

Application for Administrative Site Plan Review

City of Anchorage
Planning & Development
PO Box 135040
Anchorage, AK 99519-6650

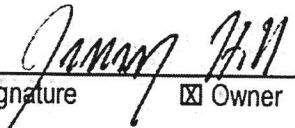
PETITIONER*		PETITIONER REPRESENTATIVE (if any)	
Name (last name first)	Gamers Sports Travel	Name (last name first)	Ron Thompson
Mailing Address	P.O Box 221342, Anchorage, Ak 99522	Mailing Address	7216 Lake Otis Pkwy, Anch Ak 99507
Contact Phone – Day	907-231-5056	Contact Phone – Day	907-529-5120
Evening		Evening	
Fax		Fax	
E-mail	jamarhill23@gmail.com	E-mail	scopepne.ron@gmail.com

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION			
Property Tax #(000-000-00-000): 005-022-06-000			
Site Street Address: NA			
Current legal description: (use additional sheet if necessary) Fairview Block 1 Lot 6A			
Zoning: R3	Acreage: 0.29	Grid #: SW1136	Underlying plat #: 67-0119

SITE PLAN APPROVAL REQUESTED	
Use: Community Center	
<input checked="" type="checkbox"/> New SPR	<input type="checkbox"/> Amendment to approved site plan Original Case #:

I hereby certify that (I am)(I have been authorized to act for) owner of the property described above and that I petition for an administrative site plan review in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the site plan.

Signature  ☒ Owner ☐ Representative Date 2/24/20
(Representatives must provide written proof of authorization)

Jamar Hill

Print Name

Accepted by: CH	Poster & Affidavit N/A	Fee: \$1,387.50	Case Number: 2020-0050
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Application for Administrative Site Plan Review

Municipality of Anchorage
Planning Department
PO Box 196650
Anchorage, AK 99519-6650

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Name (last name first) Gamers Sports Travel		Name (last name first) Ron Thompson	
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2/24/20

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(Representatives must provide written proof of authorization)

Date

Jamar Hill

Print Name

Accepted by:	Poster & Affidavit:	Fee:	Case Number:
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COMPREHENSIVE PLAN INFORMATIONAnchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural**Anchorage 2040 Land Use Designation(s):**

- | | | |
|---|--|---|
| <input type="checkbox"/> Large Lot Residential | <input type="checkbox"/> Single and Two-family Residential | <input checked="" type="checkbox"/> Compact Mixed Residential – low |
| <input type="checkbox"/> Compact Mixed Residential–Medium | <input type="checkbox"/> Urban Residential – High | <input type="checkbox"/> Neighborhood Center |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Regional Commercial Center | <input type="checkbox"/> City Center |
| <input type="checkbox"/> Commercial Corridor | <input type="checkbox"/> Main Street Corridor | <input type="checkbox"/> Open Space |
| <input type="checkbox"/> Facilities and Institutions | <input type="checkbox"/> Industrial | |

Anchorage 2040 Growth Supporting Features:

- | | |
|---|--|
| <input type="checkbox"/> Transit-supportive Development | <input type="checkbox"/> Residential Mixed-use Development |
| <input type="checkbox"/> Greenway-supported Development | <input checked="" type="checkbox"/> Traditional Neighborhood Development |

Chugiak-Eagle River Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks | <input type="checkbox"/> Community Facility |
| <input type="checkbox"/> Town Center | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Development reserve |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Girdwood- Turnagain Arm Land Use Classification:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Industrial | <input type="checkbox"/> Parks/open space | <input type="checkbox"/> Public lands/institutions |
| <input type="checkbox"/> Resort | <input type="checkbox"/> Transportation facility | <input type="checkbox"/> Special study area | <input type="checkbox"/> Reserve |
| <input type="checkbox"/> Commercial/Residential | <input type="checkbox"/> Commercial Recreation | | |
| <input type="checkbox"/> Residential at _____ dwelling units per acre | | | |

Neighborhood, District or Other Area-Specific Plan: _____

ENVIRONMENTAL INFORMATION (All or portion of site affected)

- | | | | | |
|--------------------------------|--|---|-----------------------------------|---|
| Wetland Classification: | <input checked="" type="checkbox"/> None | <input type="checkbox"/> "C" | <input type="checkbox"/> "B" | <input type="checkbox"/> "A" |
| Avalanche Zone: | <input checked="" type="checkbox"/> None | <input type="checkbox"/> Blue Zone | <input type="checkbox"/> Red Zone | |
| Floodplain: | <input checked="" type="checkbox"/> None | <input type="checkbox"/> 100 year | <input type="checkbox"/> 500 year | |
| Seismic Zone (Harding/Lawson): | <input type="checkbox"/> "1" | <input checked="" type="checkbox"/> "2" | <input type="checkbox"/> "3" | <input type="checkbox"/> "4" <input type="checkbox"/> "5" |

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion of site)

- | |
|---|
| <input type="checkbox"/> Rezoning - Case Number: |
| <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat - Case Number(s): |
| <input type="checkbox"/> Conditional Use - Case Number(s): |
| <input checked="" type="checkbox"/> Zoning variance - Case Number(s): 2019-0162 |
| <input type="checkbox"/> Land Use Enforcement Action for |
| <input type="checkbox"/> Building or Land Use Permit for |
| <input type="checkbox"/> Wetland permit: <input type="checkbox"/> Army Corp of Engineers <input type="checkbox"/> Municipality of Anchorage |

SUBMITTAL REQUIREMENTS (Only one copy of applicable items is required for initial submittal)

- 1 copy required: ☒ Signed application (original)
☒ Watershed sign off form, completed
☒ 8 1/2" by 11" copy of site plan/building plans submittal
- 26 copies required: ☒ Signed application (copies)
☒ Project narrative explaining:
 ☐ the project ☐ planning objectives
 ☐ addressing the site plan review criteria on page 3 of this application
☒ Site plan to scale depicting, with dimensions:
 ☐ building footprints ☐ parking areas ☐ vehicle circulation and driveways
 ☐ pedestrian facilities ☐ lighting ☐ grading
 ☐ landscaping ☐ loading facilities ☐ freestanding sign location(s)
 ☐ required open space ☐ drainage ☐ snow storage area or alternative
 strategy
 ☐ trash receptacle location and screening detail ☐ fences
 ☐ significant natural features ☐ easements ☐ project location
☒ Building plans to scale depicting, with dimensions:
 ☐ building elevations ☐ floor plans ☐ exterior colors and textures
☐ Assembly Ordinance enacting zoning special limitations, if applicable

(Additional information may be required.)

SITE PLAN REVIEW STANDARDS (21.03.180)

The Planning Director may only approve a site plan if the director finds that **all** of the following standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you.

1. The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;
2. The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, *Zoning Districts*, chapter 21.05, *Use Regulations*, chapter 21.06, *Dimensional Standards and Measurements*, and chapter 21.07, *Development and Design Standards*;
3. The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and
4. The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.

GAMERS COMMUNITY CENTER
Administrative Site Plan Review Narrative
February 24, 2020

Administrative Site Plan Review Documentation

Request: Administrative Site Plan review for Community Center in R-3 district.

Location: Fairview Subdivision, Lot 6A, Block 1

Community Council: Mountain View

Site Address: NA Pine Street

Tax Identification: 005-022-06-000

Site:

Acres: 12,824 Sq. Ft.

Zoning: R-3

Topography: Generally, Level

Existing Use: Vacant Land, undeveloped

Public Water and Sewer onsite

2020 Comprehensive Plan/2040 Land Use Map Designation:

Classification: Compact Mixed Residential Low, within a Traditional Neighborhood Development area

Surrounding Area:

	NORTH:	EAST:	SOUTH:	WEST:
Zoning:	R-3	Park	B-3	R-3
Land Use:	Residential	MT View Lions Park	Commercial	Residential

AMC 21.04.020 G R-3: Mixed Residential District

1. Purpose

The R-3 district is a multifamily residential district with gross densities between 15 and 40 dwelling units per acre, provided, however, that housing allowed in the R-1, R-1A, R-2A, and R-2D are a permitted use. It is intended primarily for multifamily and townhouse dwellings characterized by low-rise multistory buildings. It allows a higher percentage of lot coverage than the R-2M zone, while also maintaining the residential living environment with landscaping, private/common open spaces, and other amenities for residents. This district provides greater housing opportunities and efficient use of residential land near commercial, community activity centers, town centers, and areas well served by transit.

2. District-Specific Standard

The maximum length of a townhouse-style building elevation shall be 250 feet.

AMC 21.05.040.2 Community Center

a. Definition

A facility that is intended primarily to serve the meeting, cultural, social services, administrative, athletic, or entertainment needs of the community as a whole, operated by the government or as a non-profit facility, and generally open to the public.

b. Use-Specific Standards (also apply to “Religious Assembly”)

- i. Applicability*
The standards of this subsection shall apply to all community centers and religious assemblies within a residential zoning district.
- ii. Minimum Lot Area and Width*
Notwithstanding any smaller minimum lot area required by tables 21.06-1 and 21.06-2, community centers and religious assemblies subject to this subsection shall have a minimum lot area of 14,000 square feet and a minimum lot width of 100 feet.
- iii. Traffic Access*
Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Highways Plan. All ingress and egress traffic shall be directly onto such street.
- iv. Buffering Standards*
L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.
- v. Vegetated Open Space*
In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.
- vi. Parking and Setbacks*
In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

Dimensional Standards for the Community Center use:

Minimum Lot Dimension: Area: 14000 SF Actual Area: 12,824 Sq. ft
 Width: 100 ft Actual Width: 102.32 ft
Lot size for Community center: Received variance for minimum lot size.
Case 2019-0162

Setbacks: Front: 20 ft Side: 10 ft Rear: 20 ft

 Actual: Existing building
 Front: 20 ft Side: 30.07 and 15 ft
 Rear: 30 ft

Traffic Access: **Requires Access** to be 50 ft minimum along a Collector, received variance from MOA for this requirement. Case 2019-0162
Actual Access is through alleys off Pine Street and N Bliss St. Mountain View Drive is nearest Collector and it is approximately 180 ft to the South along Pine Street, lot width is over 50 ft. Received Variance from for access to collector. Case 2019-0162

SITE DESCRIPTION AND PROPOSAL:

We are working to develop an indoor baseball softball training facility that is designated as a Community Center. The location of this project is ideal as it is across the street from Lions Park in Mountain View offering young people in the Mountain View area a year-round option to participate in athletic activity. The lot that we are proposing this project needed a variance to allow for the code requirements for the Community Center standards subsections listed below to be met:

ii) Minimum required lot size of 14,000 square feet. (List address) is 12,824 square feet, which is 9% under the required lot size. Variance Granted Case 2019-0162.

iii) N Pine Street, the adjacent ingress and egress street leading to the property. Does not have collector or greater designation. Mountain View Drive is located to the North 180 ft received variance. Case 2019-0162

We are now requesting the Administrative Site Plan review required for Community Centers in R-3. Based upon the approved variances which had an site plan provided that was approved and reviewed under the variance process.

Administrative Site Plan Criteria Responses

1. ***The site plan is consistent with any previously approved subdivision plat, planned development master plan, or any other precedent plan or land use approval;***

The site plan is consistent with the previously approved site plan that was submitted as part of Case 2019-0162 for variance. The site plan was used and reviewed by all entities of the MOA and was determined to meet the requirements other than the two variance items requested. We were granted approval for the minimum size of the lot and the need to have a community center located along a collector. Both of these conditions were granted a variance per case 2019-0162. All other site conditions required in Title 21 have been met and submitted in the attached site plan documentation.

2. ***The site plan complies with all applicable development and design standards set forth in this title, including but not limited to the provisions in chapter 21.04, Zoning Districts, chapter 21.05, Use Regulations, chapter 21.06, Dimensional Standards and Measurements, and chapter 21.07, Development and Design Standards;***

21.04.020.G R-3: R-3 Zoning District is identified zoning district.

