



Delaney Park Master Plan

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Municipality of Anchorage
Department of Parks & Recreation



DELANEY PARK DRAFT MASTER PLAN

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I. INTRODUCTION

Downtown Anchorage has long been considered the urban center of Alaska, with a strong economic base, cultural and historic attractions, natural beauty and diverse recreation opportunities for both residents and visitors to enjoy. Anchorage is defined by our natural setting between the Chugach Mountains and Cook Inlet, and our diverse and adventuresome population. The history of Anchorage's 90 years as a community is laced with the pioneer spirit of discovery, wilderness challenges, aircraft explorers, statehood, and urbanization. These experiences have shaped the lives of the people who live, work and play in Anchorage, and created a strong connection to the natural environment.



Delaney Park, as one of Anchorage's oldest and most important public spaces, has witnessed most of the events of the past 90 years and mirrors our experiences as a community. It is enjoyed by thousands of residents and visitors each year for a variety of activities and events. The park is the cultural and historic symbol for Anchorage. It was set aside as a firebreak during the initial establishment of Anchorage as a railroad town site in 1915 and used as a park since the 1920s. Formally dedicated in the 1960s and named for one of Anchorage's first Mayors, James Delaney, the park has been a host to many major public events including the statehood celebration, the visit of Pope John Paul II, the Winter Olympic bid, and Scott Gomez Stanley Cup victories. In addition, the park hosts many citywide festivals and events including the Fourth of July Celebration, the Fur Rondy Winter Celebration and a variety of athletic events. Delaney Park is heavily used by residents for walking and passive recreation throughout the year.



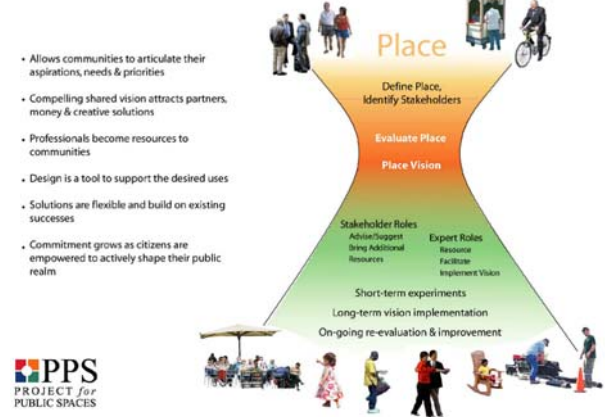
As Anchorage begins the rebuilding process for its great parks, there are many lessons to be learned from other communities, as we ask

ourselves “what should our parks be used for?” and “what should they look like?” One of the most important lessons is that the public must be engaged in this process in meaningful ways. The Anchorage Parks and Recreation Department hired the New York City based non-profit organization, Project for Public Spaces, to facilitate a series of public workshops regarding the future use and vision of Delaney Park. Over 100 residents attended the workshop each night.

The outcome of this public process established a program of activities and improvements needed to support those activities. Many small-scale improvements were identified that can be phased in quickly to bring immediate benefits to the park along with long-term improvements that may take years and millions of dollars to implement. This information was integrated into the previous planning workshops held in 2004 and reviewed with the Citizen’s Advisory Group (CAG) established by the Mayor. The CAG continued to provide public guidance and oversight and was the primary review and advisory body to the Park Commission in preparation of this document. The process is intended to help establish relationships with a host of local partners who can work together to implement the improvements that were recommended in the draft workshop report.

In addition, the Parks and Recreation Department has worked closely with other related planning projects that are underway in the Downtown area. The most significant project is the Anchorage Downtown Comprehensive Plan, which is in the final stages of development. This document will determine the overall land use patterns, transportation and design guidelines for the Downtown District of which Delaney Park is the southern boundary. Other significant projects include the E Street Corridor, 9th Avenue improvements, the Anchorage Civic and Convention Center and the Museum Expansion Project. The department has worked closely with these planning teams to

Place/Community Driven Approach



develop a comprehensive approach to the Delaney Park Master Plan through the office of Downtown Projects.

The public was asked to review and make comments on the Draft Delaney Park Master Plan released November 14th, 2006 and participate in a workshop held in early December. Public comment and involvement continued after the release of an updated draft released on March 1st, 2007. Additional public involvement and comments will be necessary at public hearings with both the Anchorage Park Commission on July 12, 2007 and the Planning and Zoning Commission.



The ultimate goal is to adopt a master plan and comprehensive management plan for Delaney Park use and development that provides a framework that places the park within Anchorage's greater urban fabric. The plan will respect the overall open and grassy character of Delaney Park while enhancing connections to the surrounding Downtown District to the north and residential districts to the south, west and east. Delaney Park will remain Anchorage's most civic public open space and gateway to Downtown and it will play a pivotal role in the revitalization and development of the Downtown District.

Project Time Line

Following is a timeline of the extensive Delaney Park planning and public involvement process. It is anticipated that final approval of the master plan will occur at the Parks and Recreation Commission in August of 2007 and at the Planning and Zoning Commission in the fall of 2007 (see schedule below). Initial phase improvements using the recently passed 2007 Park Bond funds will begin in the summer of 2008.

