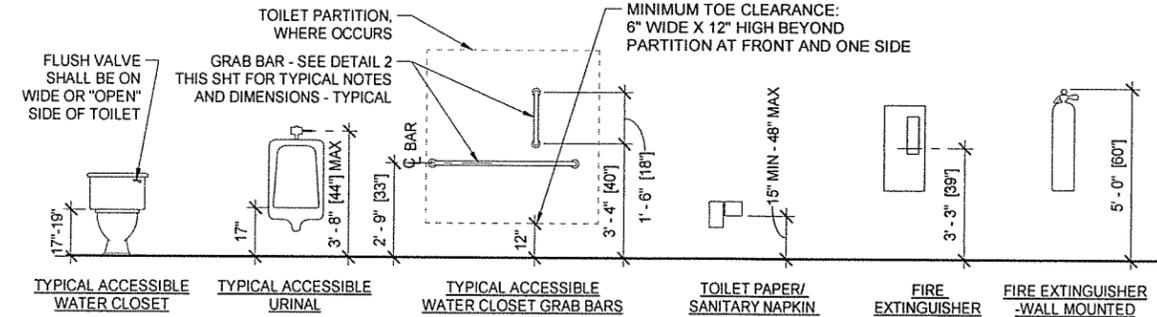
ELEVATION - TYPICAL KNEE CLEARANCE - IF PROVIDED

**4 TYPICAL ADA LAVATORY REQUIREMENTS**

3/8" = 1'-0"



SECTION AT TYPICAL ACCESSIBLE DRINKING FOUNTAIN: NON-RECESSED  
TOILET SEAT COVER DISPENSER  
SOAP DISPENSER  
TYPICAL ACCESSIBLE LAVATORY: WALL-MOUNTED  
PAPER TOWEL DISPENSER/WASTE RECEPTACLE

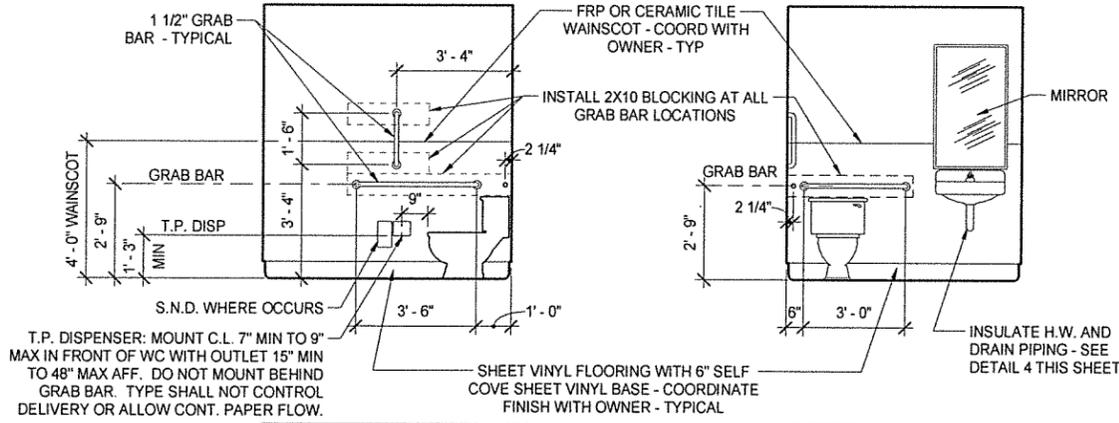


- NOTES:**
- ALL FIXTURES AND ACCESSORIES SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
  - SOAP DISPENSERS, PAPER TOWEL DISPENSERS & WASTE RECEPTACLES TO BE PROVIDED BY OWNER OR LESSORS.

NOTE: THESE MOUNTING HEIGHTS ARE SHOWN FOR REFERENCE - SOME FIXTURES MAY NOT BE PROVIDED - SEE PLAN TO DETERMINE WHAT IS TO BE PROVIDED

**5 TYPICAL MOUNTING HEIGHTS**

3/8" = 1'-0"



NOTE: MOUNTING HEIGHTS SHOWN FOR REFERENCE ONLY - REFER TO FLOOR PLAN LAYOUT FOR ACTUAL TOILET ROOM PLAN LAYOUT & FIXTURE LOCATIONS

**2 TYPICAL TOILET ROOM MOUNTING REQUIREMENTS**

3/8" = 1'-0"

NOTE:  
X = 36" IF Y = 60"  
X = 42" IF Y = 54"

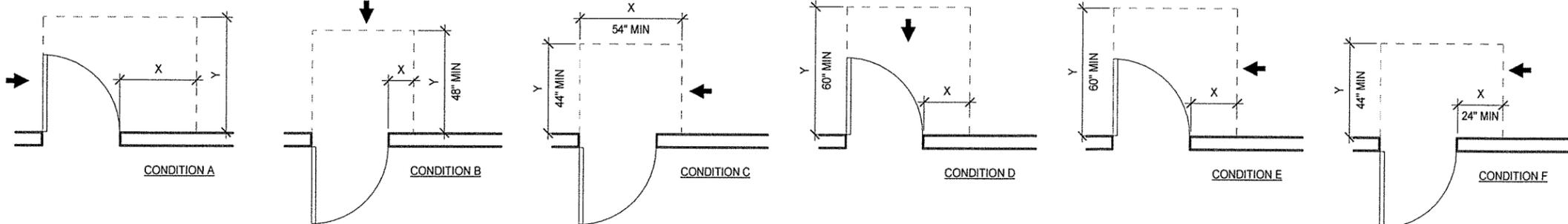
NOTE:  
X = 12" IF DOOR HAS BOTH A CLOSER AND LATCH

NOTE:  
Y = 48" MIN. IF DOOR HAS A CLOSER

NOTE:  
X = 18" MINIMUM  
X = 24" PREFERRED

NOTE:  
X = 24" MINIMUM

NOTE:  
Y = 48" MINIMUM IF DOOR HAS CLOSER



NOTE: ARROW INDICATES APPROACH DIRECTION

**3 ADA DOOR CLEARANCE DIAGRAMS**

NOT TO SCALE

**MEASUREMENT TOLERANCES**

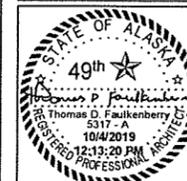
**AMC 23.15.1102 DEFINITIONS.**

REVISE SECTION 1102.1 BY ADDING THE FOLLOWING DEFINITION:

**CONVENTIONAL INDUSTRY TOLERANCES.**  
IN REFERENCE TO ICC A117.1-2009, SECTION 104.2 DIMENSIONS, CONVENTION INDUSTRY TOLERANCES SHALL BE 1 PERCENT OR ONE-HALF INCH, WHICH EVER RESULTS IN THE LESSER TOLERANCE.

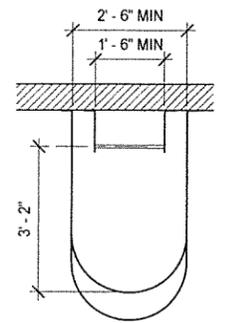
DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FNA Project #: 2019\_69  
Project Start Date: 09-17-19  
Release Date: 10-03-19  
Released for: Preliminary Set 3

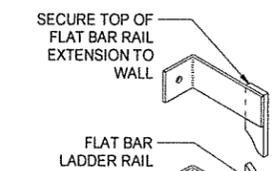
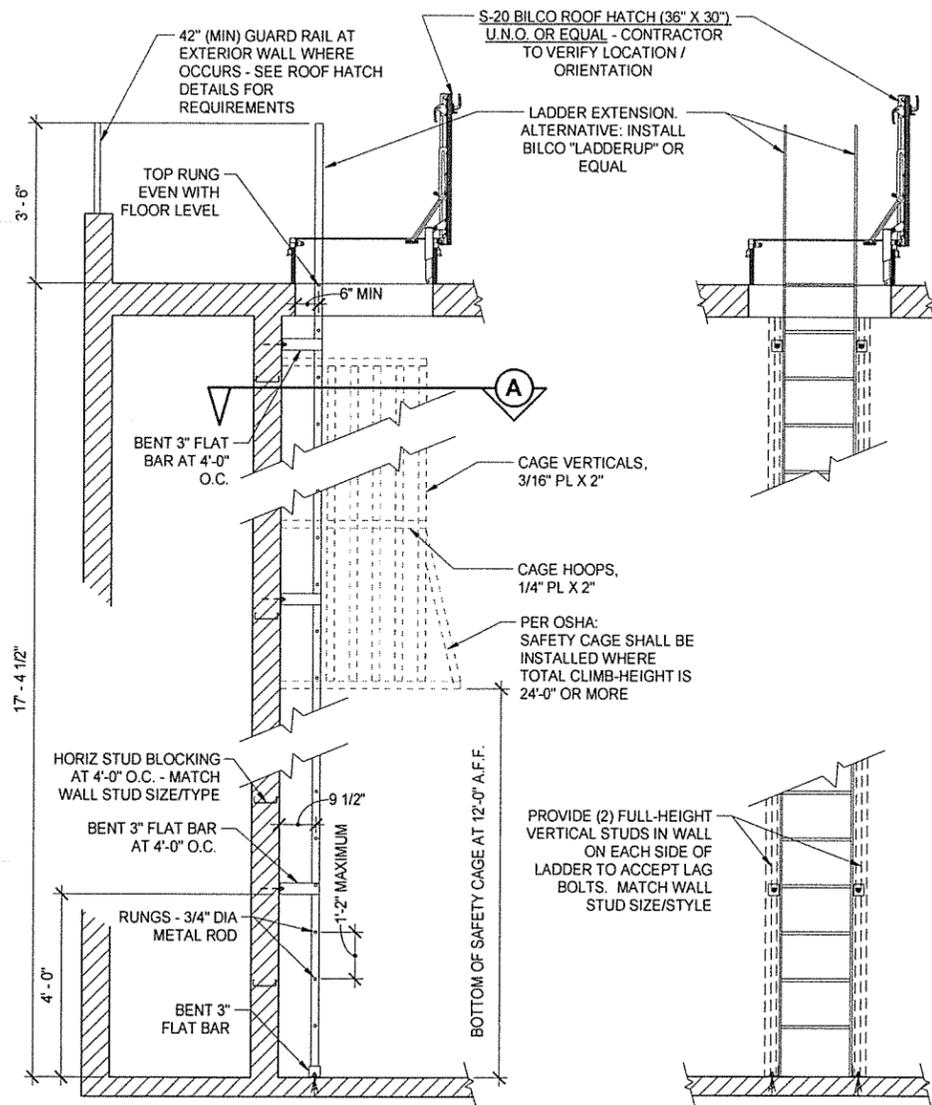


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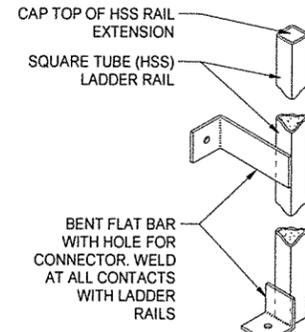
Permit #: n/a  
Plotted on: 10/04/2019 12:13:20 PM  
sheet name: Toile Room Mounting Heights  
sheet number: A6.3  
Gamers Indoor Training Facility  
Lot 8A Block 1 Fairview Subdivision  
Anchorage, AK 99508