21.05 Use Regulations: Table 21-05-1: Allows Community Center use in R-3 Zoning District with Administrative Site Plan Review.

21.05.040.C.2: 2019 Use determination from MOA identified our specific use as a Community Center. See attached Use determination.

21.05.040.C.2.b.ii Minimum Lot area and width: Required minimum lot size is 14,000 sq ft. Variance was granted as per case 2019-0162 to allow our lot of 12,824 to have a community center located on it. Minimum width of lot is 100 ft. This lot meets this requirement based upon the fact that both dimensions are over 100 ft.

21.05.040.C.2.b.iii Traffic Access: Community centers and religious assemblies shall have at least one property line of the site that is at least 50 feet in length, and it shall abut a street designated as a collector or greater on the Official Streets and Highways Plan. All ingress and egress traffic shall be directly onto such street. The length of our property is greater than 50 feet, so it complies to the length requirement. A variance was necessary for the requirement to be located along a collector or greater on the OSHP. Variance was granted as per case 2019-0162 to have a community center located on it street other than collector or greater on the OSHP.

21.05.040.C.2.b.iv Buffering Standards: L2 buffer landscaping is required along all property lines where the community center or religious assembly site abuts a residential use in a residential zone.

Site plan and Landscaping plans comply with this requirement.

21.05.040.C.2.b.v Vegetative Open Space: In residential and PLI zoning districts a minimum of 25 percent of the lot area shall remain as planted open area, landscaped area, or natural vegetation area, to exclude buildings, driveways, parking lots, sidewalks, etc., unless the decision-making body determines that retention of less than 25 percent allows for sufficient buffering of adjacent uses.

Site plan and Landscaping plan comply with this requirement.

21.05.040.C.2.b.vi Parking and setbacks: In residential zoning districts, no parking or loading areas shall be placed in any setback, except in approved driveways.

Site plan complies with this requirement.

21.06 Dimensional Standards and Measurements Table 21.06-1: Lot size of 6,000, lot width 50, max lot coverage 40%, setback – Front-20, side 10, rear 20. 1 principal Structure, max height of 35.

Lot Size : 12,824 sq ft which is over 6,000 sq ft so lot complies

Lot width: Over 100 ft so it is over 50 ft and complies

Max lot coverage: $4294/12824 = 33.5 \%$ so it complies

Front yard setback: 20 ft so it complies

Side yard Setback: 15 ft on North and 30.08 ft on South side so it complies

Rear yard setback: 30.1 ft so it complies.

Building height: 23' therefore it complies

21.07 Development and Design Standards:

21.07.020 Natural Resource Protection: The municipality contains many natural amenities including streams, natural drainages, wildlife habitat areas, water bodies, scenic features such as mountains and coastal areas, wetlands, and hillsides, as well as significant amounts of native forest, tree cover, and open space, all of which contribute to the municipality's character, public health, quality of life, and property values. The requirements of this section are intended to ensure that the natural character of the municipality is reflected in patterns of development and redevelopment, where feasible and appropriate.

N/A: no streams, natural drainages, wildlife habitat areas, water bodies, scenic features such as mountains and coastal areas, wetlands, and hillsides, as well as significant amounts of native forest, tree cover

21.07.030 Private Open Space: The Open space requirement of this section does not apply as there is an exemption for 5,000 sq ft or less buildings. However, Section 21.05.040.C.2.v does apply. 25% required, 3682 sq ft of open space exists when 3206 sq ft is required. Therefore, open space complies with section 21.05.040.C.2.v.

21.07.040 Drainage, Storm Water Treatment, Erosion Control, and Prohibited Discharges: Civil Engineering design must meet all drainage requirements for all lots being developed. A condition of permit approval guarantees that this will be completed as per code. We will design all necessary drainage features and controls during the permitting process.

21.07.050 Utility Distribution Facilities: The area has already been provided with the Electrical, gas and water and sewer services. No additional should be required for this development. All requirements of any utility will be completed at time of building permit as necessary.

21.07.060 Transportation and Connectivity: The site was designed in accordance with the help of the Traffic Engineer. All on-site and off-site circulation was already discussed and modified to meet their requirements during the variance process for case 2019-0162. We believe our plans meet all transportation and connectivity requirements for this location including but not limited to on-site maneuvering, parking, pedestrian access and driveway access.

21.07.070 Neighborhood Protection Standards: The owner has worked directly with Planning Staff throughout this entire effort to develop the Community Center. The

specific standards within 21.07.070 with regards to section C have been incorporated within all correspondence to the Planning Department. We believe they have been met and briefly discuss them one by one below:

1. **Hour of Operation and Deliveries:** Hours are typically 8-10:00 pm daily, with no deliveries necessary
2. **Location on a site of activities that generate potential adverse impacts on adjacent uses, such as noise and glare:** Baseball inside should not adversely impact the neighbor hood since outdoor baseball is located just across the street.
3. **Placement of trash receptacles, compactors, or recycling:** No exterior trash to be required.
4. **Location and screening of loading and delivery areas, garages, vehicle fleet parking, or vehicle maintenance areas:** N/A we have none of these on site.
5. **Lighting location, intensity, and hours of illumination:** Normal required parking lot lighting as per MOA code will be installed.
6. **Placement and illumination of outdoor vending machines, telephones, or similar outdoor services and activities:** N/A we have none of these on site.
7. **Additional landscaping and screening to mitigate adverse impacts:** Site plan addresses all required landscaping including buffer landscaping required between Community Center and other Residential lots.
8. **Height restrictions to preserve light and privacy:** Height is under 25 ft in a neighborhood that has a minimum of 35. Should be no adverse impacts.
9. **Ventilation and control of odors and fumes:** Use should have no fumes or odors that will impact the neighborhood.
10. **Paving to control dust:** Parking lot will be paved as well as the alley that will be used.
11. **Location and orientation of changeable type or illuminated signs, to protect residential character and privacy and views from residential units:** All signs if added will meet Title 21 sign standards and prevent negative impact to the neighborhood.,

21.07.080 Landscaping, Screening, and Fences: See attached landscape plans that meet all requirement of title 21 designed by Corvus Design. L1 along Pine Street and L2 buffer between our lot and the adjacent residential properties.

21.07.090 Off-Street Parking and Loading: See attached site plans that meet all requirement of title 21 designed by Faulkenberry and Associates. All site constraints

were worked out with the Planning Department to ensure compliance to all Zoning and traffic requirements for the area. The site went through a thorough review during the variance process and was revised to meet all MOA recommendations. See attached site plan for this design.

21.07.100 Exterior Lighting: See attached Electrical plans that meet all site lighting requirements designed by Northern Electrical Engineering Consulting, LLC.

21.07.110 Residential Design Standards: N/A for our project.

21.07.120 Large Establishments: N/A for our project.

21.07.130 Skyways and Other Projections into Public Airspace: N/A for our project.

21.07.140 Operational Standards: No use may cause excessive noise, vibrations, smoke, dust or other particulate matter, toxic or noxious matter, humidity, heat, or glare at or beyond any lot line of the lot on which it is located. No equipment or process shall be used which creates visual or audible interference in any radio or television receivers off the premises, or causes a fluctuation in line voltage off the premises.

The term “excessive” is defined for the purpose of this subsection as to a degree exceeding that generated by uses permitted in the district in their customary manner of operation, or to a degree injurious to the public health, safety, welfare, or convenience.

Our use will not cause any issues.

- 3. *The site plan addresses any significant adverse impacts that can reasonably be anticipated to result from the use, by mitigating or offsetting those impacts to the maximum extent feasible; and***

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site and a place for neighborhood family members to gather and play baseball/softball. This site has remained undeveloped because of the residential zoning and be adjacent to a gas station to the South. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Based upon our landscaping design and the make-up of a new Community Center will help develop this area into a safer and cleaner neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we are justified in

this category and will definitely not adversely affect the adjacent properties as we will only enhance the area.

- 4. *The development proposed in the site plan is consistent with the goals, objectives, and policies of the comprehensive plan.***

Policy 7: Avoid incompatible uses adjoining one another.

POLICY 7 RESPONSE:

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to a already existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy.

Policy 45: Connect local activity centers such as neighborhood schools and community centers with parks, sports fields, greenbelts, and trails, where feasible.

POLICY 45 RESPONSE:

This project will provide greater infrastructure supporting organized sports programs that utilize Lions park which is across Pine street. This project being in close proximity to the existing park will promote positive use of the existing park, while providing a gathering place that is within walking distance for residence of the Mountain View Neighborhood. (collaboration with Lions club/Mountain View Little League). In fact, there is an existing walkway that leads from the sports fields to the building site of this project. We feel our design and location definitely meet the requirements of policy 45.

Policy 46: The unique appeal of individual residential neighborhoods shall be protected and enhanced in accordance with applicable goals, policies and strategies.

POLICY 46 RESPONSE:

The development of this property will positively benefit the adjacent properties as we will be providing a beautiful landscaped site with all buffer landscaping in place and a place for neighborhood family members to gather and play baseball/softball adjacent to an existing baseball/softball park. We believe this is a great use to transitional buffer between the Commercial gas station and the residential neighborhood. Our Community

Center will provide a great transition between the Commercial businesses and the residential areas therefore we believe we meet this policy and keep the residential feel of the neighborhood.

OVERALL RESPONSE TO 4:

In addition to the policies being met we believe our redevelopment of this property meets the intent of the Anchorage 2020 and 2040 plans because we are designing a Community Center that is in a great location adjacent to a park with the similar outdoor baseball/softball facilities. We will provide the buffering between the community use and the residential use to smooth the transition as well as provide a nice transition from the Commercial uses to the South and the residential uses to the West and North.

A Community Center is an approved use pending an administrative site plan review. With that established, it is assumed that this is the type of project that was intended for this zoning designation. In addition, the neighborhood has an existing baseball complex that is currently in use. This baseball complex visually defines the current character of the neighborhood. Our proposed indoor facility project enhances the current interest in this area. Additionally, nothing has ever been built on this land. A community center would make for a more attractive residential neighborhood transition from the businesses to the South. We have worked for over a year with the Planning Department to make sure our use is compatible and will continue to be compatible with the surrounding neighborhood. We have submitted a Use Determination in which they designated our use as one that would be considered a Community Center and have encouraged us to proceed with providing this within Anchorage. The lot we are proposing works very well based upon it being across the street from baseball and softball fields that currently exist. This use therefore does not change the feel or the intent of the R-3 zoning district of which currently exists. Community Centers are allowed in the R-3 so approving this admin site plan does not impact the future uses of lots in this area for what the code intended. We feel based upon this that our use and our site plan is justified for this location.

WMS WATERCOURSE MAPPING SUMMARY

Per the requirements for watercourse verification outlined in Project Management and Engineering Operating Policy and Procedure #8 and Planning Department Operating Policy and Procedure #1 (effective June 18, 2007), MOA Watershed Management Services has inspected the following location for the presence or absence of stream channels or other watercourses, as defined in Anchorage Municipal Code (21.35).

- Project Case Number or Subdivision Name: 2020-0050
- Project Location, Tax ID, or Legal Description: 005-022-06-000
Fairview, Lot 6A Block 1
- Project Area (if different from the entire parcel or subdivision): _____
12824 sq ft, full lot

In accordance with the requirements and methods identified, WMS verifies that this parcel, project area, or application:

X KBE DOES NOT contain stream channels and/or drainageways, as identified in WMS field or archival mapping information.*

_____ DOES contain stream channels and/or drainageways AND these are located and identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS NOT REQUIRED.**

_____ Contains stream channels and/or drainageways BUT one or more streams or other watercourses:

- are NOT shown on submittal documents, or
- are NOT depicted adequately on submittal documents for verification, or
- are NOT located or identified on submittal documents in general congruence with WMS field and archival mapping information.