- Draft Memorial Policy to Park Commission
October 12, 2006 - completed

- CAG Meeting, October 17, 2006 - completed
- Master Plan Public Review Document prepared November 14, 2006 – Public Release to Park Web Page - completed
- CAG Meeting, November 28, 2006 - completed
- Public Workshop Draft Plan, December 5, 2006- completed
- Joint Workshop Assembly and Park Commission, 12:00-2:30 PM December 8, 2006 (includes Downtown Plan) - completed
- Introduction of Draft Plan to the Parks & Recreation Commission, No Action, December 14, 2006 - completed
- CAG Meeting, January 9, 2007 – completed
- CAG Meeting, January 30, 2007 – completed
- CAG Meeting, March 5, 2007 – completed
- Park Bond Passed- \$250,000 secured for Delaney Park improvements, April 3, 2007
- Open House, Veterans Memorial Redevelopment, April 24, 2007 - completed
- CAG Meeting, June 6, 2007 - completed
- Park Commission public hearing and master plan approval, July 12, 2007
- Planning & Zoning Commission Public Hearing - Fall, 2007
- Urban Design Commission shall hold public hearings on any new improvements proposed for Delaney Park prior to construction as part of the UDC normal public landscape review process.

II. URBAN CONTEXT AND ANALYSIS

Delaney Park occupies 14 city blocks, approximately 38 acres, and forms the southern boundary of Downtown Anchorage. The uniqueness of this large linear park within a downtown setting is an important element that few communities can boast of.

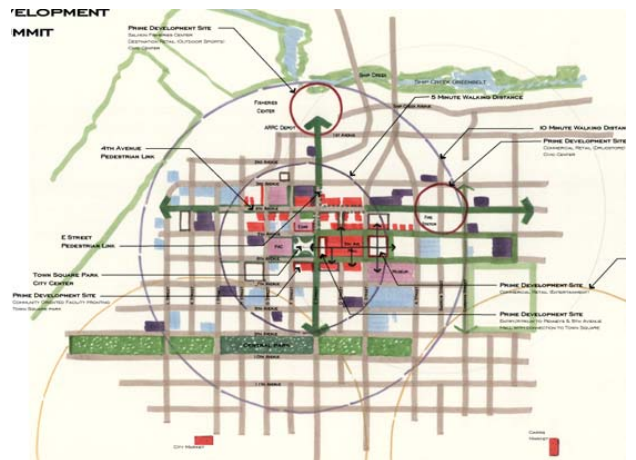
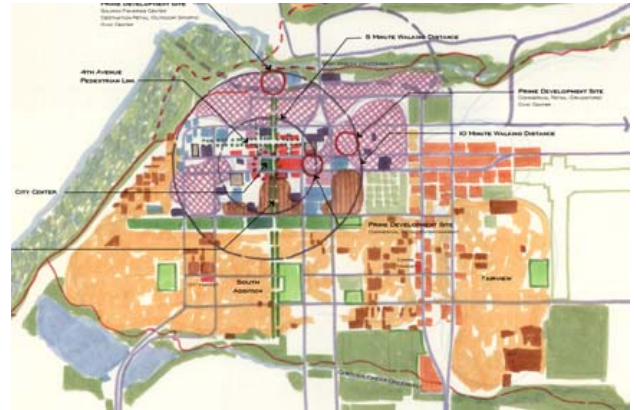
New growth in residential housing will likely occur just to the north along 9th and 8th Avenues, placing greater pressure for a variety of public uses on the park. Current plans to improve pedestrian links along E Street and 9th Avenue from Fairview to Downtown will be integral to the “Outer Park” as it relates to surrounding land uses. The Anchorage Downtown Plan is currently under way and will provide guidance as to the character of the area just north of Delaney Park as well as the park itself.

While the park is well loved by the community, the park’s aging facilities are in need of upgrades and improvements to meet these growing uses and to improve the overall appearance and maintainability of the park for future generations. These and other issues make it important to address Delaney Park now.