**(A) SECTION**



**RAIL OPTION - FLAT BAR**

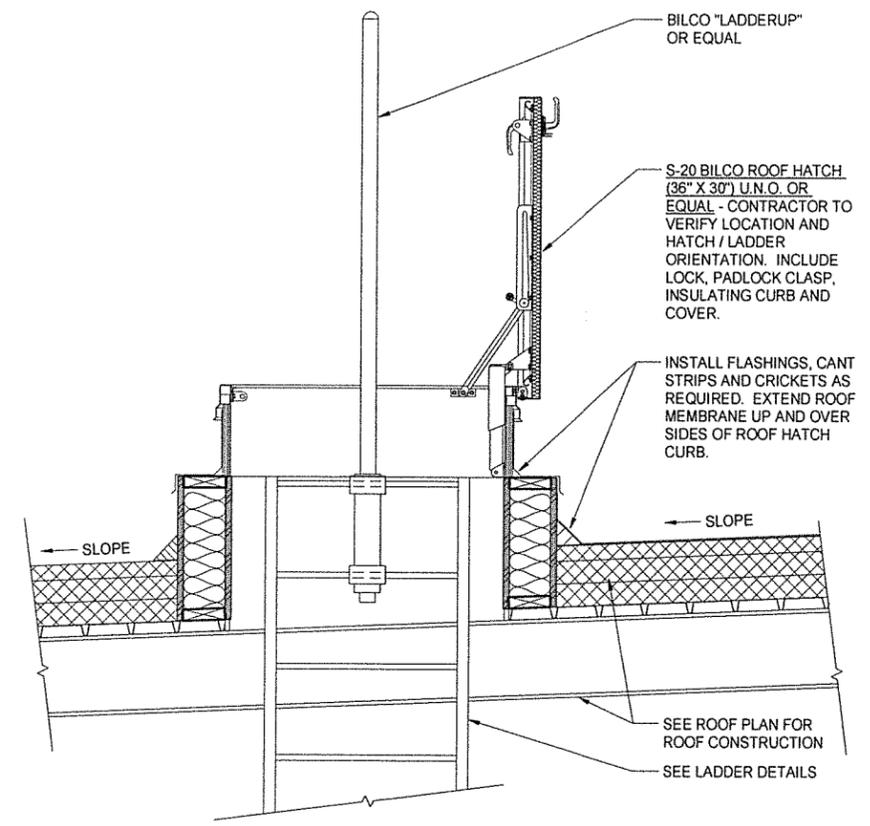


**RAIL OPTION - HSS**

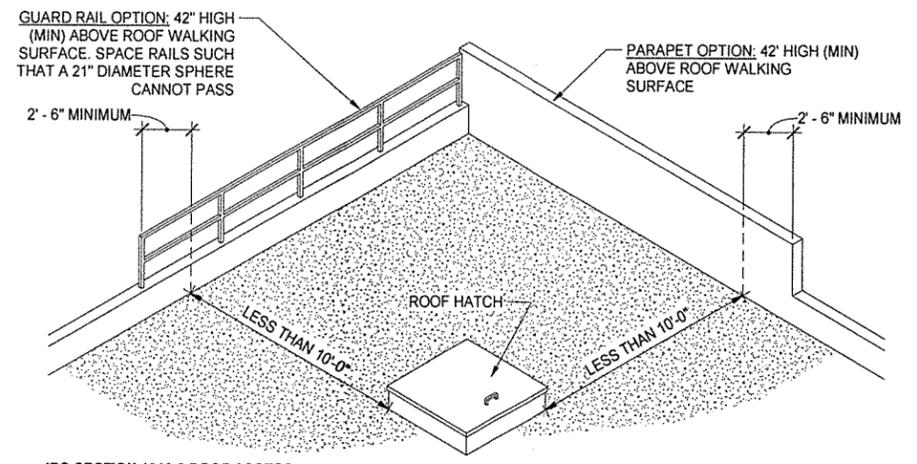
**NOTES:**  
 1. SECURE LADDER TO EXISTING STRUCTURE WITH HILTI QWIKBOLT, HILTI EPOXY SYSTEM OR OTHER SIMILAR FASTENING SYSTEM OR AS DIRECTED BY STRUCTURAL ENGINEER.  
 2. LADDER RAILS: FLAT BAR RAILS MAY BE USED ONLY IF LADDER IS LOCATED SUCH THAT THE TOP OF THE LADDER RAIL EXTENSIONS CAN BE SECURED TO THE WALL - OTHERWISE SQUARE TUBE (HSS) SHALL BE USED.

PER IBC 23.20.306.5 PART B OF THE AMENDMENTS TO THE INTERNATIONAL MECHANICAL CODE 2003 EDITION:  
 1. LADDERS SHALL HAVE RUNG SPACING NOT TO EXCEED 14" O.C.  
 2. LADDERS SHALL HAVE A TOE SPACING NOT LESS THAN 6" DEEP.  
 3. THERE SHALL BE A MINIMUM OF 18" BETWEEN RAILS.  
 4. RUNGS SHALL HAVE A MINIMUM OF 3/4" DIA AND BE CAPABLE OF WITHSTANDING A 300 POUND LOAD.

**(1) Roof Ladder Detail**  
 1/2" = 1'-0"



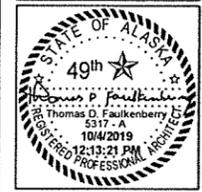
**(2) Roof Hatch Section**  
 1" = 1'-0"



**IBC SECTION 1013.6 ROOF ACCESS**  
 GUARDS SHALL BE PROVIDED WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET (3048 MM) OF A ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE AND SUCH EDGE OR OPEN SIDE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR, ROOF OR GRADE BELOW. THE GUARD SHALL BE CONSTRUCTED AS TO PREVENT THE PASSAGE OF A 21" DIAMETER (533 MM) SPHERE.

**(3) Roof Hatch Guard Rail**  
 1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



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**Gamers Indoor Training Facility**  
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 Anchorage, AK 99508

**GENERAL NOTES - GYPSUM ASSOCIATION - WALL CONSTRUCTION**

WALL CONSTRUCTION GENERAL NOTES:

- UNLESS OTHERWISE SPECIFIED, THE FACE LAYERS OF ALL SYSTEMS, EXCEPT THOSE WITH PREDECORATED OR METAL COVERED SURFACES, SHALL HAVE JOINTS TAPED AND FASTENER HEADS TREATED. BASE LAYERS IN MULTI-LAYER SYSTEMS SHALL NOT BE REQUIRED TO HAVE JOINTS OR FASTENERS TAPED OR COVERED WITH JOINT COMPOUND.
- METALLIC OUTLET BOXES SHALL BE PERMITTED TO BE INSTALLED IN WOOD AND STEEL STUD WALLS OR PARTITIONS HAVING GYP BD FACINGS AND CLASSIFIED AS TWO HOURS OR LESS. THE SURFACE AREA OF INDIVIDUAL BOXES SHALL NOT EXCEED 16 SQ. INCHES. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQ. INCHES IN ANY 100 SQ. FT. BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES AND SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES. APPROVED NONMETALLIC OUTLET BOXES SHALL BE PERMITTED AS ALLOWED BY LOCAL CODE.
- WATER-RESISTANT GYP BACKING BD SHALL BE INSTALLED OVER OR AS PART OF THE FIRE-RESISTANCE RATED SYSTEM IN SHOWER AND TUB AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. WHEN FIRE OR SOUND RATINGS ARE NECESSARY, THE GYP BD REQUIRED FOR THE RATING SHALL EXTEND DOWN TO THE FLOOR BEHIND FIXTURES SO THAT THE CONSTRUCTION IS EQUAL THAT OF THE TESTED SYSTEM.
- WHEN NOT SPECIFIED AS A COMPONENT OF A FIRE TESTED WALL OR PARTITION SYSTEM, MINERAL FIBER, GLASS FIBER OR CELLULOSE FIBER INSULATION OF A THICKNESS NOT EXCEEDING THAT OF THE STUD DEPTH SHALL BE PERMITTED TO BE ADDED WITHIN THE STUD CAVITY.
- IN EACH SYSTEM CONTAINING BATT OR BLANKET INSULATION THE INSULATION IS SPECIFIED TO BE EITHER MINERAL OR GLASS FIBER AND, FOR FIRE RESISTANCE, THE SYSTEM SHALL BE BUILT USING THE TYPE SPECIFIED.
- METAL STUDS AND RUNNERS ARE NOMINAL 25 GAGE UNLESS OTHERWISE SPECIFIED.
- GREATER STUD SIZES THAN THOSE INDICATED SHALL BE PERMITTED TO BE USED IN THE WALL SYSTEMS.
- METAL STUDS OF HEAVIER GAGE THAN THOSE INDICATED SHALL BE PERMITTED IN THE WALL SYSTEMS.
- THE ASSIGNED FIRE-RATING OF ANY LOAD-BEARING WALL SYSTEM SHALL ALSO APPLY TO THAT SAME SYSTEM WHEN USED AS A NON-LOAD BEARING SYSTEM.
- INDICATED JOIST, TRUSS OR STUD SPACINGS ARE MAXIMUMS.
- SPECIFIED FLOOR-CEILING AND ROOF-CEILING FRAMING SIZES AND TRUSS DIMENSIONS ARE MINIMUMS. GREATER JOIST OR TRUSS SIZES (DEPTHS) SHALL BE PERMITTED TO BE USED IN METAL OR WOOD-FRAMED SYSTEMS.
- SYSTEMS TESTED WITH METAL FURRING CHANNELS ATTACHED DIRECTLY TO THE BOTTOM CHORDS OF STEEL BEAMS, BAR JOISTS, OR WOOD TRUSSES OR FRAMING SHALL BE PERMITTED TO BE SUSPENDED. GENERALLY, FURRING CHANNELS ARE ATTACHED TO 1 1/2 INCH COLD ROLLED CARRYING CHANNELS 48 INCHES O.C. SUSPENDED FROM JOISTS BY 8 GA. WIRE HANGERS SPACED NOT GREATER THAN 48 INCHES O.C.
- WHERE LAMINATING COMPOUND IS SPECIFIED, TAPING, ALL-PURPOSE, AND SETTING TYPE JOINT COMPOUNDS SHALL BE PERMITTED.
- ADDITIONAL LAYERS OF TYPE 'X' OR REGULAR GYPSUM BOARD SHALL BE PERMITTED TO BE ADDED TO ANY SYSTEM.
- WHEN NOT SPECIFIED AS A COMPONENT OF A FIRE-RESISTANCE RATED WALL OR PARTITION SYSTEM, WOOD STRUCTURAL PANELS SHALL BE PERMITTED TO BE ADDED TO ONE OR BOTH SIDES. SUCH PANELS SHALL BE PERMITTED TO BE APPLIED EITHER AS A BASE LAYER DIRECTLY TO THE FRAMING (UNDER THE GYP BD), AS A FACE LAYER (OVER THE FACE LAYER OF GYP BD) OR BETWEEN LAYERS OF GYP BD IN MULTI-LAYER SYSTEMS. WHEN SUCH PANELS ARE ADDED, THE FASTENERS FOR THE GYP BD SHALL BE ADJUSTED ACCORDINGLY TO ACCOMMODATE, AS A MINIMUM, THE ADDITIONAL DEPTH OF THE STRUCTURAL PANEL. FASTENER SPACING FOR THE GYP BD SHALL BE AS SPECIFIED IN THE SYSTEM DESCRIPTION.