*New or additional mapping IS REQUIRED and must be re-submitted for further review and verification.**

_____ Presence of stream channels and/or drainageways is unknown AND field verification is not possible at this time. WMS will verify as soon as conditions and prioritized resources allow.

* *Streams omitted in error by WMS or others remain subject to MOA Code and must be shown in new mapping upon identification of the error.*

ADDITIONAL INFORMATION:

- | | | | | |
|----------------------------|----------------------------|--|--------------------------------------|--------------------------------|
| <input type="checkbox"/> Y | <input type="checkbox"/> N | WMS written drainage recommendations are available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input type="checkbox"/> N | WMS written field inspection report or map is available. | <input type="checkbox"/> Preliminary | <input type="checkbox"/> Final |
| <input type="checkbox"/> Y | <input type="checkbox"/> N | Field flagging and/or map-grade GPS data is available. | | |

Inspection Certified By:

Date:

K. K. K.

11/2/20

Sheet List	
Sheet Number	Sheet Name
A0.0	Title Sheet
A0.3A	Expenditures
A1.1	Site Plan
A1.2	Typical Civil Details
A1.3	Typical Civil Details
A2.1	Floor Plan
A2.2	Roof Plan
A3.1	Exterior Elevations
A3.2	Exterior Elevations
A4.1	Building Sections
A4.2	Building Sections
A6.3	Toilet Room Mounting Heights
A6.4	Roof Access Details
A6.9	Wall Type Notes
A6.7	Wall Types
A7.1	Door Schedule

Gamers


Indoor Training Facility

Anchorage, AK 99508

Lot 6A Block 1
Fairview Subdivision

PERMIT # n/a

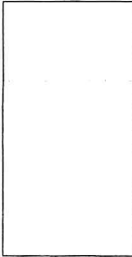
ARCHITECT:



FAULKENBERRY & ASSOCIATES, INC.
ARCHITECTS

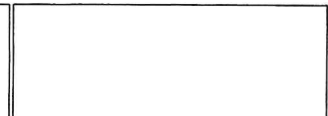
P.O. Box 220083 • Anchorage, Alaska 99522-0083 • (907)522-9193

OWNER:



FVA Project #:
2019_69
Project Start Date:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

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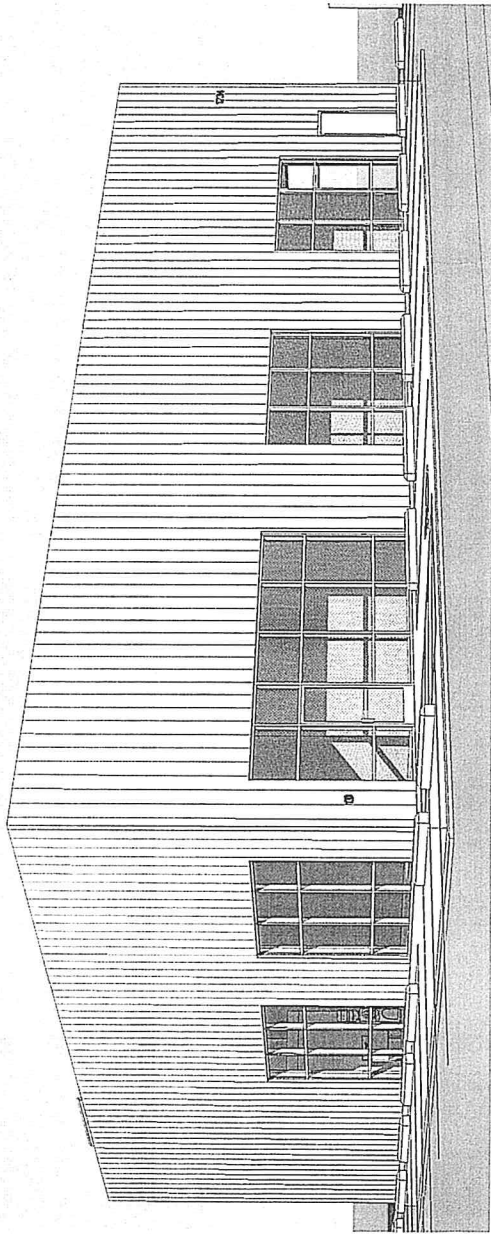


ARCHITECTS
& ASSOCIATES, INC.
Alaska Authorization #728050
P.O. Box 20083 - Anchorage, Alaska 99520-0083 - (907) 522-9193

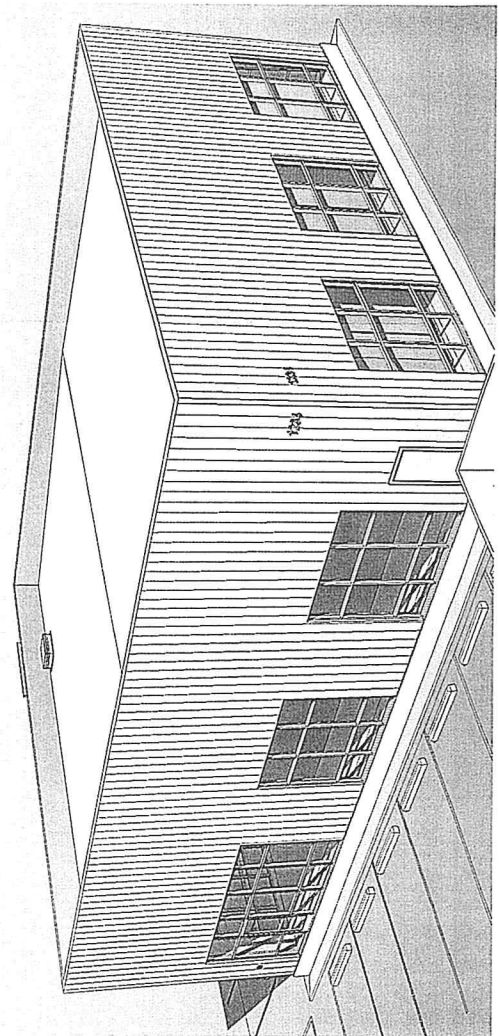
Permit #:
P.O. Box 20083 - Anchorage, Alaska 99520-0083 - (907) 522-9193

Architect: AK 65008
Firm: Faulkenberry & Associates, Inc.
Let GA Book 1
Indoor Training Facility
Gamers
Perspective
Drawings

Sheet Number
A0.3A



1 Front Left Perspective View

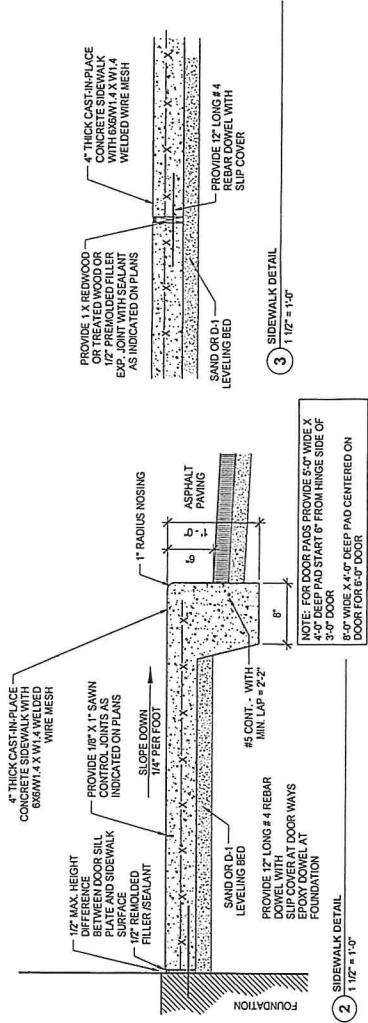
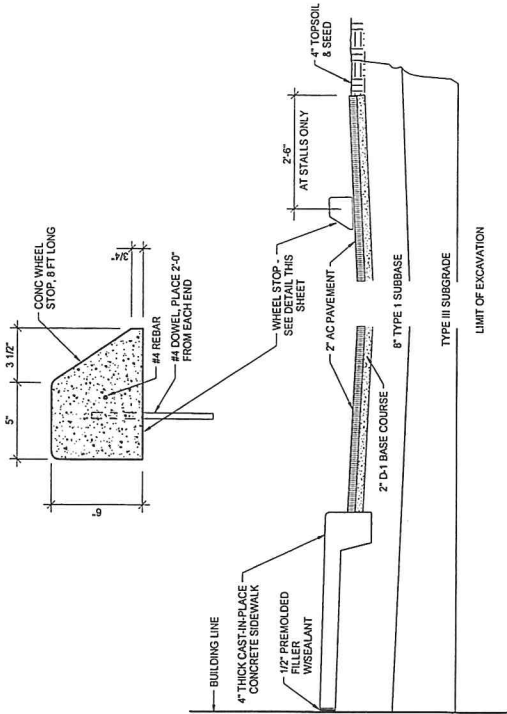


2 Front Right Perspective View

Drawings at 11x17 are 1/2 scale indicated



DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



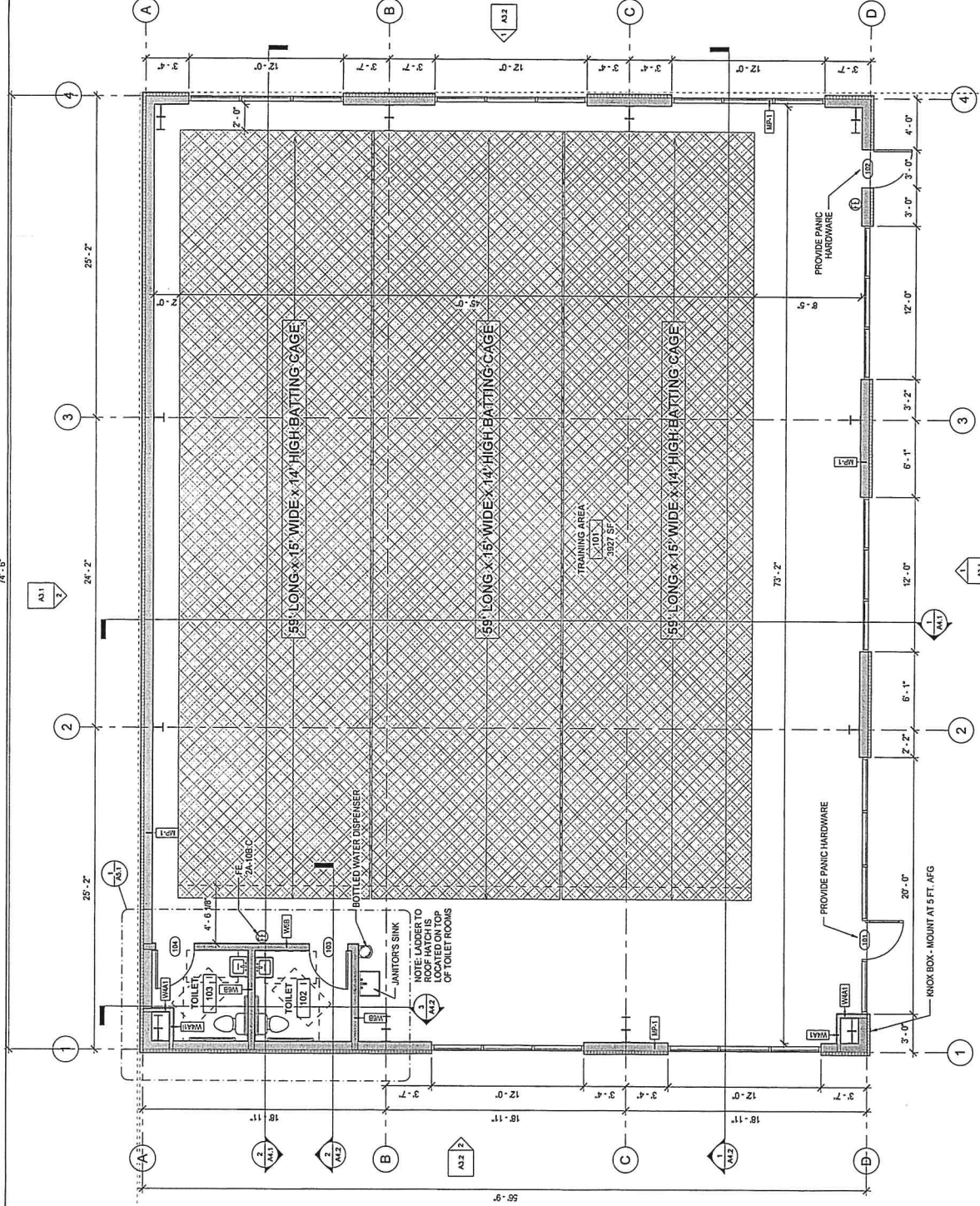
NOTE: FOR DOOR PAUS PROVIDE 5'-0" WIDE X 4'-0" DEEP PAD START 6" FROM HINGE SIDE OF 3'-0" DOOR
DOOR FOR 8'-0" DOOR



THE CONTRACTOR IS RESPONSIBLE TO
CHECK THE PLANS AND TO NOTIFY THE
ARCHITECT OF ANY ERRORS OR OMISSIONS
PRIOR TO THE START OF CONSTRUCTION.