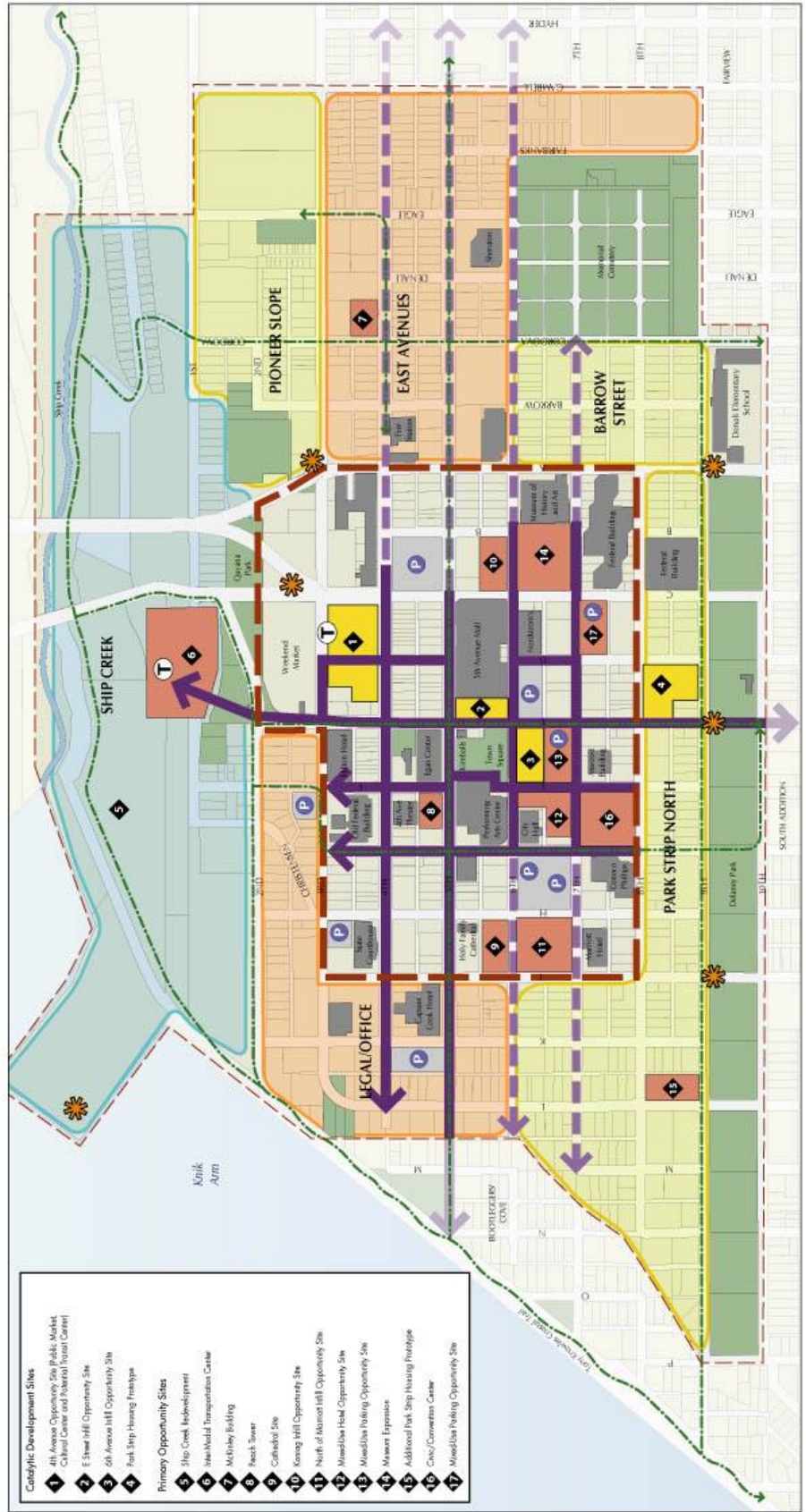
The “Outer Park”

A park’s periphery, or “outer park,” is all of the adjacent places and streets that draw people to the area, keeping the park vibrant with a steady flow of users. The “outer park” is what successfully integrates the inner core of the park into the city fabric and allows the park to thrive.

If Delaney Park is to achieve its potential as an important downtown place, fast moving traffic on all streets surrounding the park will need to be addressed. Currently, most of the streets in Downtown Anchorage are one-way and designed to move traffic “through” rather than “to” the downtown area.



This image is courtesy of the March 2007 Public Hearing Draft of the Anchorage Downtown Comprehensive Plan. This image is intended to show the relationship of Delaney Park to important sites downtown. It has not yet been adopted by the Anchorage Assembly.



Legend

- Downtown Study Area
- Downtown Core
- Park/Open Space
- Residential Building Footprint*
- Catalytic Development Site
- Opportunity Site
- Ship Creek
- Downtown Mixed Use Footprint*
- Downtown Mixed Use Focus on Residential
- Gateway
- Tram Station
- Parking Structure
- Primary Pedestrian Connection
- Secondary Pedestrian Connection
- Blue Pedestrian Connection

*These footprints are intended to better orient the viewer to the map and do not suggest that these are the only buildings of significance in downtown.

Scale: 0 275' 550' 825'

North Arrow

Strategy Diagram

anchorage.downtown.comprehensiveplan 33

Denali Elementary School is one of the major anchors of the neighborhood. The accessibility between Delaney Park and the school is very poor, not only because of the traffic on adjacent streets but also because of the unattractive pedestrian tunnel and wall along A St. Improvements to this pedestrian access point should be considered to strengthen the school-park connection and to improve public safety. In addition, increased partnerships with the school staff and students for potential “Art in the Park” projects and physical education can strengthen the link between the school and the park.



The connection to the South Addition subdivision is already strong and will remain the primary residential area that provides “eyes on the street” for public safety and security to the park. Improving pedestrian connections along 10th Avenue and extending links to Sagaya City Market at 13th Avenue and I Street would further solidify the connection to the park and this primarily single-family residential area. Frontier Park provides playground and sledding as well as a pedestrian connection to the neighborhood.