**1 Wall Types - General Notes**

1 1/2" = 1'-0"

**GENERAL NOTES - GYPSUM ASSOCIATION - FIRE RESISTANCE**

FIRE-RATED WALL CONSTRUCTION GENERAL NOTES:

- METALLIC OUTLET BOXES SHALL BE ALLOWED TO BE INSTALLED IN WOOD OR STEEL PARTITION WALLS HAVING GYP BD FACINGS ONLY WHERE CLASSIFIED AS 2-HR FIRE - RATED CONSTRUCTION OR LESS.
- THE SURFACE AREA OF INDIVIDUAL OUTLET BOXES SHALL NOT EXCEED 16 SQUARE INCHES.
- AGGREGATE SURFACE AREA OF OUTLET BOXES SHALL NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET.
- OUTLET BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES AND SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES.
- NON-METALLIC OUTLET BOXES SHALL BE PERMITTED AS ALLOWED BY LOCAL CODE.
- WATER-RESISTANT GYP BD SHALL BE INSTALLED OVER OR AS PART OF THE FIRE-RESISTANCE RATED SYSTEM IN SHOWER AND TUB AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS.
- WHEN FIRE OR SOUND RATINGS ARE NECESSARY, THE GYP BD REQUIRED FOR THE RATING SHALL EXTEND DOWN TO THE FLOOR BEHIND FIXTURES SO THAT THE CONSTRUCTION WILL EQUAL THAT OF THE TESTED SYSTEM.
- WHEN NOT SPECIFIED AS A COMPONENT OF A FIRE TESTED WALL OR PARTITION SYSTEM, MINERAL FIBER, GLASS FIBER, OR CELLULOSE FIBER INSULATION OF A THICKNESS NOT EXCEEDING THAT OF THE STUD DEPTH SHALL BE PERMITTED TO BE ADDED WITHIN A STUD CAVITY.
- SCREWS MEETING ASTM C 1002 SHALL BE PERMITTED TO BE SUBSTITUTED FOR THE PRESCRIBED NAILS, ONE FOR ONE, WHEN THE LENGTH AND HEAD DIAMETER OF THE SCREWS EQUAL OR EXCEEDS THOSE OF THE NAILS SPECIFIED IN THE TESTED SYSTEM AND THE SCREW SPACING DOES NOT EXCEED THE SPACING SPECIFIED FOR THE NAILS IN THE TESTED SYSTEM.
- VERTICALLY APPLIED GYP BD SHALL HAVE EDGES PARALLEL TO FRAMING MEMBERS.
- HORIZONTALLY APPLIED GYP BD SHALL HAVE THE EDGES AT RIGHT ANGLES TO THE FRAMING MEMBERS. INTERMEDIATE VERTICAL MEMBERS ARE THOSE BETWEEN THE VERTICAL EDGES OR ENDS OF THE BOARD.
- UNLESS OTHERWISE SPECIFIED, THE FACE LAYERS OF ALL SYSTEMS, EXCEPT THOSE WITH PRE-DECORATED OR METAL COVERED SURFACES, SHALL HAVE JOINTS TAPED (MIN. LEVEL 1 PER GA-214) AND FASTENER HEADS TREATED.
- BASE LAYERS IN MULTI-LAYER SYSTEMS SHALL NOT BE REQUIRED TO HAVE JOINTS OR FASTENERS TAPED OR COVERED WITH JOINT COMPOUND.
- METALLIC OUTLET BOXES SHALL BE PERMITTED TO BE INSTALLED IN WOOD AND STEEL STUD WALLS OR PARTITIONS HAVING GYP BD FACINGS AND CLASSIFIED AS TWO HOURS OR LESS.
- THE SURFACE AREA OF INDIVIDUAL BOXES SHALL NOT EXCEED 16 SQ. INCHES. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQ. INCHES IN ANY 100 SQ. FT.
- BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE IN SEPARATE STUD CAVITIES AND SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES.
- APPROVED NONMETALLIC OUTLET BOXES SHALL BE PERMITTED AS ALLOWED BY LOCAL CODE.
- WATER-RESISTANT GYP BACKING BD SHALL BE INSTALLED OVER OR AS PART OF THE FIRE-RESISTANCE RATED SYSTEM IN SHOWER AND TUB AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. WHEN FIRE OR SOUND RATINGS ARE NECESSARY, THE GYP BD REQUIRED FOR THE RATING SHALL EXTEND DOWN TO THE FLOOR BEHIND FIXTURES SO THAT THE CONSTRUCTION IS EQUAL THAT OF THE TESTED SYSTEM.
- IN EACH SYSTEM CONTAINING BATT OR BLANKET INSULATION, THE INSULATION IS SPECIFIED TO BE EITHER MINERAL OR GLASS FIBER AND, FOR FIRE RESISTANCE, THE SYSTEM SHALL BE BUILT USING THE TYPE SPECIFIED.

**GENERAL NOTES - IBC - FIRE RESISTANCE ASSEMBLIES**

IBC - FIRE RESISTANCE ASSEMBLIES

- PER IBC 711.3.3; IN 1-HOUR FIRE-RESISTANCE-RATED FLOOR CONSTRUCTION, THE CEILING MEMBRANE IS NOT REQUIRED TO BE INSTALLED OVER UNUSABLE CRAWL SPACES.  
  
IN 1-HOUR FIRE-RESISTANCE-RATED ROOF CONSTRUCTION, THE FLOOR MEMBRANE IS NOT REQUIRED TO BE INSTALLED WHERE UNUSABLE ATTIC SPACE OCCURS ABOVE.
- PER MOA AMMEND. 23.15.717.4.2, EX. 3; THE ATTIC SPACE MAY BE SUBDIVIDED BY DRAFTSTOPS INTO AREAS NOT EXCEEDING 3,000 SF, OR ABOVE EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER. WHEN DRAFTSTOPPING IS INSTALLED TO SEPARATE EVERY TWO DWELLING UNITS AND EACH OF THESE UNITS IS SEPARATED BY A CORRIDOR, DRAFTSTOPPING IS NOT REQUIRED AT THE CORRIDOR WALL. WHERE REQUIRED, ALL SUBDIVIDED AREAS SHALL BE VENTILATED IN ACCORDANCE WITH IBC 1203.2.  
  
PER IBC SECTION 717.3.1 "DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 0.5" (1/2") GYPSUM BOARD, 0.375" (3/8") STRUCTURAL PANEL (PLYWOOD OR OSB), 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER, OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPS SHALL BE MAINTAINED." THE DRAFTSTOPPING MATERIAL IS REQUIRED ON ONE SIDE ONLY.
- SEPARATIONS BETWEEN PARKING GARAGE (S-2) & R-2 APARTMENTS:  
2 HOUR (PER IBC TABLE 508.3.3) OR 1 HOUR WITH SPRINKLER SYSTEM PER IBC TABLE 508.3.3, FOOTNOTE 'C' (AREAS USED ONLY FOR PRIVATE OR PLEASURE VEHICLES SHALL BE ALLOWED TO REDUCE SEPARATION BY 1 HOUR)
- PER IBC 704.5 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE GREATER THAN 5 FT ARE REQUIRED TO RATED FOR EXPOSURE TO FIRE FROM THE INSIDE ONLY.

**GENERAL NOTES - GYPSUM ASSOCIATION - SOUND CONTROL**

SOUND CONTROL GENERAL NOTES:

- IN STC RATED SYSTEMS, SYSTEMS SHALL BE AIRTIGHT. SEAL OFF AIR LEAKS OR FLANKING PATH. FAILURE TO DO SO CAN REDUCE THE EFFECTIVENESS OF THE SYSTEM.
- RECESSED WALL FIXTURES, SUCH AS MEDICINE CABINETS OR ELECTRICAL, TELEPHONE, TELEVISION, OR INTERCOM OUTLETS, THAT PENETRATE THE GYP BD SHALL NOT BE LOCATED BACK-TO-BACK OR IN THE SAME STUD CAVITY.
- ANY OPENING FOR FIXTURES OR PIPES SHALL BE CUT TO THE PROPER SIZE AND SEALED.
- THE ENTIRE PERIMETER OF A SOUND INSULATING SYSTEM SHALL BE MADE AIRTIGHT TO PREVENT SOUND FLANKING.
- FLEXIBLE SEALANT OR AN ACOUSTICAL GASKET SHALL BE USED TO SEAL BETWEEN THE STC RATED SYSTEM AND ALL DISSIMILAR SURFACES AND ALSO BETWEEN THE SYSTEM AND SIMILAR SURFACES WHERE PERIMETER RELIEF IS REQUIRED. TAPING GYP BD WALL AND WALL-CEILING INTERSECTIONS PROVIDES AN ADEQUATE AIR SEAL AT THESE LOCATIONS.

FNA Project #:  
2019\_69

Project Start Date:  
09-17-19

Release Date: 10-03-19

Released for:  
Preliminary Set 3

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Permit # n/a

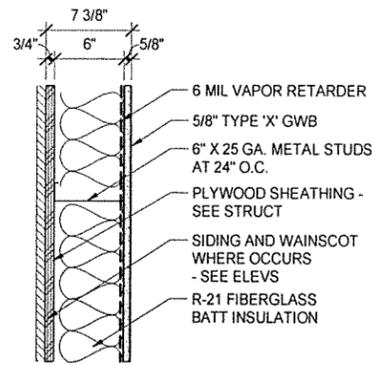
**Gamers Indoor Training Facility**  
Lot 6A Block 1  
Fairview Subdivision  
Anchorage, AK 99508

sheet name  
**Wall Type Notes**

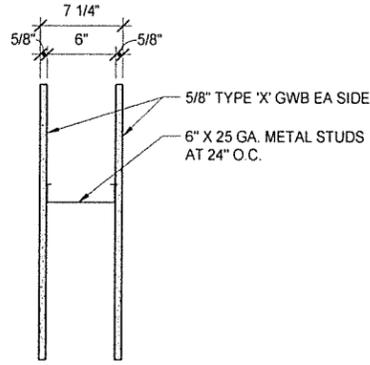
sheet number

**A6.6**

**METAL STUD WALLS**



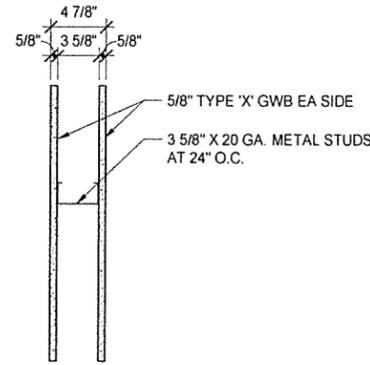
**S6A** EXTERIOR WALL  
- LOADBEARING NON-FIRE RATED  
- STC (N/A)  
- SIM. TO GA NO. (N/A)