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

1 Floor Plan
1/4" = 1'-0"



FVA Project #:
2019_69
Project Start Date:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

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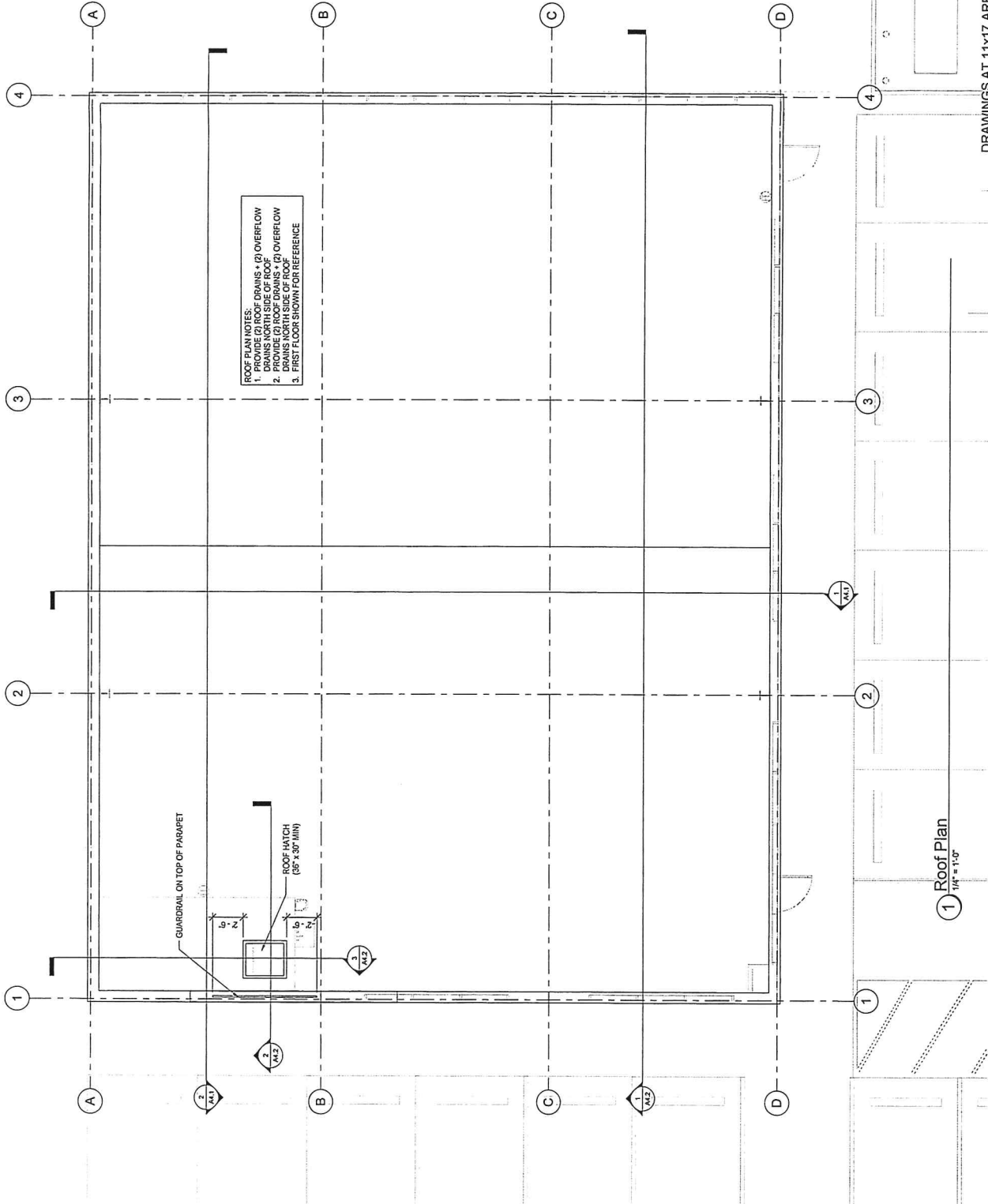


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Alaska Authorization #728050
P.O. Box 220030 - Anchorage, Alaska 99522-0030 - (907)722-9193



Gamblers
Indoor Training
Facility
Let GA Block 1
Fairview Subdivision
Anchorage, AK 99508

Owner:
Roof Plan
Sheet Number:
A2.2



1 Roof Plan
1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

Permit #:

Plotted on: 10/16/2019 12:13:03 PM

FMA Project #:
2019_69
Project Start Date:
09-17-19
Release Date: 10-01-19
Released for:
Preliminary Set 3

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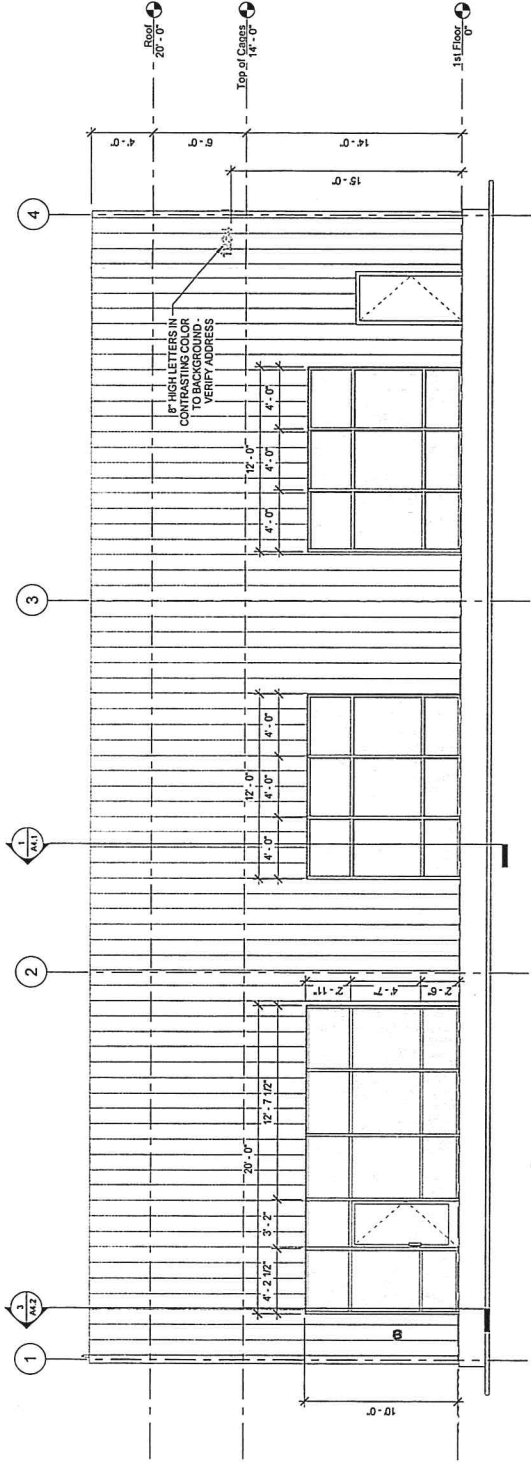


FAULKENBERRY & ASSOCIATES, INC.
ARCHITECTS
P.O. Box 220083 - Anchorage, Alaska 99523-0083 - (907) 522-9193
Alaska Authorization #728030

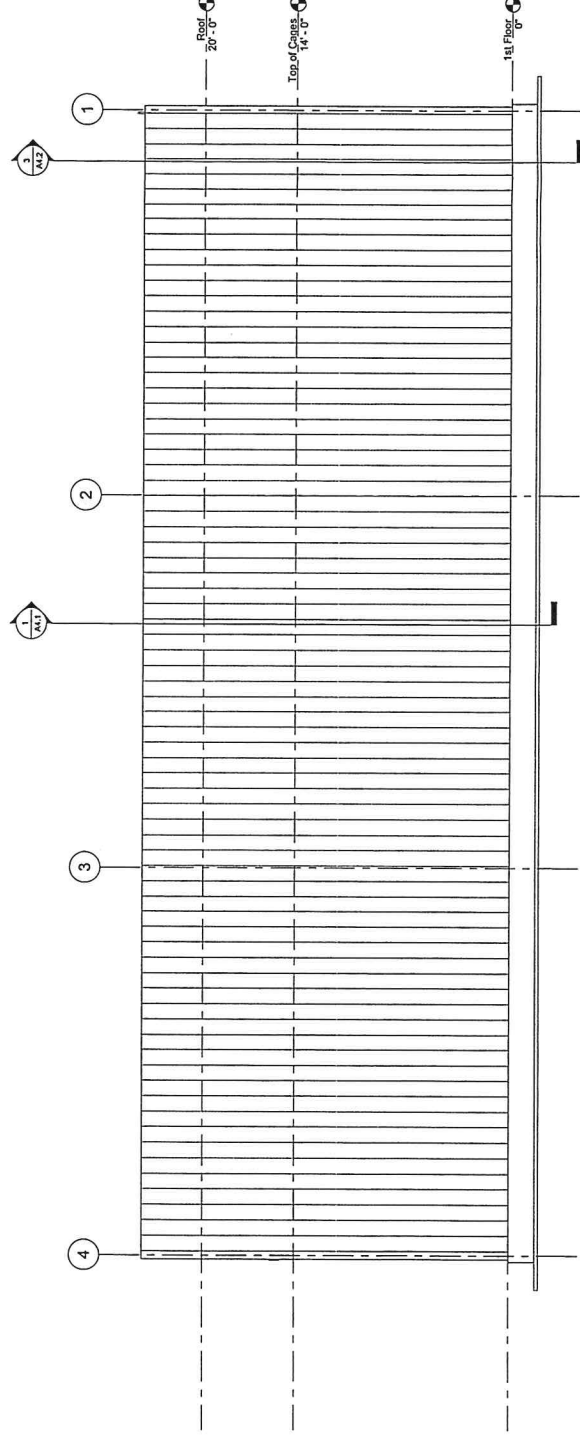
Gamers
Indoor Training Facility
Lafayette Subdivision
Anchorage, AK 99508

Client Name: Gamers
Drawing Title: Exterior Elevations
Sheet Number: A3.1

Plotted on: 10/04/2019 12:13:09 PM
Permit #: n/a



① South Elevation
1/4" = 1'-0"



② North Elevation
1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FVA Project #:
2019_69
Project Start Date:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

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ARCHITECTS
P.O. Box 220083 - Anchorage, Alaska 99523-0083 - (907) 522-9193
Alaska Authorization #12574