It is important in developing a master plan for Delaney Park to use improvements as a catalyst for redefining the broader downtown area. As the Downtown Plan evolves the north edge of the park into a higher density residential and commercial mixed-use district, the area surrounding the park will become the center of a highly desirable place to live and work. The park will play a key role in continuing to improve property values, making the surrounding area attractive to residential developers, as is already evident with new multi-family housing developing within the Downtown area, Fairview and South Addition.



The Alaska Pioneer Home provides senior citizen housing adjacent to the park. Both physical and programmatic links could be designed to strengthen connections to the park.

Improvements should include better trail and sidewalk connections and improved winter maintenance for safe winter walking. In order to strengthen the link between the park's history and the residents of the home, activities and events should strengthen the historic ties to the park by drawing from pioneer Alaskan life. This could include storytelling or other similar programs that engage many generations of citizens.

The Museum Expansion Project at the Alaska Museum of History and Art provides an excellent opportunity to emphasize connections along both A and C Streets. This could include physical improvements for pedestrian safety such as wider sidewalks and traffic calming elements as well as programmatic links for history and art programs like art in the park events.

The Federal Building also provides opportunities within this predominantly vehicular zone to address pedestrian safety and comfort as well as parking through the potential for shared parking strategies.

The new Dena'ina Civic and Convention Center on 7th Ave. between G and F Streets presents an opportunity to connect the park to a larger visitor population than is now served by Delaney Park. Improved signage, way-finding, and pedestrian amenities can provide a key link along F Street connecting to the Performing Arts Center, City Hall and the Egan Center. The pedestrian crosswalk at F Street should be considered to provide additional safe access to the park.

The E Street Pedestrian Corridor project provides the greatest opportunity to link the park to Downtown Anchorage with seven parks and public spaces now existing along the route between 10th Avenue and 2nd Avenue. It also provides an opportunity to reach south to Valley of the Moon Park and the Chester Creek



Greenbelt. To the north, this corridor will provide wider, heated sidewalks, landscaping, way-finding and gateways to focus both residents and visitors to the park, shops, government offices and public facilities.

The design and development of 9th Avenue will be important as to how effective the park's outer edge will be in improving residential and commercial development to the north. An improved pedestrian zone that includes wider sidewalks set back from the street, buffers from fast traffic, safe pedestrian crosswalks and way-finding elements will go a long way in connecting the park to the Fairview community as well as encouraging development along the northern side of 9th Avenue. In addition, the potential to slow traffic along 9th Avenue by reducing a portion of the road to three lanes with parking or two lanes with a center planting median between E and L should also be considered during the planning process.

Allowing the adjacent park roads to become more pedestrian friendly while reaching out into the surrounding neighborhoods is also important. Key north/south streets bisect the park and create barriers to pedestrian flow within the "inner park". These include the A/C Couplet, I/L Couplet and E Street Corridor. Pedestrian movement is restricted in some of these intersections and at the best, challenged in others. Treating these arterials as Gateways when they pass through the park for both vehicles and pedestrians can enhance the park environment and provide improved pedestrian safety. In addition, long-term exploration of ways to better connect across major streets should consider pedestrian overpasses that do not compromise the viewshed and tunnels if safely designed. Future plans beyond the scope of this planning window could also look at depressed streets going under the park and connecting to underground parking that could serve the growing downtown while allowing the park to connect over the street.



9th Avenue Section Looking West

The “Inner Park”

The existing park has many special qualities, including views to both the Chugach Mountains to the east and the Alaska Range to the north and west. The linear feel of the park reminds the visitor of the historic airstrip use as well as providing a sense of scale not found in many other urban settings. It is home to a number of memorials and monuments, hosts major and minor community events, provides venues for tennis, volleyball, softball, soccer leagues and pick up games, is home to the historic Pete’s Gym and has two ice rinks in the winter. In addition, the park is used informally for strolling, walking dogs, flying kites, picnicking, and relaxing by local residents. While the park is primarily used in the summer months, there are a variety of winter opportunities ranging from ice skating to Nordic skiing to dog sled rides and snowshoe softball during the Fur Rondy Festival.



It is important for the design of Delaney Park to encourage increased public use and enjoyment of the park beyond special events, especially in winter. There should be activity nodes where people can sit and watch others play or just relax. In addition, general landscape and facility maintenance of the entire park should reflect the high level of community importance placed on Delaney Park. Aging park amenities and buildings should be updated including trash cans and benches and buildings. Annuals, trees and turf should receive adequate water and maintenance. These challenges are great opportunities for public and private institutions to partner/collaborate in this effort to rebuild Delaney Park. The time for action is now.



Existing Conditions and Site Issues

Based on broad public input several key issues emerged as general common elements or themes that the public felt were critical to successfully increase the use and quality of Delaney Park.

These items are summarized below, but are not placed in any priority.