**S6B** INTERIOR WALL  
- NON-LOADBEARING NON-FIRE RATED  
- STC 45-49  
- SIM. TO GA NO. WP 1072

**S6B1** SIM TO TYPE "S6B"  
• GYP BD ONE SIDE ONLY

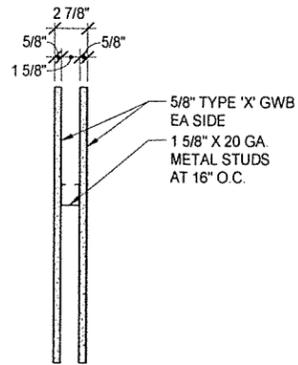
**S6BS** SIM TO TYPE "S6B"  
• ADD SOUND BATT INSULATION



**S4A** INTERIOR WALL  
- NON-LOADBEARING NON-FIRE RATED  
- STC 40-44  
- SIM. TO GA NO. WP 1206

**S4A1** SIM TO TYPE "S4A"  
• GYP BD ONE SIDE ONLY

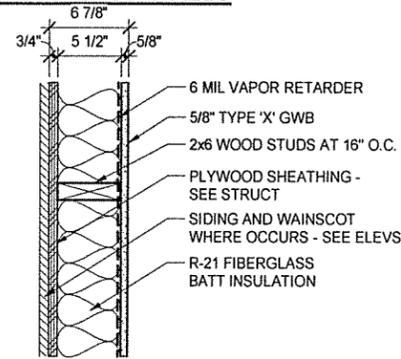
**S4AS** SIM TO TYPE "S4A"  
• ADD SOUND BATT INSULATION



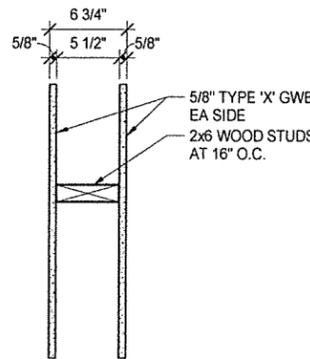
**S2A** INTERIOR WALL  
- NON-LOADBEARING NON-FIRE RATED  
- STC 40-44  
- SIM. TO GA NO. WP 1206

**S2A1** SIM TO TYPE "S2A"  
• GYP BD ONE SIDE ONLY

**WOOD STUD WALLS**



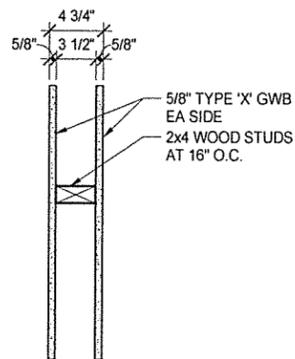
**W6A** EXTERIOR WALL  
- LOADBEARING NON-FIRE RATED  
- STC (N/A)  
- SIM. TO GA NO. (N/A)



**W6B** INTERIOR WALL  
- NON-LOADBEARING NON-FIRE RATED  
- STC N/A  
- SIM. TO GA NO. N/A

**W6B1** SIMILAR TO TYPE "W6B"  
• GYP BOARD ON ONE SIDE ONLY

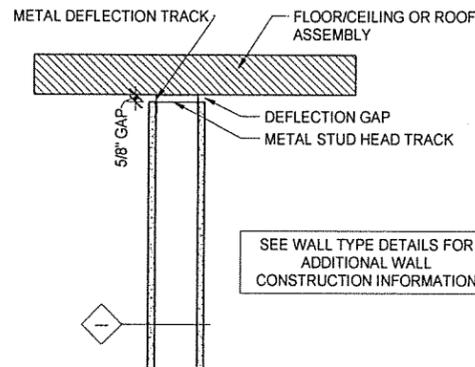
**W6BS** SIMILAR TO TYPE "W6B"  
• ADD SOUND BATT INSULATION



**W4A** INTERIOR WALL  
- NON-LOADBEARING NON-FIRE RATED  
- STC N/A  
- SIM. TO GA NO. N/A

**W4A1** SIMILAR TO TYPE "W4A"  
• GYP BOARD ON ONE SIDE ONLY

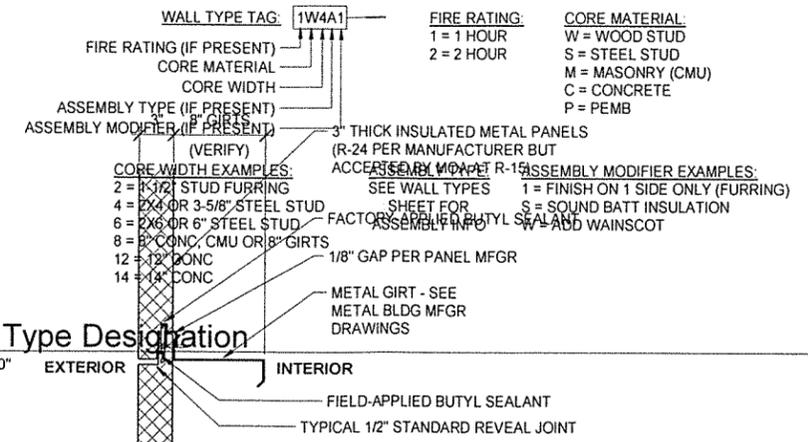
**W4AS** SIMILAR TO TYPE "W4A"  
• ADD SOUND BATT INSULATION



SEE WALL TYPE DETAILS FOR  
ADDITIONAL WALL  
CONSTRUCTION INFORMATION

INTERIOR WALL - NON-LOADBEARING SLIP-JOINT  
SIM. TO ICC ESR-1042 (SYSTEM 3)

**TYPICAL WALL TYPE DESIGNATION:**



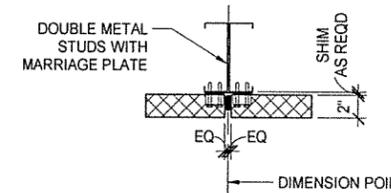
**Wall Type Designation**

1/4" = 1'-0"

**SECTION VIEW AT HORIZONTAL PANELS**

MP-1 EXTERIOR INSULATED METAL PANEL WALL

MP1-W SIMILAR TO TYPE "S" -  
• ADD 3/4" PLYWOOD WAINSCOT 8'-0" HIGH AT INTERIOR

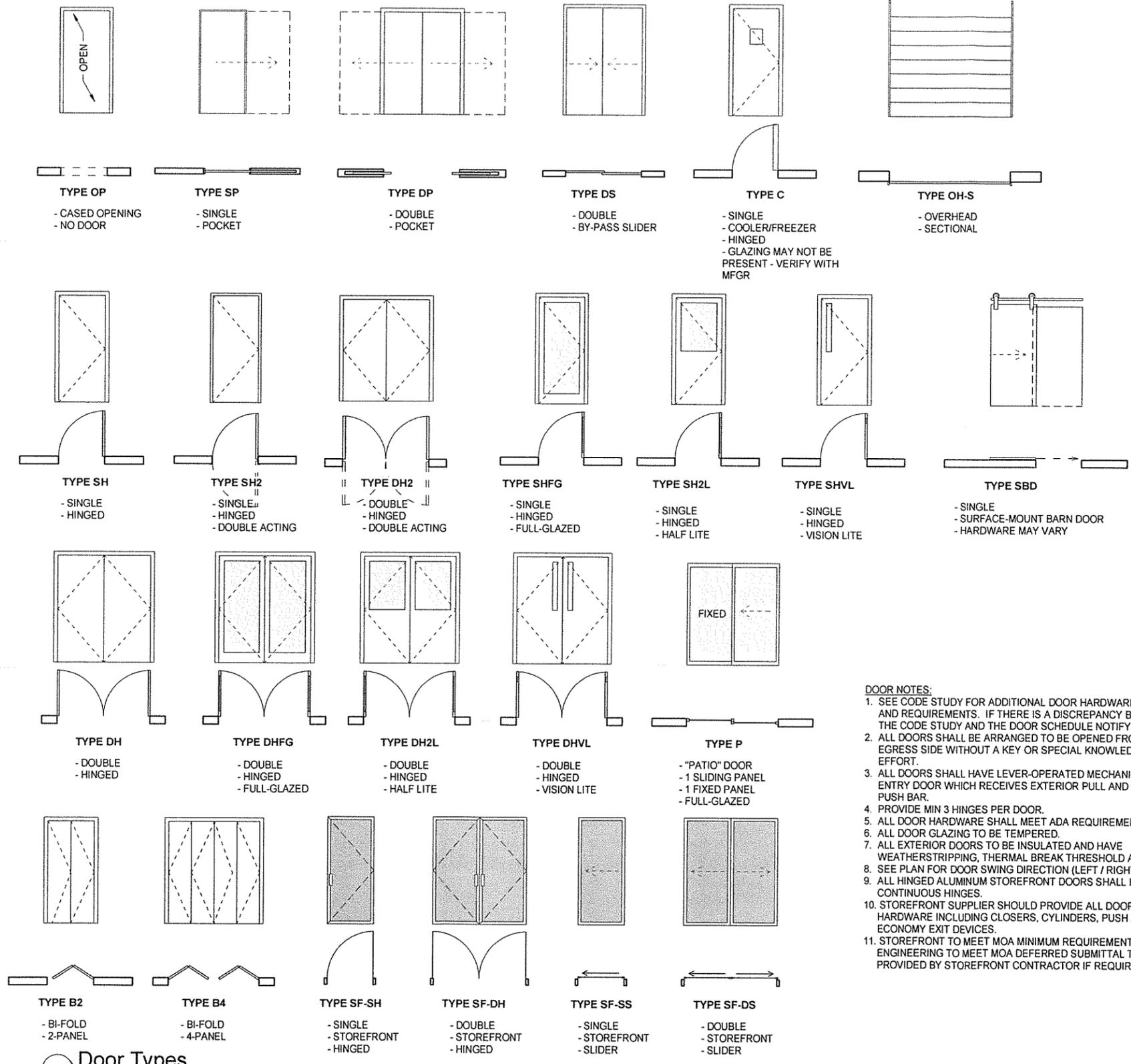


**PLAN VIEW AT PANEL JOINT**

**GENERAL WALL NOTES:**

- CONTRACTOR HAS OPTION TO USE WOOD OR METAL STUDS.
- ALL WALLS SHALL BE TAPED, SANDED AND READY FOR PAINT UNLESS NOTED OTHERWISE.
- FASTEN STUDS TOP AND BOTTOM TO RESIST 5 PSF LATERAL LOAD
- FOR METAL STUDS:
  - SECURE GYP BD WITH 1" TYPE 'S-12' DRYWALL SCREWS AT 12" O.C.
  - ATTACH STUDS TO TOP/BOTTOM PLATES WITH 1/2" TYPE 'S-12' PAN HEAD SCREWS
  - STAGGER GYP BD JOINTS ON OPPOSITE SIDES
- FOR WOOD STUDS:
  - SECURE GYP BD WITH 1" TYPE 'S' DRYWALL SCREWS:
    - 8" O.C. AT VERT. JOINTS
    - 12" O.C. AT TOP/BOTTOM PLATES AND INTERMEDIATE STUDS.
  - STAGGER GYP BD JOINTS 24" ON OPPOSITE SIDES
- USE MOISTURE-RESISTANT GYP BD AT ALL WET AREAS