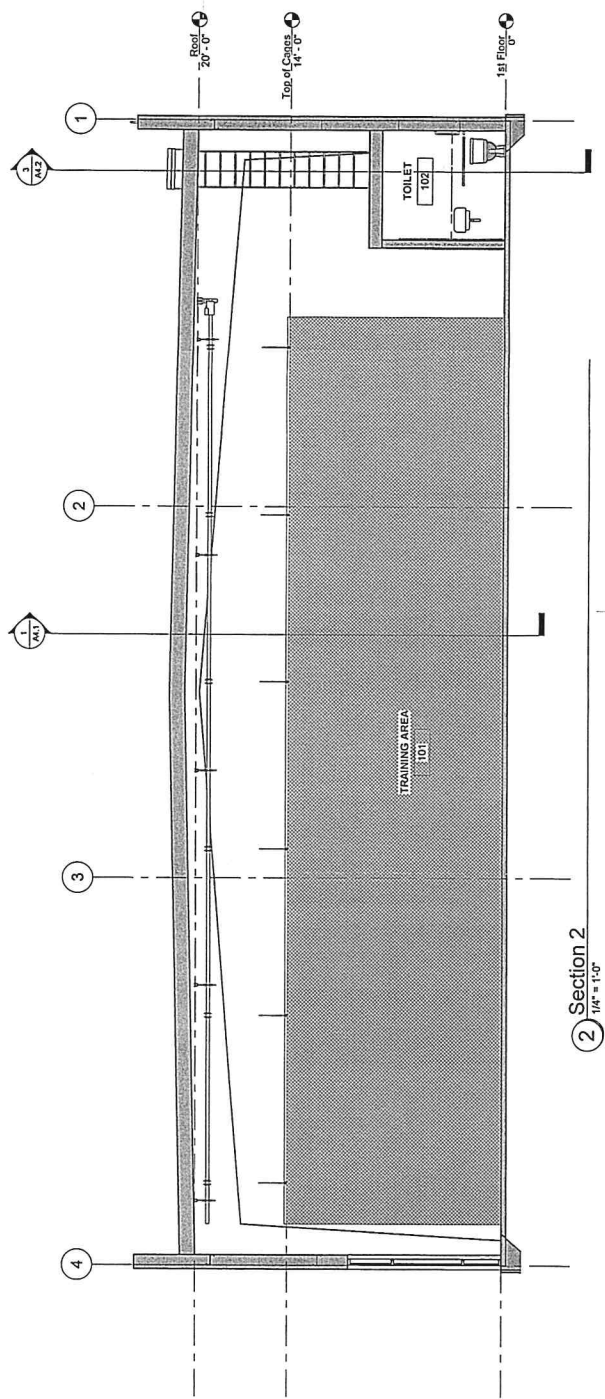
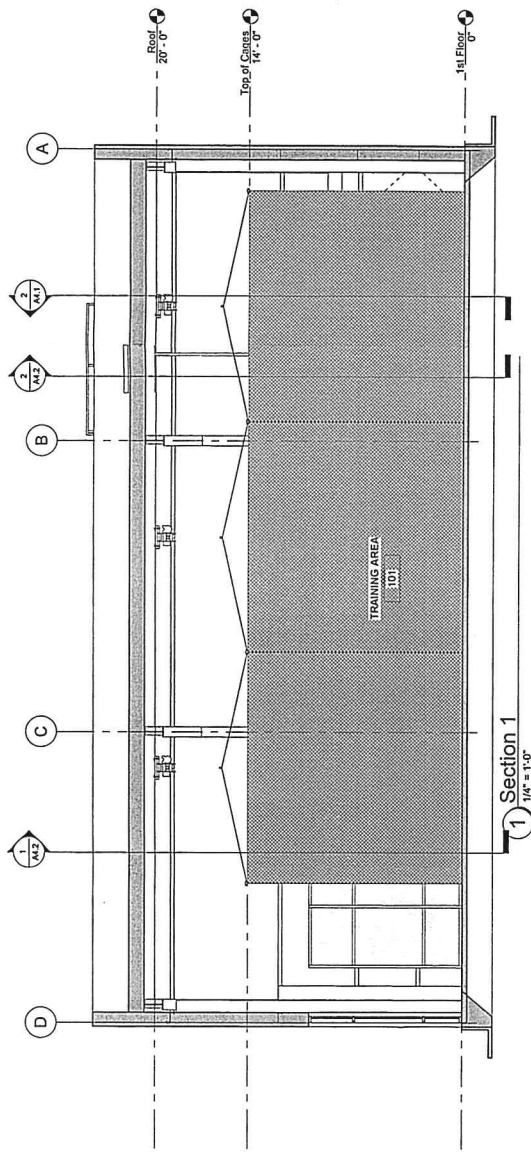


Gamblers
Indoor Training
Facility
Let's Block 1
Review Subdivision
Anchorage, AK 99508

Building Sections

A4.1

Plotted on: 10/04/2019 12:13:16 PM



DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

The image contains two architectural drawings of a mobile toilet unit.

Section 4 (Side Elevation): This drawing shows the side profile of the unit. It features a roof at 20'-0" and a top of casing at 14'-0". The unit is divided into a TRAINING AREA (101) and a TOILET (102). The toilet area includes a toilet fixture and a sink. The unit is shown on a 1st Floor. The drawing includes dimensions: 3'-0" for the height of the unit, 4'-0" for the width of the unit, and 1'-0" for the depth of the unit. The drawing is labeled "Section 4" and "1/4" = 1'-0"

Section 5 (Floor Plan): This drawing shows the floor plan of the unit. It features a roof at 20'-0" and a top of casing at 14'-0". The unit is divided into a TRAINING AREA (101) and a TOILET (102). The toilet area includes a toilet fixture and a sink. The unit is shown on a 1st Floor. The drawing includes dimensions: 3'-0" for the height of the unit, 4'-0" for the width of the unit, and 1'-0" for the depth of the unit. The drawing is labeled "Section 5" and "1/4" = 1'-0"

Section 5
1/4" = 1'-0"

Section 3
1/4" = 1'-0"

FVA Project #:
2019_69
Project Start Date:
09-17-19
Release Date: 10-03-19
Released for:
Preliminary Set 3

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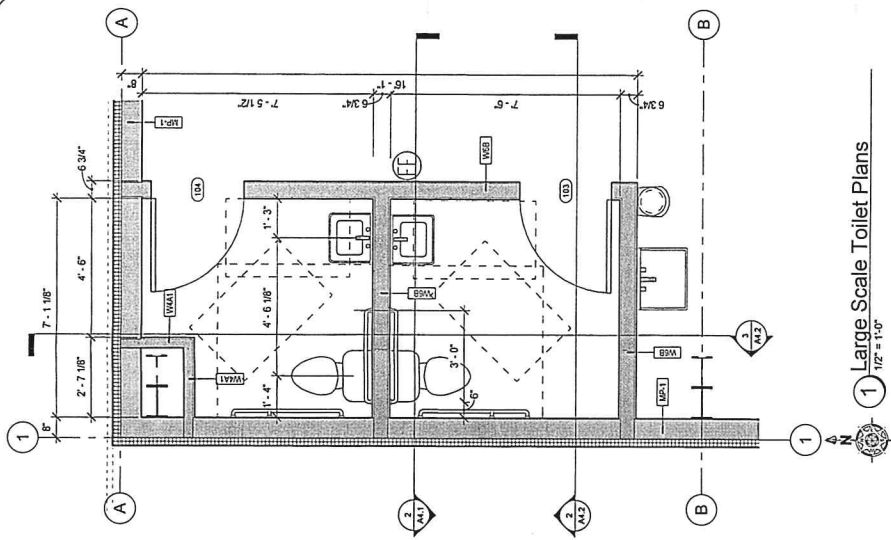
FAULKENBERRY
& ASSOCIATES, INC.
ARCHITECTS
Alaska Authorization #123090
P.O. Box 200033 - Anchorage, Alaska 99508-0033 - (907) 522-9153

Permit # N/A

Gameers
Indoor Training
Facility
Lot 6A Block 1
Fairview Subdivision
Anchorage, AK 99508

Sheet Name:
Enlarged Plans

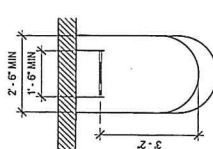
Sheet Number:
A5.1



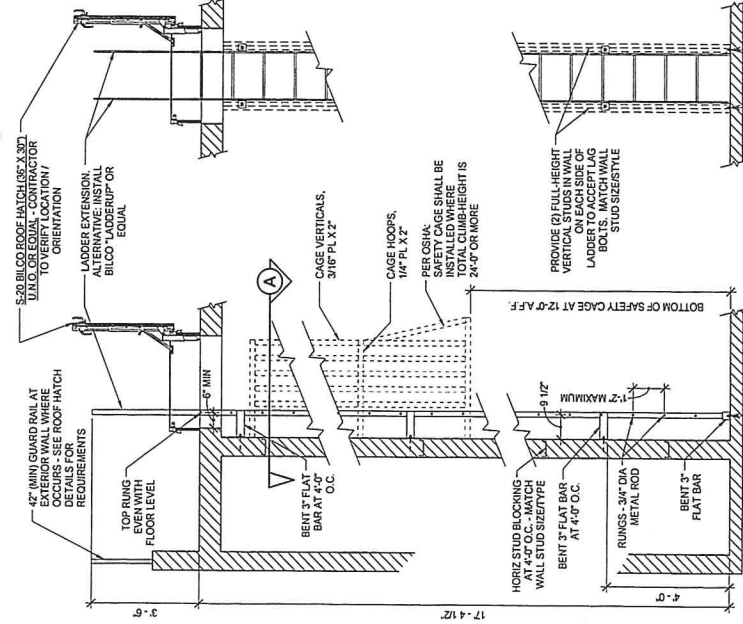
DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

Plotted on: 10/4/2019 12:13:18 PM

DRAWING NO. 44-37-16



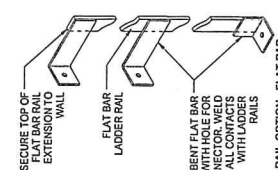
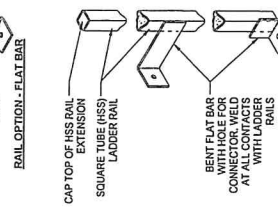
SECTION A



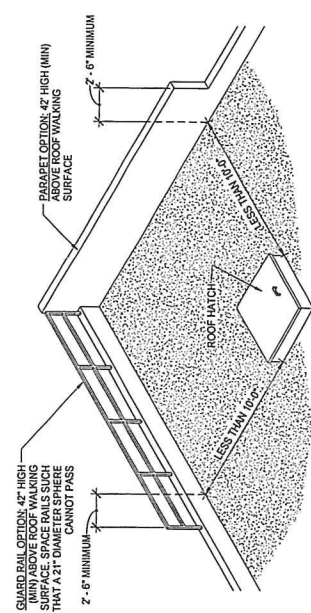
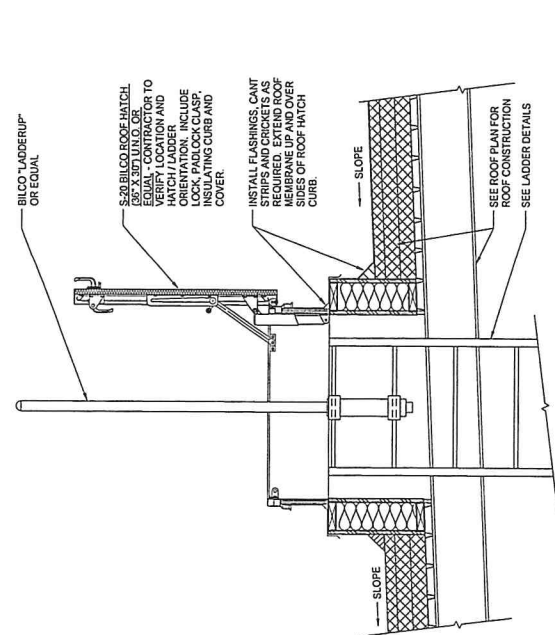
- NOTES:
1. SECURE LADDER TO EXISTING STRUCTURE WITH HILTI OWINGOLT, HILTI EPOXY SYSTEM OR OTHER SIMILAR FASTENING SYSTEM OR AS DIRECTED BY STRUCTURAL ENGINEER.
 2. LADDER RAILS: FLAT BAR RAILS MAY BE USED ONLY IF LADDERS IS LOCATED SUCH THAT THE TOP OF THE LADDER RAIL EXTENSIONS CAN BE SECURED TO THE WALL - OTHERWISE SQUARE TUBE (HSS) SHALL BE USED.