1. Maintenance

Overall maintenance for Delaney Park is lacking. Poor park maintenance is not only an issue in Delaney Park but is a city-wide problem. The allocated budget for park maintenance is about fifty percent of what it would require to provide adequate park maintenance. With the passage of the 2007 street bond package, Park maintenance has transferred from Anchorage Street Maintenance back to Parks & Recreation. This reorganization is a positive step toward improved maintenance of Anchorage Parks. In addition to work performed by park maintenance crews, horticulture crews take care of the annual flower plantings and tree maintenance and Community Work Service crews coordinate removal of trash and help pick up after festivals and special events. For success, the financial and organizational management of park maintenance must continue to be refined. Specific to Delaney Park, maintenance related issues including irrigation, trash pickup and snow removal must be dealt with more effectively.



2. Security

There is both a real and perceived sense of a lack of security concerning Delaney Park. For example, some areas have buffer vegetation that screens the public from one another and restricts views into the park. This encourages the transient population to use the areas after hours and discourages the general park user. The existing restrooms are often locked, and when they are open they present a potential security risk for those wishing to use the facilities. There is no clear management or park personnel visible on a regular basis and no security phones or lighting to promote a sense of safety.



3. Access – Connecting the “Outer Park” to the “Inner Park”

Access to Delaney Park is difficult for all park users including pedestrians, bikers and vehicles. Poor access isolates the “inner park” from the “outer park”, effectively segregating the open space of the park from the rest of downtown.

Vehicle speeds adjacent to the park along 9th Avenue (including intersections at B, D, F, G, H, K, M, and N Streets) create significant barriers to the park. In addition, the key north/south streets or gateway streets that bisect the “inner park”, including the A/C couplet, I/L couplet and the E Street corridor, create significant barriers both within and into the park. Furthermore, adequate parking for general park users does not exist.

4. Events

Special events are an important to the culture and character of Delaney Park. Events range from major public holidays such as the Fourth of July celebration to smaller activities like races and kite day events. There are concerns about the level of use, noise, trash, parking and the high level of impact that events have on the park.

5. Activities

One of the most critical elements of having a vibrant and well used park is to provide a park design and management plan that integrates a wide variety of appropriate activities within the park. This allows a compatible mixture of uses to occur simultaneously.

The primary activity that generates conflicts in Delaney Park is the 4 softball fields between E St. and I St. The advent of aluminum bats and livelier softballs require a minimum field to be set with a 275’-300’ outfield and a 50’ foul ball safety zone behind home plate and base lines. The



current softball field configuration at Delaney Park has 220' and 10' respectively. In this case, current park conditions and available open space are not compatible with softball use.

One of the most active areas of the park year-round is Pete's Gym and the surrounding ice rinks. There is little interface between the two areas. During the winter, the ice extends beyond the rinks onto the sidewalks making movement for pedestrians dangerous. Focusing on the area immediately around Pete's Gym would allow the community to build on an existing popular area and expand public use.

6. Park Amenities and Landscape

The park could become a year-round gathering place for the Downtown area (families, area employees, shoppers, visitors, students, etc.) for all ages. However, the park has very poor amenities that promote public use.

Many of the Delaney Park's amenities such as trash cans and benches are dilapidated and poorly located. Benches have been placed in areas that do not promote interaction between users. (Benches are set along the edge but do not provide an opportunity for people to sit and talk together or watch park activities.) In addition, there are few public restrooms and many times they are locked.

Sidewalk placement along 9th Ave. is too close to the fast-paced traffic to allow comfortable pedestrian use.

7. Way-finding and Information

It is difficult for park users to place themselves within the park or the larger downtown area. Visitors may not know the park extends for 14 blocks, as there are no maps or signage telling people that they have arrived in Delaney Park. Other issues



include a lack of information about connections between other parks and destinations in the city, poor directions to other places such as Sagaya City Market, the Tony Knowles Coastal Trail and other downtown services, and lack of ability to get information or help while in the park including a phone, park office or information center.

8. Memorials

Delaney Park is home to many major memorials and monuments. Additional memorials have been proposed and existing memorial will be redeveloped sparking the need to develop a policy to address the appropriateness of memorials, site location, design development, height, size, materials, maintenance and the approval process. Pressure for new memorial development within Delaney Park could result in additional memorials and monuments being located in the park without proper guidance or direction. A memorial policy has been developed that clearly addresses the criteria listed above (See appendix D).

Recreation Use Patterns

It is evident from existing conditions and patterns of use within and adjacent to Delaney Park, that it is necessary to develop a master plan and comprehensive management plan. The park is heavily used by the public, but there are no plans that provide clear guidance for new development, or that guide management decisions for festivals and special events. There are increasing user conflicts over sports and festivals and a growing demand for new memorial development. These issues require resolution if the park is to be enjoyed by all residents.

Delaney Park's natural character as a large open space allows for a variety of uses to occur simultaneously. The goal of this



master plan and comprehensive management plan is to reduce conflicts between the following existing uses:

Passive Recreation

Passive recreation emphasizes the open-space aspect of a park and involves a low level of development, including picnic areas and paths. Examples of existing passive recreation activities occurring at Delaney Park include walking, running, kite flying, sightseeing, dog walking, reading, picnicking, or just resting on a bench.