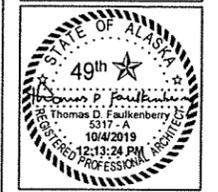
Door Schedule												
Mark	Room		Operation / Type	Size		Material		Glazing	Fire Rating	Sill Height	Comments	Mark
	From	To		Width	Height	Door	Frame					
1st Floor												
101		101		3'-0"	7'-0"							101
102		101		3'-0"	6'-8"					0"		102
103	102	101		3'-0"	6'-8"					0"		103
104	103	101		3'-0"	6'-8"					0"		104



- DOOR NOTES:**
- SEE CODE STUDY FOR ADDITIONAL DOOR HARDWARE NOTES AND REQUIREMENTS. IF THERE IS A DISCREPANCY BETWEEN THE CODE STUDY AND THE DOOR SCHEDULE NOTIFY ARCHITECT.
  - ALL DOORS SHALL BE ARRANGED TO BE OPENED FROM THE EGRESS SIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
  - ALL DOORS SHALL HAVE LEVER-OPERATED MECHANISMS UNLESS ENTRY DOOR WHICH RECEIVES EXTERIOR PULL AND INTERIOR PUSH BAR.
  - PROVIDE MIN 3 HINGES PER DOOR.
  - ALL DOOR HARDWARE SHALL MEET ADA REQUIREMENTS.
  - ALL DOOR GLAZING TO BE TEMPERED.
  - ALL EXTERIOR DOORS TO BE INSULATED AND HAVE WEATHERSTRIPPING, THERMAL BREAK THRESHOLD AND SWEEP.
  - SEE PLAN FOR DOOR SWING DIRECTION (LEFT / RIGHT)
  - ALL HINGED ALUMINUM STOREFRONT DOORS SHALL HAVE CONTINUOUS HINGES.
  - STOREFRONT SUPPLIER SHOULD PROVIDE ALL DOOR HARDWARE INCLUDING CLOSERS, CYLINDERS, PUSH / PULLS AND ECONOMY EXIT DEVICES.
  - STOREFRONT TO MEET MOA MINIMUM REQUIREMENTS. ENGINEERING TO MEET MOA DEFERRED SUBMITTAL TO BE PROVIDED BY STOREFRONT CONTRACTOR IF REQUIRED.

**Door Types**  
1/4" = 1'-0"

FNA Project #:  
**2019\_69**  
Project Start Date:  
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Preliminary Set 3



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Alaska Authorization #72899D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9183

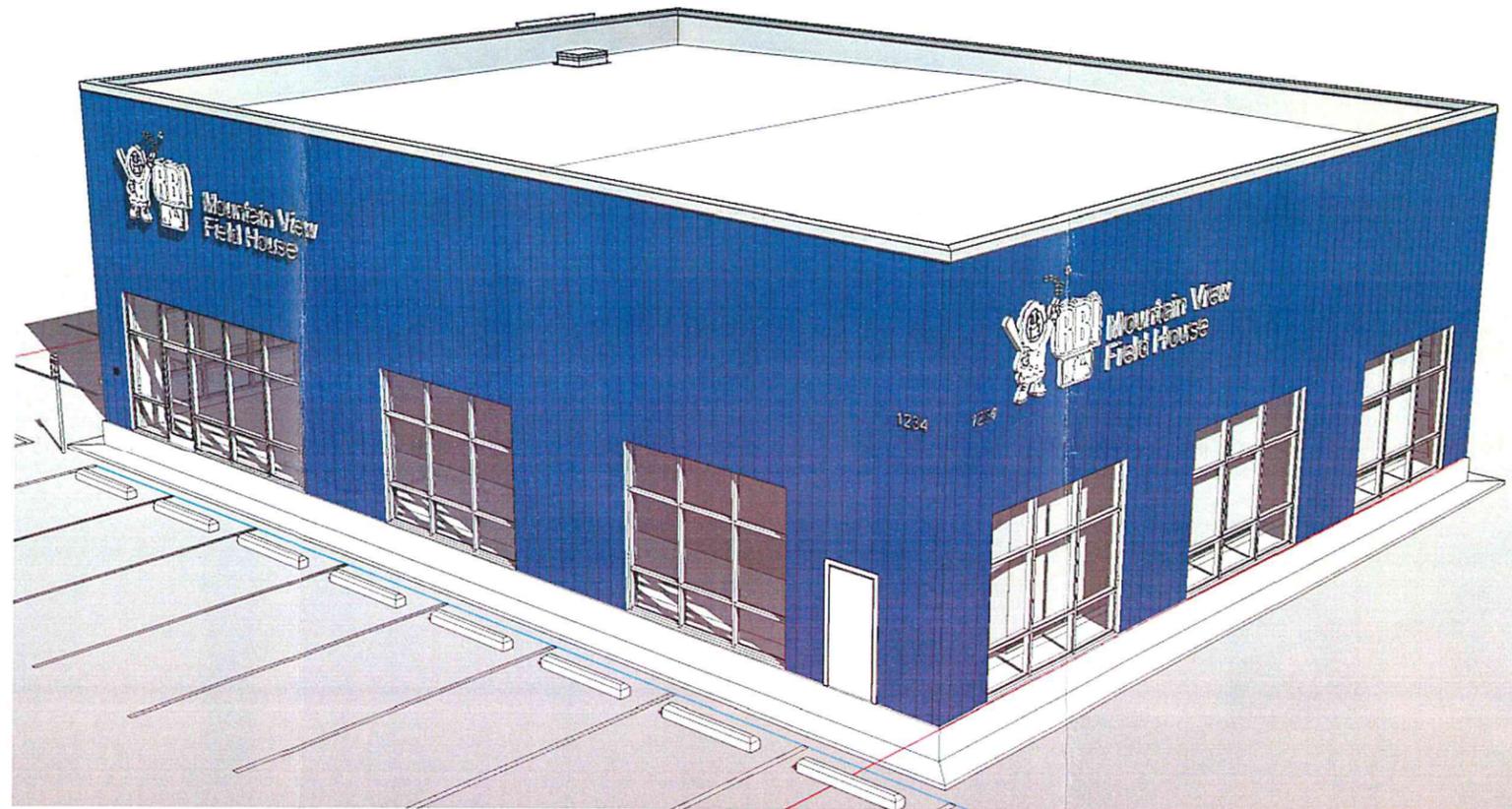
Permit #: n/a

**Gamers Indoor Training Facility**  
Lot 8A Block 1  
Fairview Subdivision  
Anchorage, AK 99508

sheet name  
**Door Schedule**  
sheet number  
**A7.1**



① Front Left Perspective View

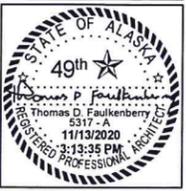


② Front Right Perspective View

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FNA Project #:  
2019\_69  
Project Start Date:  
09-17-19  
Release Date: 10-03-19  
Released for:  
Preliminary Set 3

11-10-2020 Added Colors  
11-13-2020 Added Sign

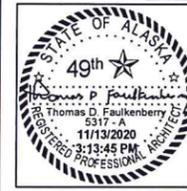


**FAULKENBERRY & ASSOCIATES, INC.**  
**ARCHITECTS**  
Alaska Authorization #72809D  
P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9193

**Gamers Indoor Training Facility**  
Lot 6A Block 1  
Fairview Subdivision  
Anchorage, AK 99508

Plotted on: 11/13/2020 3:13:35 PM  
sheet name  
Perspectives  
sheet number  
**A0.3A**

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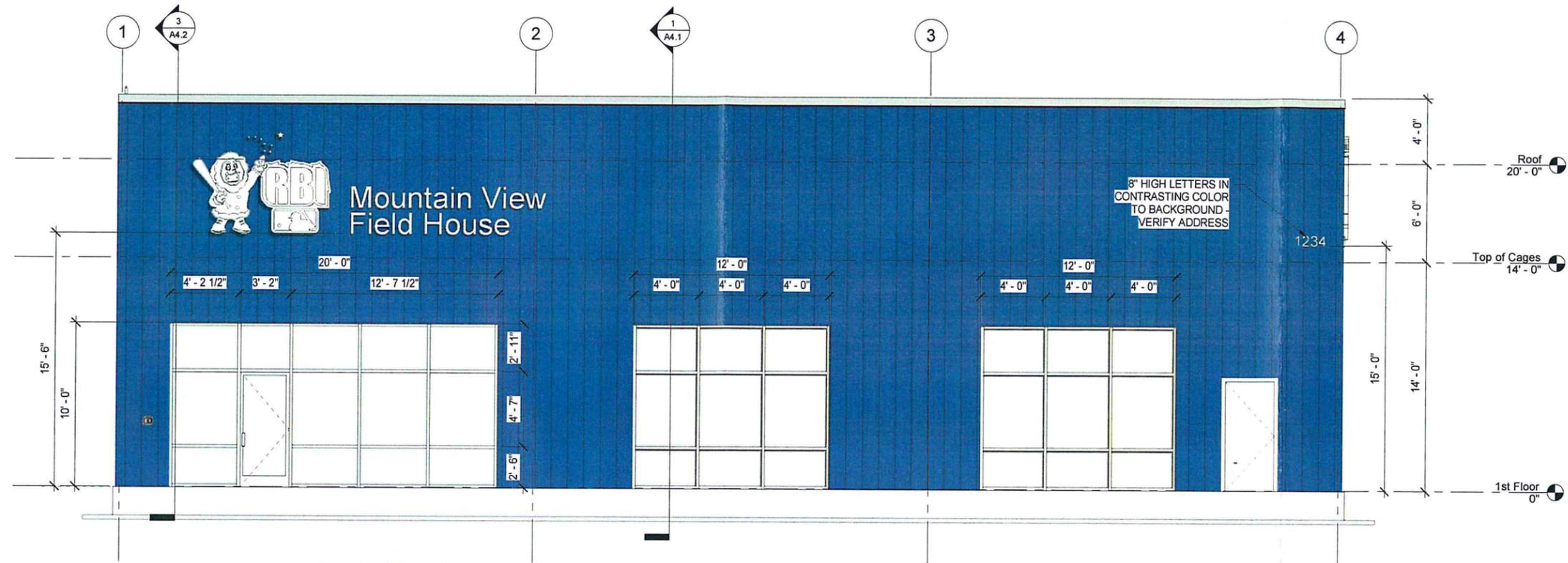


**FAULKENBERRY & ASSOCIATES, INC.**  
**ARCHITECTS**  
 Alaska Authorization #72809D  
 P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9193