- PER IRC 23.20.306.5 PART B OF THE AMENDMENTS TO THE INTERNATIONAL MECHANICAL CODE 2003 EDITION:
1. LADDERS SHALL HAVE RUNG SPACING NOT TO EXCEED 14\"/>

RAIL OPTION - HSS



2 Roof Hatch Section
1\"/>



IRC SECTION 23.20.306.5 ROOF ACCESS
GUARDS SHALL BE PROVIDED WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET (3048 MM) OF A ROOF EDGE OR OPEN SIDE OF A WALKING SURFACE, AND SUCH EDGE OR OPEN SIDE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR, ROOF OR GRADE BELOW. THE GUARD SHALL BE CONSTRUCTED AS TO PREVENT THE PASSAGE OF A 21\"/>

3 Roof Hatch Guard Rail
1\"/>

1 Roof Ladder Detail
1\"/>

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



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 Alaska Authorization #172090
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Permit # 1913
 Picked on 10/16/2019 12:13:24 PM

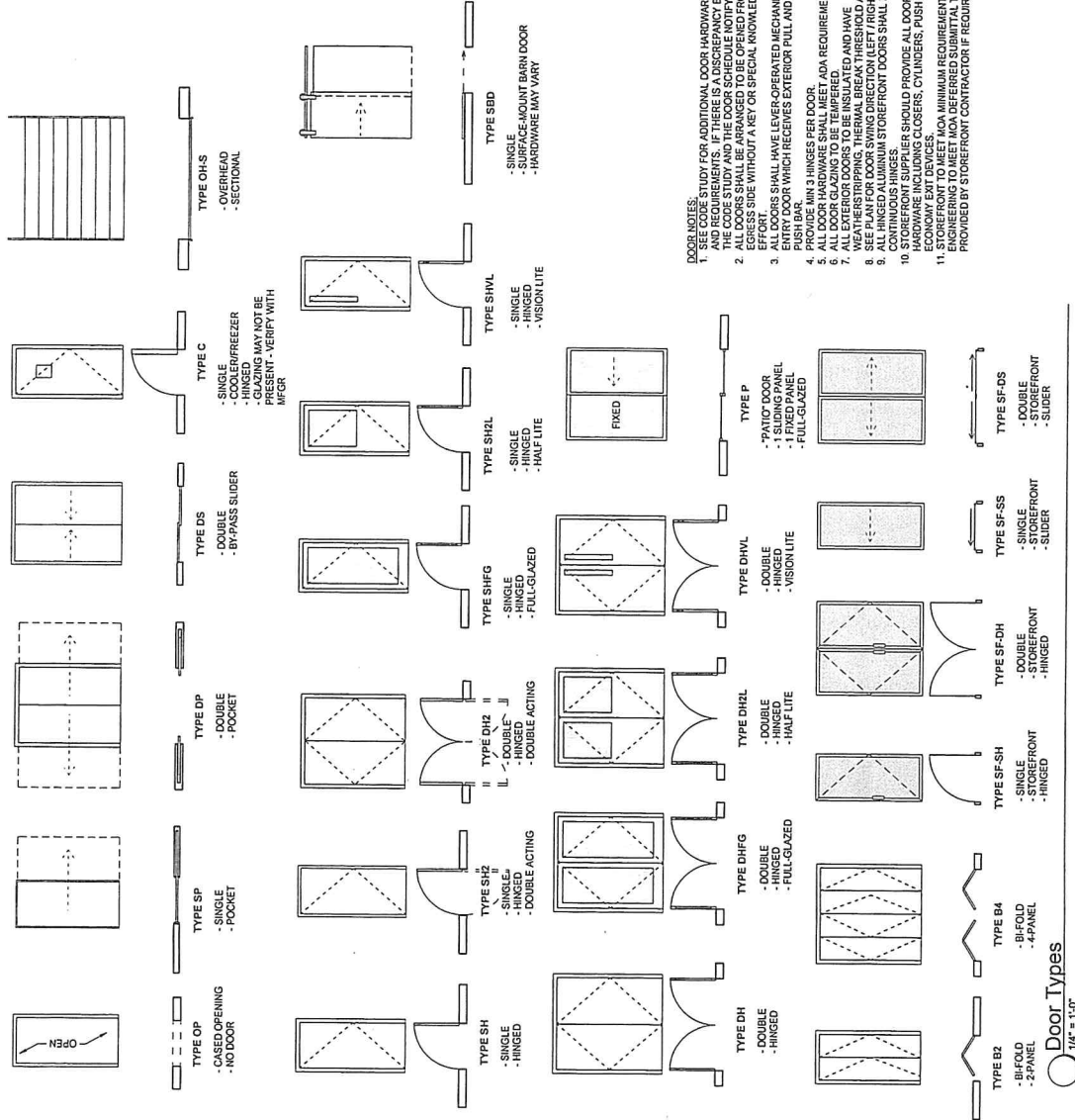
Anchorage, AK 99508
 Gateway
 Facility
 Indoor Training
 Door Schedule

A7.1
 Door Schedule

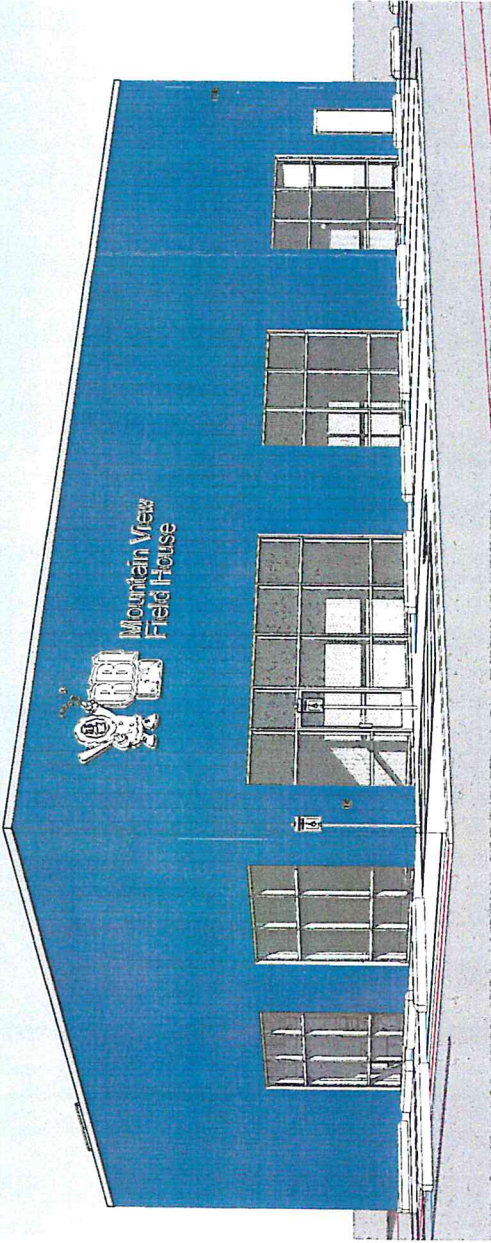
Door Schedule

Room	From	To	Operation	Size	Material	Door	Frame	Glazing	Fire Rating	Sill	Comments	Mark
101	101	101		3'-0" x 7'-0"								101
102	101	101		3'-0" x 6'-8"						0"		102
103	102	101		3'-0" x 6'-8"						0"		103
104	103	101		3'-0" x 6'-8"						0"		104

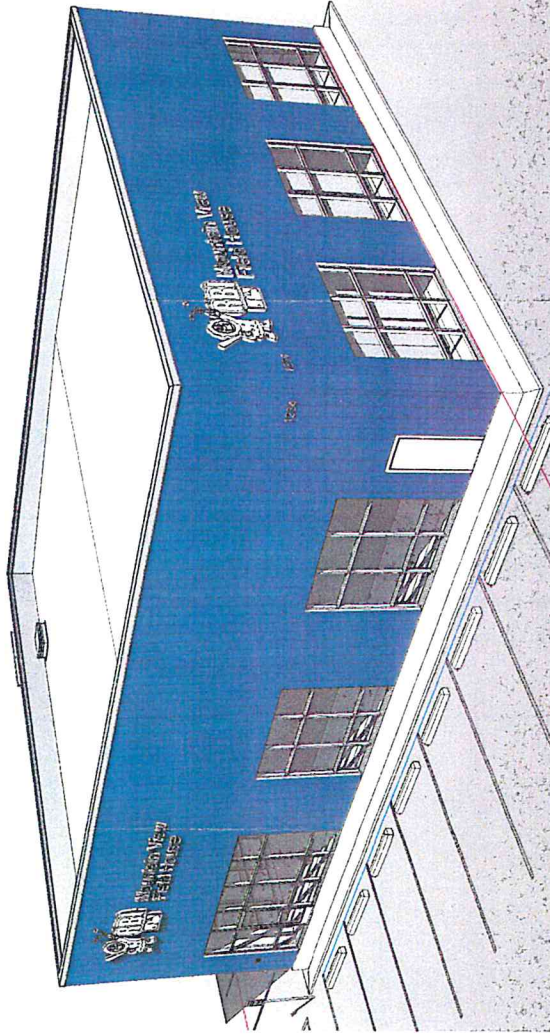
1st Floor



DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED
 1/4" = 1'-0"



1 Front Left Perspective View



2 Front Right Perspective View

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED

FVA Project #
2019-69
Project Start Date:
09-17-19

Release Date: 10-03-19
Released for:
Preliminary Set 3

11-10-2020 Added Colors
11-13-2020 Added Sign



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& ASSOCIATES, INC.
ARCHITECTS
Alaska Authorization #72930
P.O. Box 220083 - Anchorage, Alaska 99522-0083 - (907) 222-9193



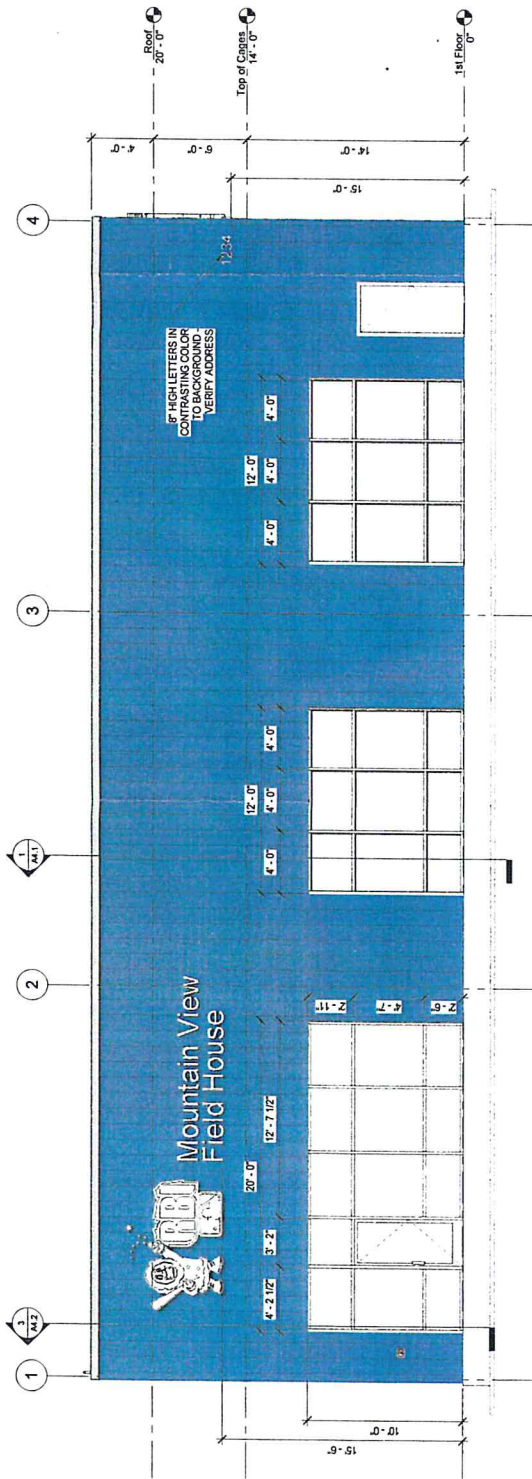
Permit # N/A

Gamers
Indoor Training
Facility
Lot 6A Block 1
Fairway Subdivision
Anchorage, AK 99508