Active or Organized Recreation

Active recreation requires more intensive development and often involves cooperative or team activity, including playgrounds, ball fields, hockey rinks, soccer fields, horseshoe pits, volleyball courts and basketball/tennis courts. In addition, a variety of active “pick-up” games often occur in the open space of Delaney Park such as flag football and ultimate Frisbee.

Special Events

Delaney Park is Anchorage’s most popular and significant civic open space. This quality has made Delaney Park the ideal location for civic celebrations that are very popular with Anchorage residents. Such activities include multi-cultural festivals, cultural events, athletic events and other community celebrations.

The management of special events along Delaney Park can be a challenge. Special events range from 50 people to over 5,000 (approximately 15,000 for the 4th of July Celebration, Delaney Park’s largest event), generating trash, noise, extra traffic, additional parking needs and many times temporary infrastructure such as tents, picnic



tables and portable bathrooms. These events can have a great impact on the surrounding neighborhoods as well as the park itself.

Although a challenge to manage, special events at Delaney Park are a great value to Anchorage. These events contribute to the cultural richness and healthy social environment of the City. A number of these events also have economic benefits by bringing people downtown. Some of the most popular and long-standing events that take place in Delaney Park include:

- Fourth of July Celebration
- Alaska Oceans Festival
- Governor's Picnic
- Juneteenth
- Fur Rondy Winter Celebration

The policies and procedures for special event management on Delaney Park will be outlined in the Delaney Park Special Event Policy. This policy is currently being developed as part of this planning process.

Delaney Park Memorials

There are many important memorials in Delaney Park (see Memorial Zone Map, Memorial Policy, Appendix D). Key Memorials include:

- Veterans Memorial
- Martin Luther King Jr. Memorial
- Pope Memorial, honoring the Pope's visit to Delaney Park
- Victim's Tree
- Survey Monument
- Centennial Rose Garden



III. FRAMEWORK PLAN

The development of a framework for the Delaney Park Master Plan will provide a clear community vision for how the park should look and be used in twenty years. The framework includes major community goals and values that present guidance for implementing the public vision.

Vision

Delaney Park is a place where citizens come together and enjoy both the beauty of the landscape and experience a variety of activities at different times of year. The public and the Delaney Park Community Advisory Group (CAG) feel strongly that it is critical to maintain and preserve the essential historic character of the Delaney Park as a unique, long, grassy stretch of park enjoyed by residents of all ages. The park should build upon its existing assets and destinations to become a more dynamic space in the city.

Goals

There are several goals that provide a framework and management guidance for Delaney Park and that build on the common vision for the future. The goals for Delaney Park include:

- **Preserve the open and green visual character of Delaney Park.** Maintain visual connections both east to the Chugach Mountain Range and to the west to Cook Inlet and the Alaska Range. Promote and preserve secondary views to the Sleeping Lady and Denali as well as the viewshed through Downtown.
- **Use Delaney Park, the city's premier community-wide park, to build community.** Design, maintain and provide balanced services and facilities for a diverse community. Encourage multiple-uses in order



to provide a variety of programs, events and festivals that activate the park year round.

- **Maintain Delaney Park to a higher standard.** Maintain the park much as it now exists, but improve the level of maintenance and care of the existing facilities. Provide design guidelines and standards to promote uniform park amenities and features that utilize high quality and durable materials and that are easy to maintain, safe and attractive.
- **Build a strong park organization and management structure.** Develop a management program for the park that is financially sustainable and that establishes a uniform way of providing special events and activities to park users that reduces conflicts. Provide a memorial policy for the site location, development and maintenance of public memorials in Delaney Park.
- **Improve Access and Connections.** Work toward a more pedestrian accessible park by minimizing the traffic impacts from surrounding roads and improving pedestrian connections both to and within the park. Develop a strategy for making the broader area around the park into a pedestrian-oriented, residential district that is connected to Downtown and surrounding residential areas.
- **Create a series of vibrant places within the park.** Enhance existing park infrastructure by improving and upgrading Pete's Gym, athletic facilities (tennis courts, turf, ice rinks), the Rose Garden, existing memorials, and the historic train engine. Other areas may be developed such as an information kiosk or lunch vendor or café near the ice rinks. These improvements will draw people to Delaney Park on a more regular basis.
- **Work toward an economic model, which is self-sustaining for the park, and promotes economic growth.** Utilize the park as a catalyst to encourage residential and related commercial development along the park's outer edge. Encourage appropriate activity within the park that promotes public



use that improves/supports overall park operations. Charge appropriate fees for park use that adequately covers the cost of the special event.

- **Build strong private-public partnerships.** Continue to involve the community in the evolution of the park design and management plan. Engage the community by encouraging the development of strong citizen support groups such as a “Friends of Delaney Park” through the Anchorage Park Foundation or other non-profit organizations.