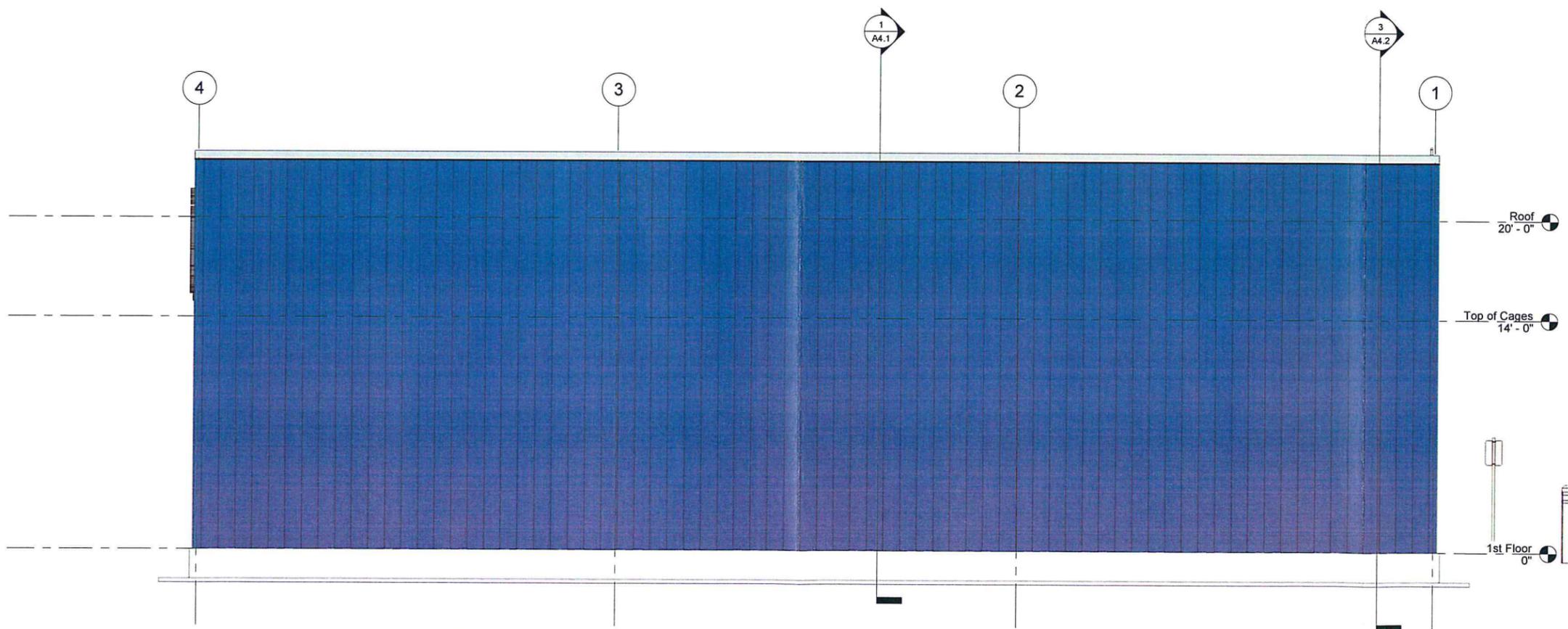
**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

Plotted on: 11/13/2020 3:13:45 PM  
 Permit #: n/a

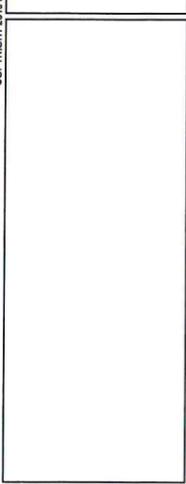
sheet name  
**Exterior Elevations**  
 sheet number  
**A3.1**



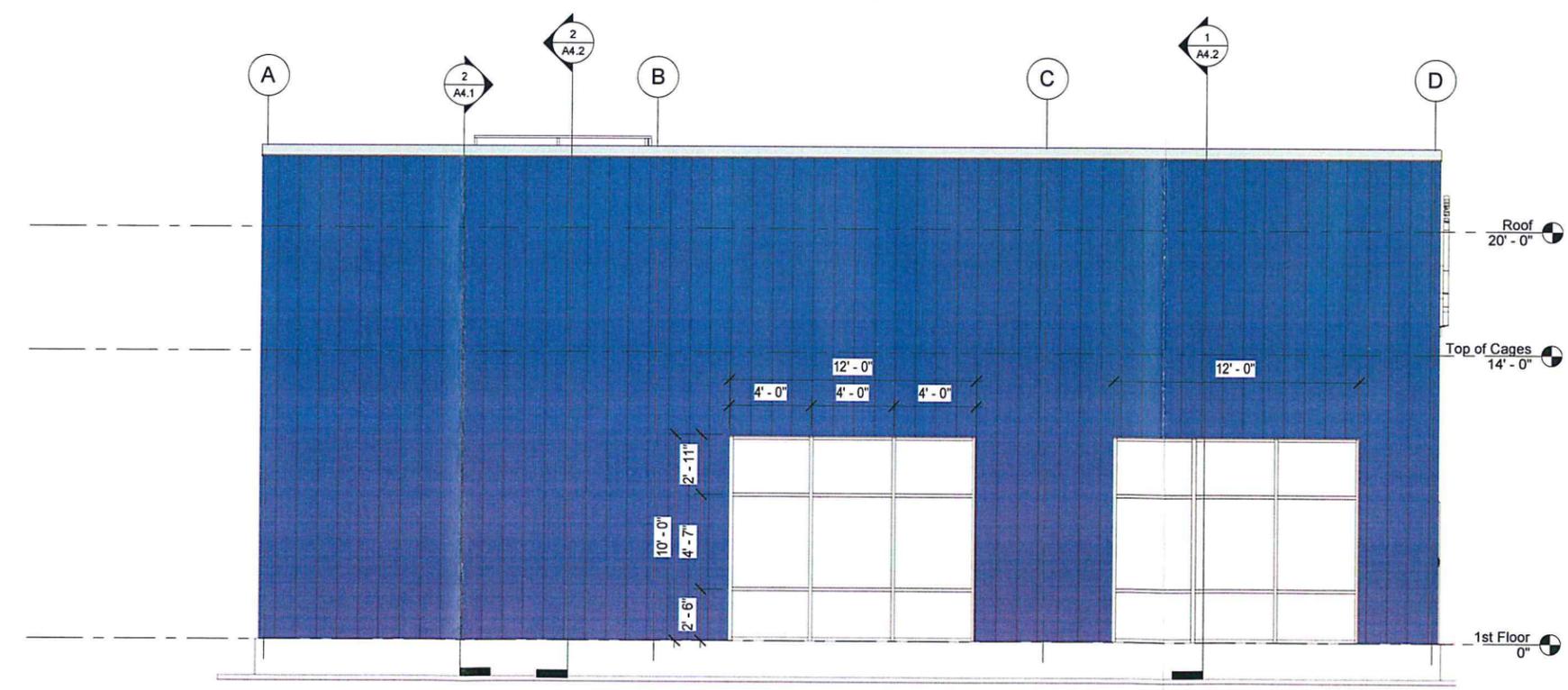
1 South Elevation  
 1/4" = 1'-0"



2 North Elevation  
 1/4" = 1'-0"



1 East Elevation  
 1/4" = 1'-0"



2 West Elevation  
 1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

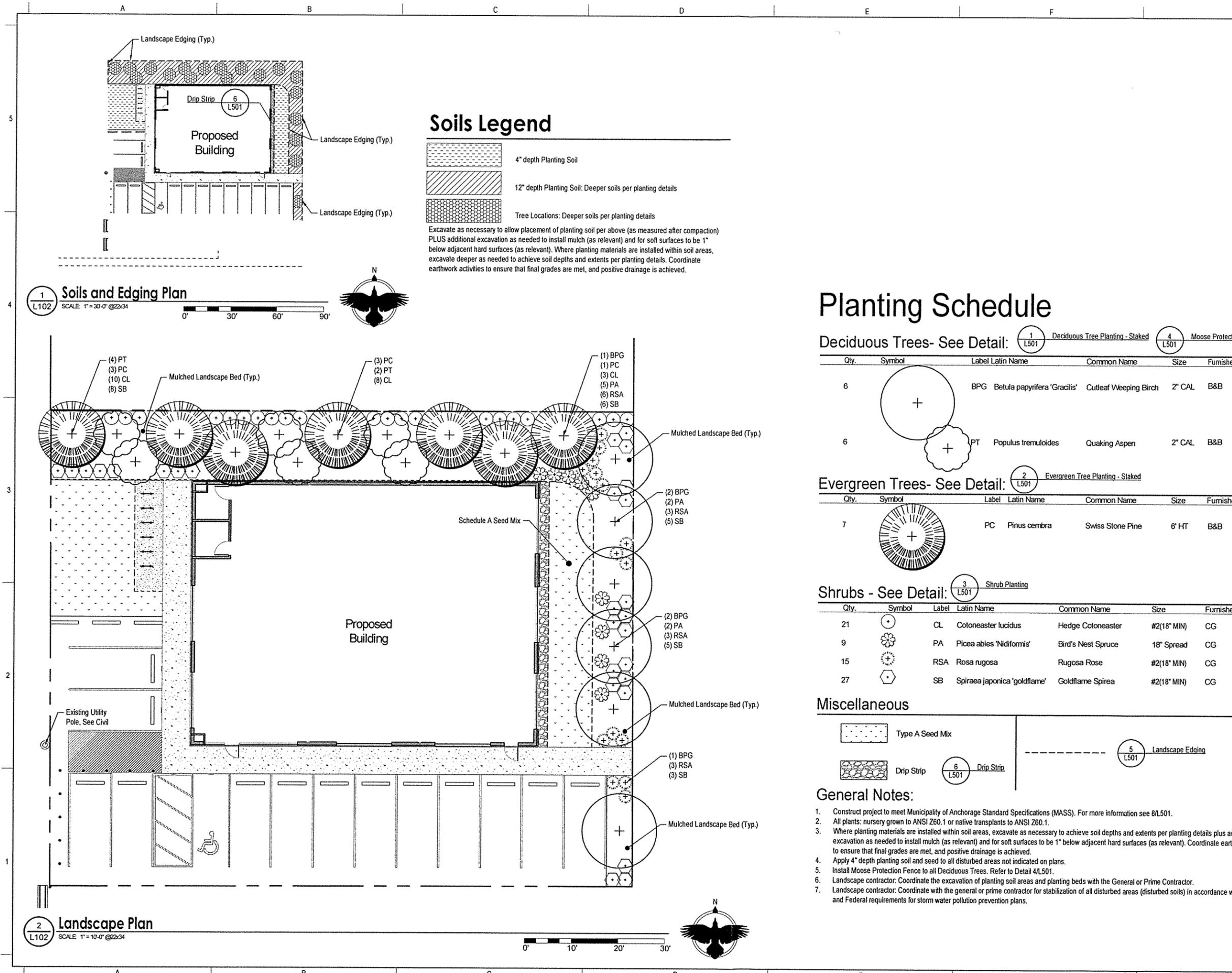
Copyright 2019 Faulkenberry & Assoc. Inc.  
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 Permit # n/a  
 Plotted on: 11/13/2020 3:13:53 PM  
 sheet name  
**Exterior Elevations**  
 sheet number  
**A3.2**

**Gamers Indoor Training Facility**  
 Lot 6A Block 1  
 Fairview Subdivision  
 Anchorage, AK 99508

**FAULKENBERRY & ASSOCIATES, INC.**  
**ARCHITECTS**  
 Alaska Authorization #72809D  
 P.O. Box 230083 - Anchorage, Alaska 99523-0083 - (907)522-9183



Drawing: J:\SCO-19-01 Gamers2 - CAD\Corvus-Sheets - Gamers.dwg last saved on 2/24/2020 2:31 PM was plotted by Bradley Little on 2/24/2020 2:45 PM



**1 Soils and Edging Plan**  
SCALE: 1" = 30'-0" @ 2x/34

**2 Landscape Plan**  
SCALE: 1" = 10'-0" @ 2x/34

### Soils Legend

- 4" depth Planting Soil
- 12" depth Planting Soil: Deeper soils per planting details
- Tree Locations: Deeper soils per planting details

Excavate as necessary to allow placement of planting soil per above (as measured after compaction) PLUS additional excavation as needed to install mulch (as relevant) and for soft surfaces to be 1" below adjacent hard surfaces (as relevant). Where planting materials are installed within soil areas, excavate deeper as needed to achieve soil depths and extents per planting details. Coordinate earthwork activities to ensure that final grades are met, and positive drainage is achieved.