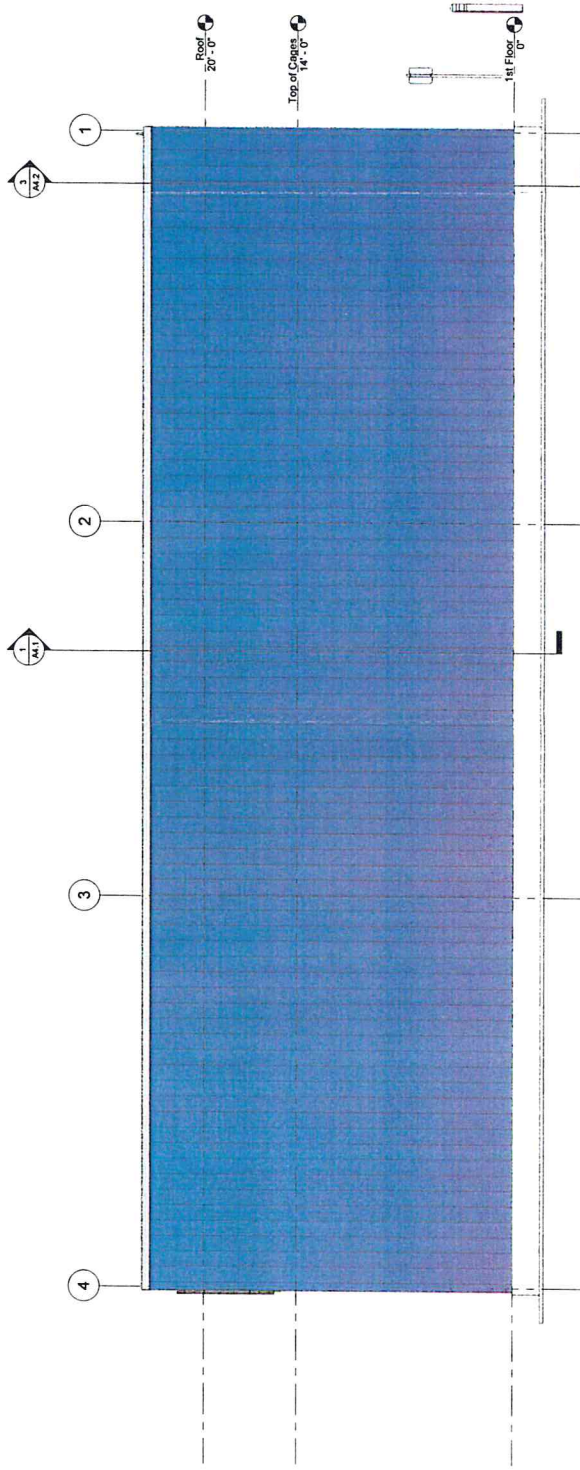
Perspectives

A0.3A

Printed on: 11/13/2020 3:13:35 PM

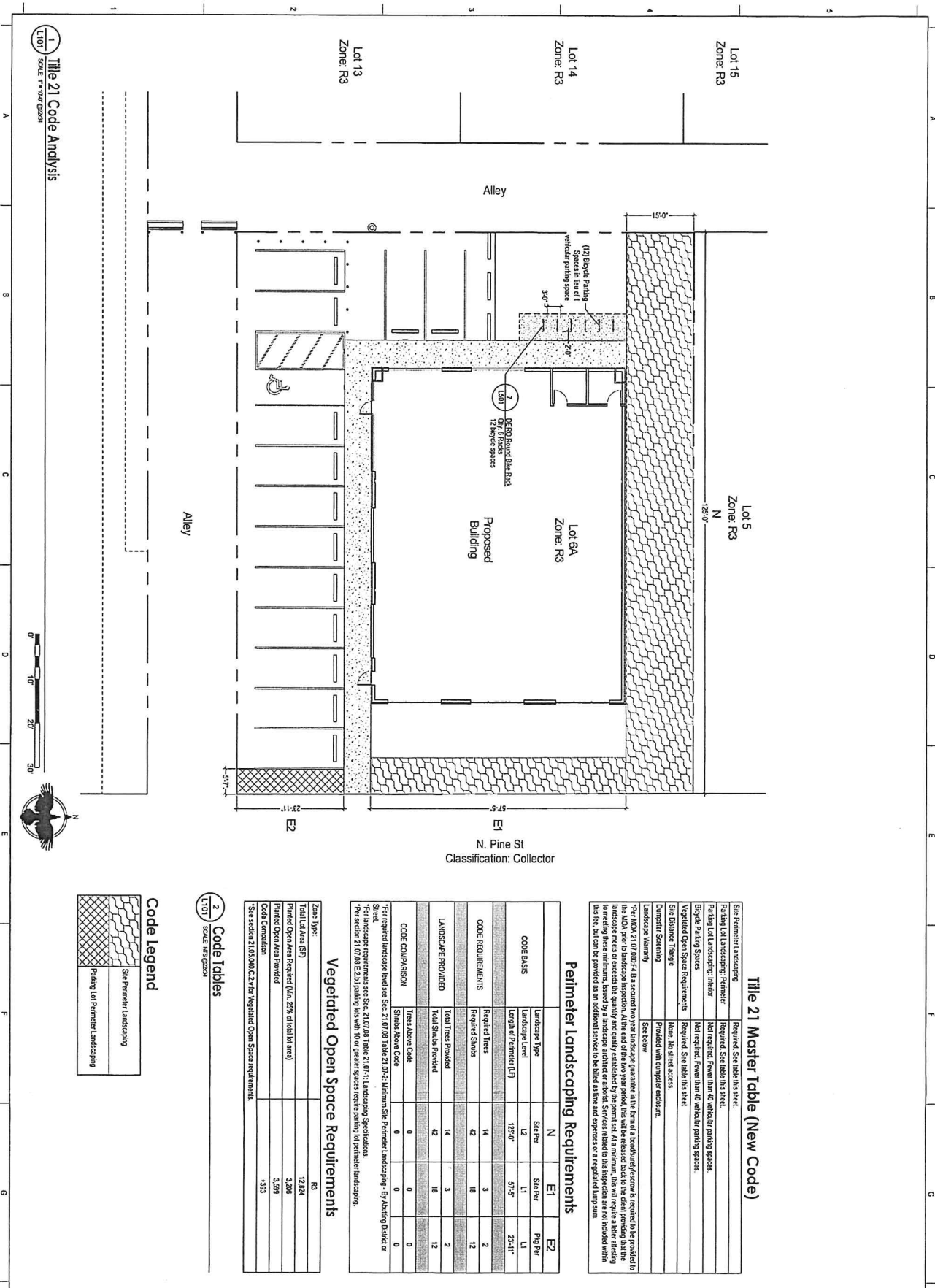


1 South Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"

DRAWINGS AT 11x17 ARE 1/2 SCALE INDICATED



Title 21 Master Table (New Code)

Size	Permitted Landscaping	Required	See table this sheet
Parking Lot Landscaping - Perimeter	Required	See table this sheet	
Parking Lot Landscaping - Interior	Not required	See table this sheet	
Bicycle Parking Spaces	Not required	See table this sheet	
Vegetated Open Space Requirements	Required	See table this sheet	
Site Distance Triangle	None	No street access.	
Dumpster Screening	Required	See table this sheet	
Dumpster Screening	Required	See table this sheet	
Landscaping Warranty	Required	See table this sheet	

Perimeter Landscaping Requirements

		N	E1	E2
CODE BASIS	Landscaping Type Landscaping Level Length of Perimeter (L) ¹	Size Per L2 12'-0"	Size Per L1 5'-3"	Prog Per L1 23'-11"
CODE REQUIREMENTS	Required Trees	14	3	2
	Required Shrubs	42	18	12
	Total Trees Provided	14	3	2
LANDSCAPE PROVIDED	Total Shrubs Provided	42	18	12
CODE COMPARISON	Trees Above Code	0	0	0
	Shrubs Above Code	0	0	0

¹For required landscaping that has Size: 21' to 70' Table 21.10.2, Minimum Size Perimeter Landscaping by Aiding District or Street.

²For landscaping requirements see Sec. 21.10.0.3 Table 21.10.1, Landscaping Specifications.

³For required landscaping that has Size: 71' to 100' Table 21.10.3, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁴For required landscaping that has Size: 101' to 150' Table 21.10.4, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁵For required landscaping that has Size: 151' to 200' Table 21.10.5, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁶For required landscaping that has Size: 201' to 250' Table 21.10.6, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁷For required landscaping that has Size: 251' to 300' Table 21.10.7, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁸For required landscaping that has Size: 301' to 350' Table 21.10.8, Minimum Size Perimeter Landscaping by Aiding District or Street.

⁹For required landscaping that has Size: 351' to 400' Table 21.10.9, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁰For required landscaping that has Size: 401' to 450' Table 21.10.10, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹¹For required landscaping that has Size: 451' to 500' Table 21.10.11, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹²For required landscaping that has Size: 501' to 550' Table 21.10.12, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹³For required landscaping that has Size: 551' to 600' Table 21.10.13, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁴For required landscaping that has Size: 601' to 650' Table 21.10.14, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁵For required landscaping that has Size: 651' to 700' Table 21.10.15, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁶For required landscaping that has Size: 701' to 750' Table 21.10.16, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁷For required landscaping that has Size: 751' to 800' Table 21.10.17, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁸For required landscaping that has Size: 801' to 850' Table 21.10.18, Minimum Size Perimeter Landscaping by Aiding District or Street.

¹⁹For required landscaping that has Size: 851' to 900' Table 21.10.19, Minimum Size Perimeter Landscaping by Aiding District or Street.

²⁰For required landscaping that has Size: 901' to 950' Table 21.10.20, Minimum Size Perimeter Landscaping by Aiding District or Street.

²¹For required landscaping that has Size: 951' to 1000' Table 21.10.21, Minimum Size Perimeter Landscaping by Aiding District or Street.