IV. DEVELOPMENT PLAN FOR DELANEY PARK

The redevelopment of Delaney Park will take many years and millions of dollars to complete. The Delaney Park project cost estimate table can be found in Appendix B and preferred design concept drawings in Appendix C. This table provides a cost estimate for all proposed work on Delaney Park to a value exceeding 17 million dollars. All of these projects would not be undertaken at one time, but phased over several years. A project of this magnitude will require public investment as well as considerable private financing if the community vision of a vibrant and exciting park that contributes to the social and economic lives of Anchorage is to be realized.

To be successful, the plan must have immediate and achievable short-term actions that can build success and demonstrate to the community that something is really going to happen.

The CAG has identified both key recommendations for each Zone which are listed below and immediate action items which are listed in Section 5 of this plan, the Strategic Action Plan. Below is a general discussion of each park zone and the proposed improvements and developments for each.

DEVELOPMENT STRATEGIES – THE “OUTER PARK” – Reconnecting Delaney Park

To sustain a vibrant “inner park” Delaney Park must be successfully integrated into downtown Anchorage and the surrounding neighborhoods. Strategies that focus on improvements to the “outer park” such as street improvements and pedestrian connections should be utilized to achieve this healthy link between the park, neighborhoods and downtown. Specific “outer park” elements and strategies are described in Section II, pages 5 through 9 of this plan.

ZONE DEVELOPMENT STRATEGIES – STRENGTHENING THE “INNER PARK”

The following issues and recommendations were developed from numerous public workshops and CAG meetings. They are intended to form the basis of discussion for each area.

****Note**** Illustrated Master Plan recommendations can be viewed in Appendix C, pages 1 – 9.

Zone 1: This is the western most edge of the park from the east edge of the Rose Garden, extending to the residential area to the Tony Knowles Coastal Trail. The area includes a large lawn used for picnics, kite flying and some festival events.

Site Character: Citizens liked the open spaces with the views of the mountains and the inlet and the variety of activities that occurred in this area, such as pick-up games, kite flying, Frisbee and planned sporting events. They liked the Rose Garden with trees surrounding it and they also enjoyed the historic connections to aviation and early Anchorage settlement as well as easy access from the adjacent neighborhoods.

Site Issues: Problems identified were the noise from events, lack of trash and improper trash receptacles, lack of parking and the overall low level of maintenance of the area.

Recommendations

The recommendations for improvements in Zone 1 are shown in Appendix C on page 1 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. Improve lawn areas and install automatic irrigation system
2. 9th Avenue improvements; including sidewalk enhancements (sidewalk directly adjacent to 9th Ave. with no grass strip between the sidewalk and road) and limited tree plantings that maintain the viewshed to the inlet.
3. Replace landscape amenities including benches and trash receptacles
4. Install power outlets at key locations
5. Install park way-finding elements at key pedestrian intersections
6. Improve neighborhood connections; install gateway focal plantings along 10th Ave and define pedestrian crossing points to neighborhood.
7. Install pedestrian scale lighting

Long-Term Improvements

1. Install public restrooms
2. Trail connection to Tony Knowles Coastal Trail; this project is a separate public project however its development is consistent with the overarching goals and objectives of the Delaney Park Master Plan as it fits into the fabric of Downtown Anchorage.

Memorial and Public Art Improvements

1. Develop plans for minor upgrades to the Rose Garden and Pope Visit Memorial that are consistent with the Delaney Park Memorial Policy. Improvements will include basic landscape and park amenity enhancements and upgrades, as well as decorative walkways that will address ADA accessibility of the sites.

Roadway Improvements - 9th Avenue L Street to P Street for Zone 1 and 2

This section of 9th Ave. has parking along both sides of the street and has the least amount of traffic volumes. The predominant land use along the north side is multi family residential

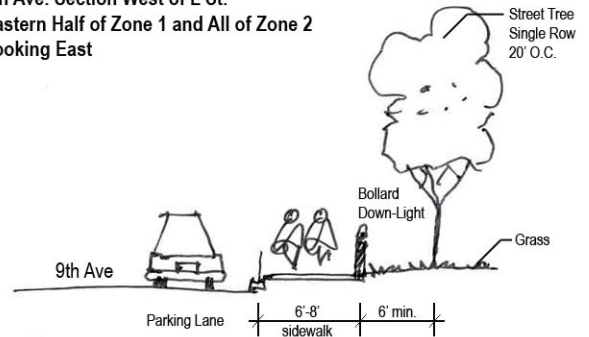
and some commercial office space. Building heights vary from two to four-stories in height. The park activities along this section are separated by a small strip of grass (2 feet), a narrow walk (5 feet) and include passive activities, Rose Garden, Pope Visit Memorial and soccer field. Proposed designs for 9th Ave. should not interfere with the active use in Zone 2 by organized soccer players and general passive recreational park use. The design for this section of 9th Ave. should have the following facilities:

- Parking allowed on both sides
- Sidewalk along the south park side 6 to 10 feet wide with no grass strip separation. The sidewalk material should be decorative concrete or concrete pavers.
- Pedestrian crossings with signal at L Street and striping at M, N and P Streets
- Low level pedestrian bollard lighting 40 feet on center
- Street tree plantings should not occur along the west half of 9th Ave in Zone 1 to retain vistas to the Inlet. Street tree plantings along 9th Ave in the eastern half of Zone 1 and in Zone 2 should be planted 20 feet on center. In both zones the trees should be set back from the sidewalk a minimum of 6 feet.