### Planting Schedule

Deciduous Trees- See Detail: 1 L501 Deciduous Tree Planting - Staked 4 L501 Moose Protection

Qty.	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
6		BPG	Betula papyrifera 'Gracilis'	Cutleaf Weeping Birch	2" CAL	B&B	Single stem
6		PT	Populus tremuloides	Quaking Aspen	2" CAL	B&B	Single stem

Evergreen Trees- See Detail: 2 L501 Evergreen Tree Planting - Staked

Qty.	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
7		PC	Pinus cembra	Swiss Stone Pine	6' HT	B&B	

Shrubs - See Detail: 3 L501 Shrub Planting

Qty.	Symbol	Label	Latin Name	Common Name	Size	Furnished	Notes
21		CL	Cotoneaster lucidus	Hedge Cotoneaster	#2(18" MIN)	CG	
9		PA	Picea abies 'Nidiformis'	Bird's Nest Spruce	18" Spread	CG	
15		RSA	Rosa rugosa	Rugosa Rose	#2(18" MIN)	CG	
27		SB	Spiraea japonica 'goldflame'	Goldflame Spirea	#2(18" MIN)	CG	

### Miscellaneous

- Type A Seed Mix
- Drip Strip
- 5 L501 Landscape Edging

### General Notes:

- Construct project to meet Municipality of Anchorage Standard Specifications (MASS). For more information see 8/L501.
- All plants: nursery grown to ANSI Z60.1 or native transplants to ANSI Z60.1.
- Where planting materials are installed within soil areas, excavate as necessary to achieve soil depths and extents per planting details plus additional excavation as needed to install mulch (as relevant) and for soft surfaces to be 1" below adjacent hard surfaces (as relevant). Coordinate earthwork activities to ensure that final grades are met, and positive drainage is achieved.
- Apply 4" depth planting soil and seed to all disturbed areas not indicated on plans.
- Install Moose Protection Fence to all Deciduous Trees. Refer to Detail 4/L501.
- Landscape contractor: Coordinate the excavation of planting soil areas and planting beds with the General or Prime Contractor.
- Landscape contractor: Coordinate with the general or prime contractor for stabilization of all disturbed areas (disturbed soils) in accordance with Local, State, and Federal requirements for storm water pollution prevention plans.



**Corvus Design**  
Landscape Architecture  
www.corvus-design.com  
Anchorage - 907.222.2859  
2506-B Fairbanks St. 99503  
Juneau - 907.988.9000  
119 Seward St. 99801  
AECC#1195

SEAL:



SCOPE PERMITTING AND ENGINEERING, LLC

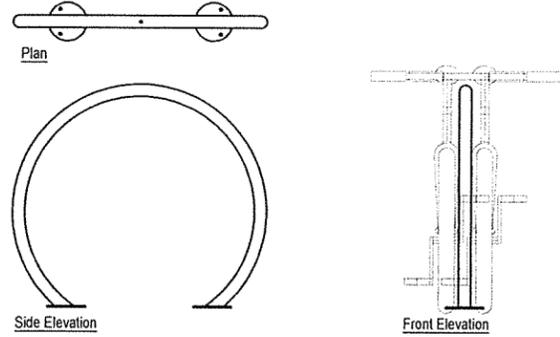
**GAMERS**  
PERMIT DRAWINGS  
ANCHORAGE, AK

DATE: 2020-02-24  
JOB NUMBER: SCO-19-01  
DRAWN BY: BL  
CHECKED BY: PB

LANDSCAPE AND SOILS  
PLAN  
SHEET #:  
**L102**

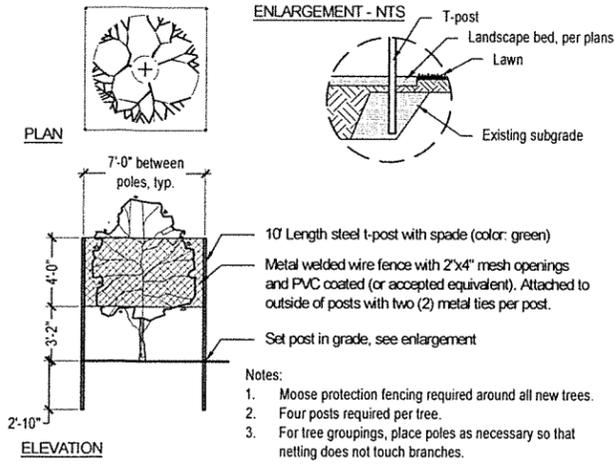
**MASS Notes:**

- Construct project to meet Municipality of Anchorage Standard Specifications (MASS)
- Any reference to "planting soil" is equivalent to "topsoil" as defined in MASS
- Landscape Architect will provide role of Engineer for landscape efforts.
- Materials
  - Items below either replace or add to MASS requirements
  - Comparable products by other manufacturers may be considered provided supporting data from the manufacturer is submitted to the engineer. Comparable products must be architecturally and structurally similar in size, type, and grading of materials, dimensions, finishes, and textures.
  - Planting beds: Construct as shown on the drawings and as described herein. Prior to placement of any planting soil in planting beds, the contractor must prepare the area to depth and size specified and must notify the engineer for inspection of subgrade and planting bed area. Do not compact planting soil during installation. All plant materials and installation must comply with section 75.02 Landscaping and the Drawings.
  - Planting soil and shredded bark mulch: incidental to all tree and shrub plantings within the project area. No separate payment will be made. Planting soil must conform to the following requirements, as tested using the procedures included in ASTM D422, ASTM D2974 and AASHTO T267.
    - The planting soil must be tested by the contractor and inspected by the engineer before approval is granted for use on the project.
  - Landscape edging: Aluminum CURV-RITE 3000 series, 5/2"x 3/16", with mill finish. Fasten all corners with 3000 series corner modules.
    - All stakes must be twelve inch (12") aluminum stakes with mill finish. Corners: Fasten with CURV-RITE 3000 series corner module connectors. Do no bend or crease edging at corners or at changes of direction.
- Inspections:
  - Inspection schedule is provided below. Notify landscape architect at least (5) five working days prior delivery of plant material
- Submittals:
  - Submittal schedule is provided below. Follow dates in table.



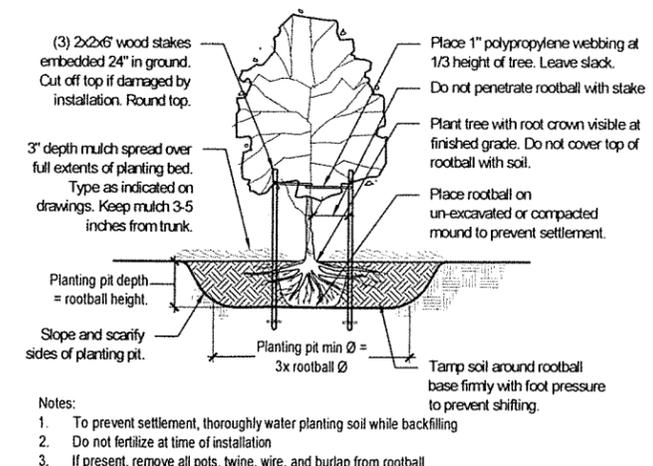
Manufacturer: DERO  
 Model: Round Rack  
 Finish: Provide color options to landscape architect for selection  
 Mounting: Surface Mount

**7 DERO Round Bike Rack**  
 SCALE: NTS @22x34



Notes:  
 1. Moose protection fencing required around all new trees.  
 2. Four posts required per tree.  
 3. For tree groupings, place poles as necessary so that netting does not touch branches.

**4 Moose Protection**  
 SCALE: NTS @22x34



Notes:  
 1. To prevent settlement, thoroughly water planting soil while backfilling  
 2. Do not fertilize at time of installation  
 3. If present, remove all pots, twine, wire, and burlap from rootball

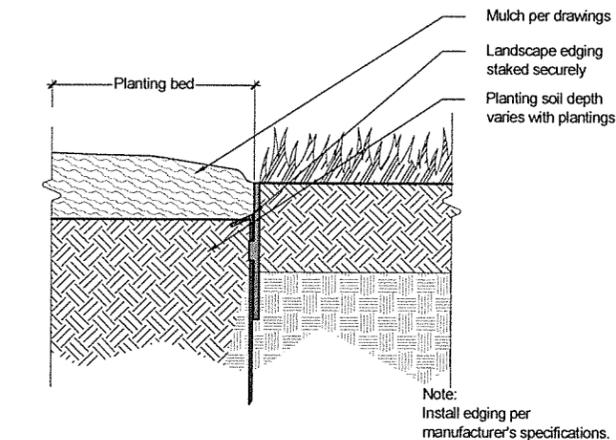
**1 Deciduous Tree Planting - Staked**  
 SCALE: NTS @22x34

**8 MASS Notes**  
 SCALE: NTS @22x34

Submittal Type	Submittal Number	Submittal Date	Approval Date
Plant Material			
Shredded Bark Mulch			
Rock Mulch			
Seed/Sod			
Fertilizer/Lime			
Landscape Edging			
Landscape Fabric			
Wood Stakes and Ties			

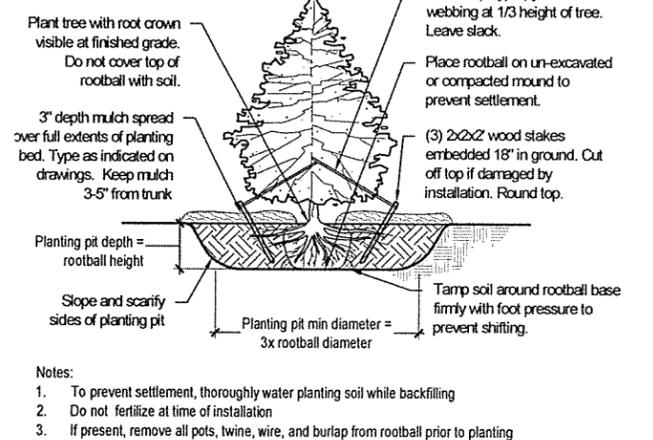
Inspection Type	Inspection Date	Inspector Approval	Notes
Plant Material Acceptance (Prior to Installation)			
Seeding Acceptance Inspection (upon completion of all seeding or sod installation)			Not Included in CA Fee. Client to conduct inspection.
Initial Planting Operations - Substantial (upon completion of all landscape related work)			
Initial Planting Operations - Acceptance (upon completion of all landscape related work)			
Landscape Acceptance Inspection (upon completion of the Plant Establishment Period)			Not Included in CA Fee. Client to conduct inspection.