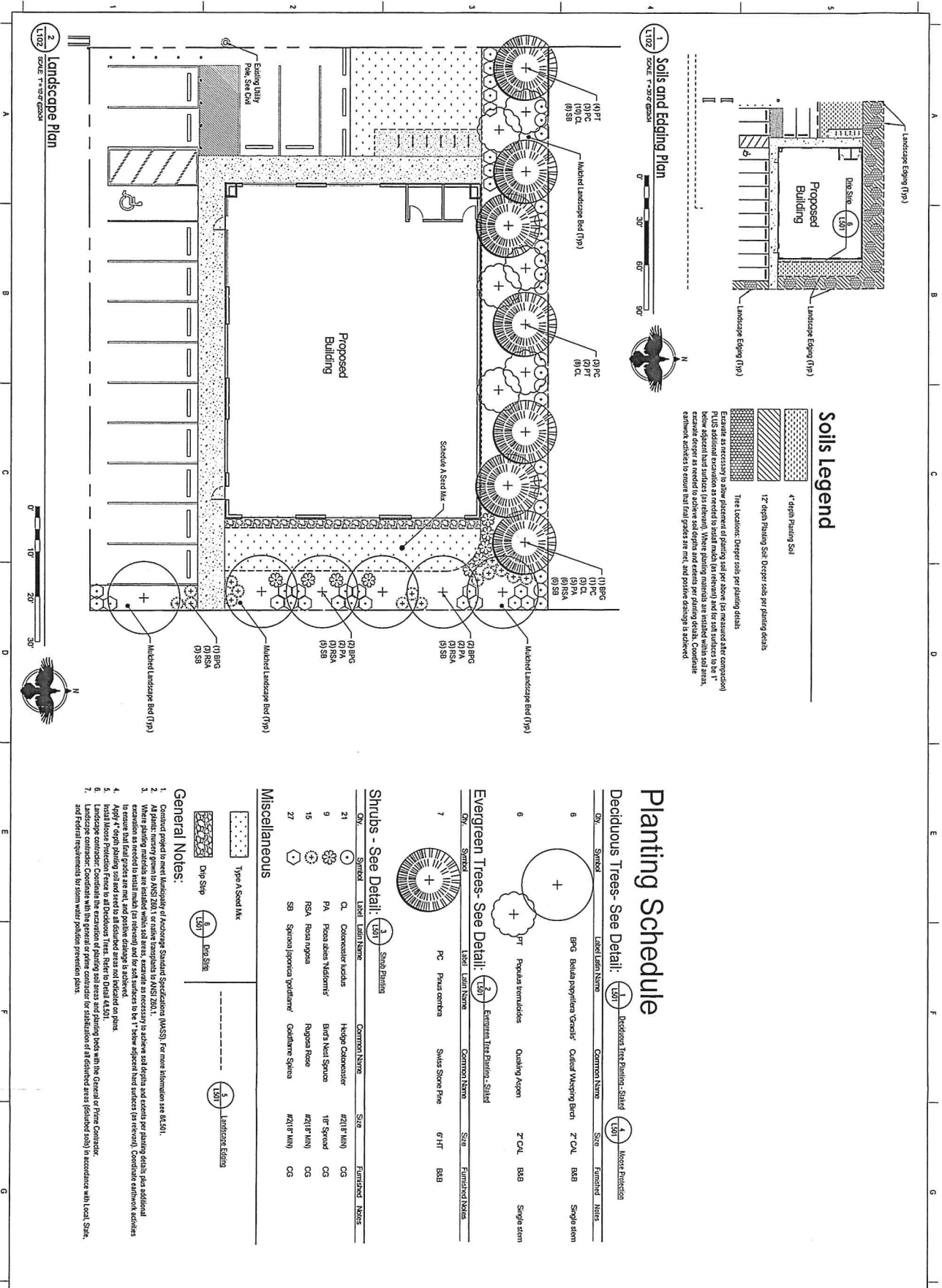
Vegetated Open Space Requirements

Zone Type	R3
Total Lot Area (SQ)	12,224
Required Open Area (Min. 25% of total lot area)	3,056
Provided Open Area (Min. 25% of total lot area)	3,597
Code Compliance	+541

2 Code Tables
L101 SCALE 1"=30'-0"

Code Legend

Site Perimeter Landscaping	Required
Parking Lot Perimeter Landscaping	Required



MASS NOTES:

1. Continue project to meet Municipality of Anchorage Standard Specifications (MASS)
2. Any reference to planting soil is equivalent to "topsoil as defined in MASS"
3. Any reference to planting soil is equivalent to "topsoil as defined in MASS"
4. Materials
- 4.1. Items below either replace or add to MASS requirements.
- 4.2. Compatible products by other manufacturers may be considered provided they meet the same performance criteria as those specified in this list. Type and grading of materials, dimensions, finishes, and textures.
- 4.3. Planting beds: Construct as shown on the drawings and as described herein. Prior to placement of any planting soil in planting beds, the contractor must prepare the soil to a depth and size specified and must notify the engineer for inspection. The contractor must ensure that the planting soil is free of rocks, debris, and other materials. 1/2" landscaping and the Drawing.
- 4.4. Planting soil and amended soil must be tested to all live and shade plantings within the project area. No separate report will be made. Planting soil must be tested by a laboratory approved by the engineer and inspected by the engineer before approval is granted for use on the project.
- 4.5. Landscaping edging: Aluminum CURVE-RITE 3000 series, 3/8" x 3/8", with nail finish. All stakes must be made of 1/2" aluminum stakes with nail finish. Connectors: Fitches with CURVE-RITE 3000 series corner module connectors. Do not bond or create edging at corners or at changes of direction.
5. Inspection
- 5.1. Inspection schedule is provided below. Highly landscape installed at least (9) fire working days prior delivery of plant material.
6. Submittals
- 6.1. Submittal schedule is provided below. Follow dates in table.

MASS NOTES

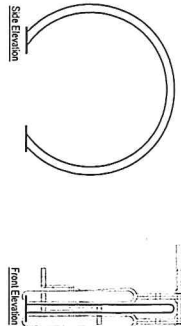
Submittal Type	Submittal Number	Submittal Date	Approved Date
Plant Material			
Landscaping Edging			
Landscaping Fences			
Wood Stakes and Fences			

Inspection Checklist

Inspection Type	Inspection Date	Approved	Notes
Plant Material Acceptance (Prior to installation)			
Landscaping Edging Inspection (Upon completion of all edging and soil placement)			
Landscaping Fences Inspection (Upon completion of all fences and soil placement)			
Wood Stakes and Fences Inspection (Upon completion of all stakes and fences)			
Landscaping Acceptance Inspection (Upon completion of the Plant Establishment Period)			

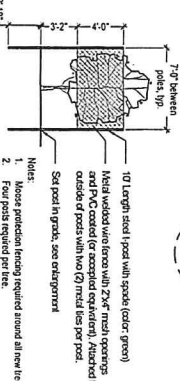
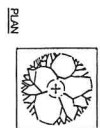
Construction Checklist

SCALE: 1/8" = 1'-0"



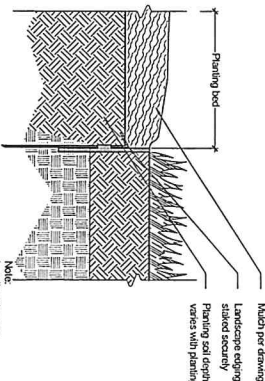
DERO Round Bike Rack

SCALE: 1/8" = 1'-0"



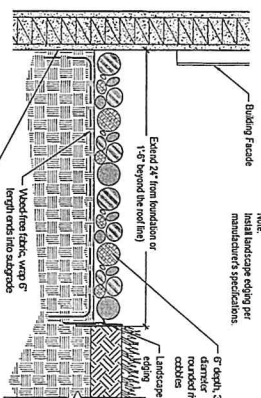
MOOSE PROTECTION

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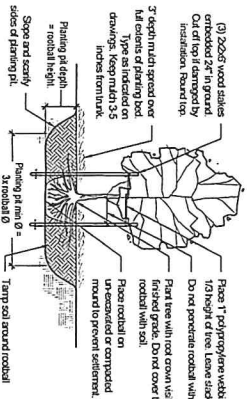
LANDSCAPE EDGING

SCALE: 1/8" = 1'-0"



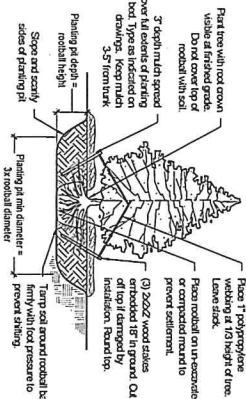
Drip Ship

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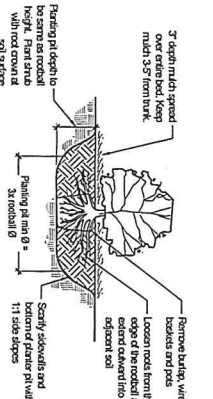
DECIDUOUS TREE PLANTING - SIKED

SCALE: 1/8" = 1'-0"



EVERGREEN TREE PLANTING - SIKED

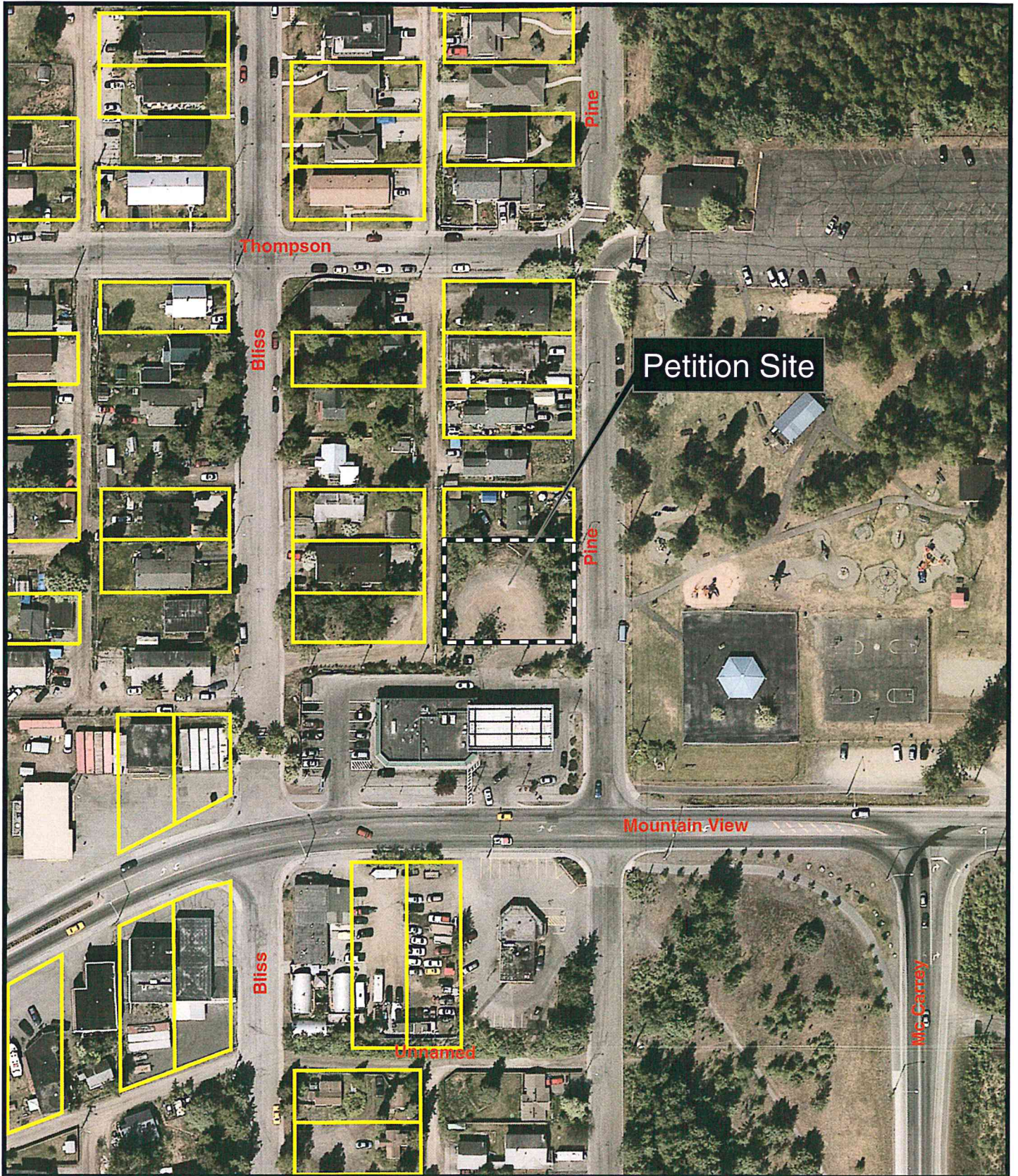
SCALE: 1/8" = 1'-0"



SHrub PLANTING

SCALE: 1/8" = 1'-0"

2020-0050



2020-0050