**9 Construction Checklist**  
 SCALE: NTS @22x34



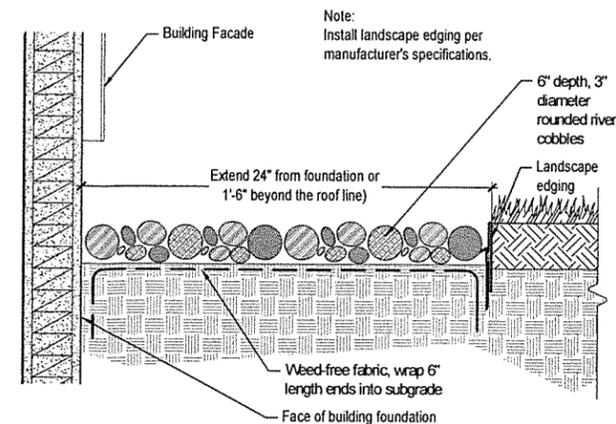
Note:  
 Install edging per manufacturer's specifications.

**5 Landscape Edging**  
 SCALE: NTS @22x34



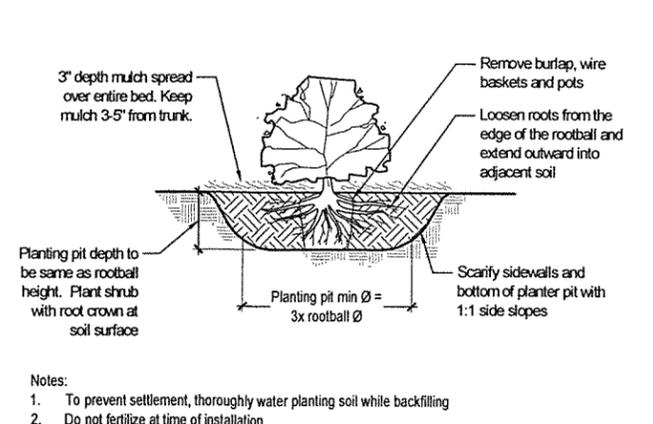
Notes:  
 1. To prevent settlement, thoroughly water planting soil while backfilling  
 2. Do not fertilize at time of installation  
 3. If present, remove all pots, twine, wire, and burlap from rootball prior to planting

**2 Evergreen Tree Planting - Staked**  
 SCALE: NTS @22x34



Note:  
 Install landscape edging per manufacturer's specifications.

**6 Drip Strip**  
 SCALE: NTS @22x34



Notes:  
 1. To prevent settlement, thoroughly water planting soil while backfilling  
 2. Do not fertilize at time of installation  
 3. If present, remove all pots, twine, wire, and burlap from rootball

**3 Shrub Planting**  
 SCALE: NTS @22x34

**Corvus Design**  
 Landscape Architecture  
 www.corvus-design.com  
 Anchorage - 907.222.2859  
 2505 B Fairbanks St. 99503  
 Juneau - 907.988.9000  
 119 Seward St. 99601  
 AEOC #1155

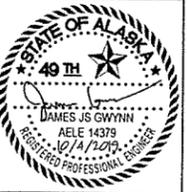
SEAL:  
  
 Peter D. Briggs  
 2/24/2020  
 No. 10737

SCOPE PERMITTING AND ENGINEERING, LLC  
**GAMERS**  
 PERMIT DRAWINGS  
 ANCHORAGE, AK

DATE: 2020-02-24  
 JOB NUMBER: SCO-19-01  
 DRAWN BY: BL  
 CHECKED BY: PB

DETAILS AND NOTES  
 SHEET #:  
**L501**

Drawing: J:\SCO-19-01 Gamers\2 - CAD\Corvus-Sheets - Gamers.dwg last saved on 2/24/2020 2:31 PM was plotted by Bradley Little on 2/24/2020 2:45 PM



DESIGN: JSG  
DRAWN: JSG  
APPROVED: JSG  
DATE: 10/4/2018

REVISIONS		
NO.	DATE	BY
1	2/24/2020	JSG

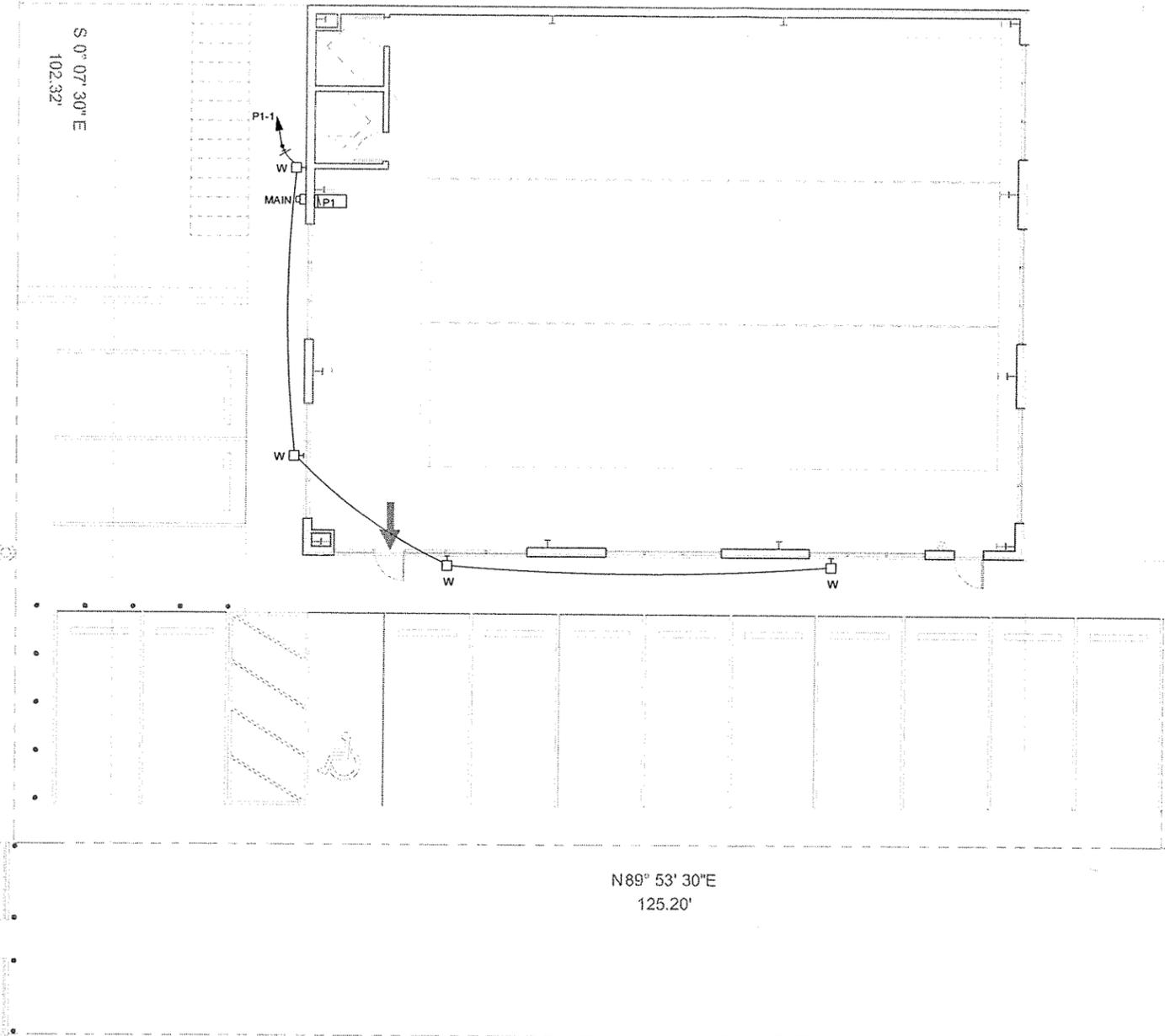
GAMERS  
PINE STREET, ANCHORAGE

ELECTRICAL  
SITE PLAN

E100

LUMINAIRE SCHEDULE											
CALLOUT	SYMBOL	MODEL	DESCRIPTION	MOUNTING	LAMP	BALLAST	INPUT WATTS	VOLTS	TOTAL LUMENS	QUANTITY	NOTE 1
A		IBG 30000 HEF AFL WD MVOLT GZ10 40K 90CRI DWH	HIGH BAY	CEILING	(1) LED.	ELECTRONIC	169.8	240	29577	12	
B		LITHONIA ZL1D L48 3000LM FST MVOLT 40K 80 CRI VH	LIGHT STRIP	CEILING	(1)	ELECTRONIC	30	120	0	2	
W		LITHONIA DSXW1 20C 1000 40K TFTM MVOLT PE	WALL PACK	WALL	(1)	ELECTRONIC	73	120	7712	4	

CONTRACTOR TO VERIFY FIXTURE COUNT



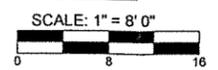
General Photometric Schedule	
AVERAGE FOOT-CANDLES	1.99
MAXIMUM FOOT-CANDLES	3.57
MINIMUM FOOT-CANDLES	0.53
MINIMUM TO MAXIMUM FC RATIO	0.15
MAXIMUM TO MINIMUM FC RATIO	6.77
AVERAGE TO MINIMUM FC RATIO	3.77

SITE LIGHTING ANALYSIS		
ACTIVITY LEVEL: MEDIUM		
PARKING LOT:	REQUIRED:	DESIGNED:
AVERAGE FOOT CANDLES:	0.2	1.99
UNIFORMITY:	20:1	6.77:1

THE PARKING AREA LIGHTING MEETS THE LEVEL OF ILLUMINATION, UNIFORMITY RATIOS AND MINIMUM LUMEN INTENSITIES SPECIFIED IN THE ILLUMINATION GUIDELINES SET BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA, 8TH EDITION, CURRENT EDITION, AND THE MUNICIPALITY OF ANCHORAGE TITLE 21, SECTION 21.45.080.X.4.e. IN ADDITION, THE LIGHTING IS DESIGNED TO PREVENT GLARE TO MOTORISTS ON PUBLIC STREETS AND TO RESIDENTS OF ADJOINING PROPERTIES IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.

*James Gwynn*  
JAMES GWYNN, PE

**1 SITE PLAN**  
SCALE: 1"=8'-0" (PRINTED ON 22" X 34" PAPER)



SCOPE OF WORK:  
THIS DRAWINGS IS FOR A SITE VARIANCE, AND FOR AN ADMINISTRATIVE SITE PLAN REVIEW FOR A NEW BASEBALL TRAINING BUILDING  
POWER WILL COME FROM THE NEW BUILDING. LOAD CALCULATIONS, ONELINE, AND SCHEDULES WILL BE A DEFERRED SUBMITTAL