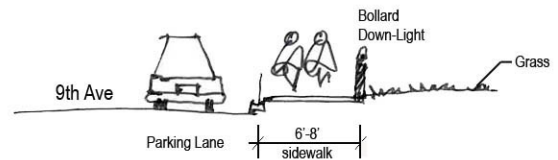
Zone 2: Rose Garden east edge (N Street) and extending east to L Street including the Pope Memorial and a soccer field.

Citizens liked the wide-open character of the area, the views of Cook Inlet off of the northwest corner of the park and the restorative effect of the open space in contrast to the city. They liked the pathway curving between the Rose Garden and the Pope Memorial, the variety of activities and multiple events, the soccer field and the nearness to downtown and public transportation. Park users who were interviewed liked the open space of the park; would like better maintenance of grass; dislike

9th Ave. Section West of L St.
Eastern Half of Zone 1 and All of Zone 2
Looking East



9th Ave. Section West of L St.
Western Half of Zone 1
Street Trees Omitted to Preserve Open Vista
Looking East



people camping in bushes; favor noise limits at events and like the quiet and green character of the park.

Citizens identified the following issues: poor maintenance and lack of irrigation for the turf, lack of restrooms, vagrants frequenting the area, the lack of park amenities including benches and trash receptacles, poor information and lack of seating at bus stop; mailbox on L St. is inconvenient and/or unsafe for motorists to use; ice management.

Recommendations

The recommendations for improvements in Zone 2 are shown in Appendix C on page 2 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. Improve lawn areas and install automatic irrigation system
2. 9th Avenue sidewalk enhancements (sidewalk directly adjacent to 9th Ave. with no grass strip between the sidewalk and road), tree plantings and landscape improvements
3. Replace landscape amenities including benches and trash receptacles
4. Install power outlets at key locations
5. Install park gateway and way-finding elements at key pedestrian intersections
6. Improve neighborhood connections; install gateway focal plantings along 10th Ave and define pedestrian crossing points to neighborhood.
7. Install pedestrian scale lighting
8. L Street Gateway Improvements including pedestrian lighting, seat walls, upgraded transit stop and landscape improvements

Long-Term Improvements

1. Install public restrooms between Zone 1 and Zone 2.

Memorial and Public Art Improvements

1. Develop plans for Pope Visit Memorial that are consistent with the Delaney Park Memorial Policy. Improvements will include basic landscape and park amenity enhancements and upgrades, as well as decorative walkways that will address ADA accessibility of the site. Improvements other than those that address ADA accessibility will be limited to the existing footprint of the memorial.

Zone 3: This area starts at L Street extending east two blocks to I Street. The area includes a large open lawn with the Martin Luther King Jr. Memorial and the Veteran's Memorial as the dominant elements.

Citizens liked the openness and views of the mountains, the open space for simple play (running, kite-flying, Frisbee) without obstacles. They like that the lawn is available to anyone without reservations, restrooms when they were open, access to surrounding areas, special events like 4th of July and Governor's picnic, and that this area has more trees than other areas of the park. As this zone is more heavily used for public events, it is expected that it will have a higher percentage of paved, public spaces and seating areas to accommodate civic gatherings and ADA accessibility. People interviewed in the park like the great history, the peacefulness, great dog-walking and the shared parking between employees and residents.

Issues that were identified are the monuments not being integrated into the park design, the lack of interesting elements, the bathrooms were rarely open and did not feel safe, the hedge along 9th Avenue was big and scary, the sidewalk was too narrow, poor maintenance, lack of walkable sidewalks in the winter, no path from north to south through the middle to connect to K Street and the lack of programming. In addition there is a lack of dog bag stations, off leash dogs, complaints about

noise late at night, and the lack of gathering spots or individual seating areas. People who were interviewed in the park said that event related noise is a problem and that parking is/will be an issue.

Recommendations

The recommendations for improvements in Zone 3 are shown in Appendix C on page 3 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. I Street gateway improvements (see Appendix A, Design Guidelines pages 58 and 59 for illustrated sections)
2. Improve lawn areas and install automatic irrigation system
3. Improve connection to downtown via K Street.
4. Replace landscape amenities including benches and trash receptacles
5. Install power outlets at key locations
6. Install park gateway and way-finding elements at key pedestrian intersections
7. Install pedestrian scale lighting
8. 9th Ave. sidewalk and landscape improvements: in this zone the sidewalk along 9th Ave. will move inside the park with street tree plantings buffering the park from the street.
9. Improve neighborhood connections through plantings and define the pedestrian crossing points to adjacent neighborhood.

Long-Term Improvements

1. Upgrade public restrooms

Memorial and Public Art Improvements

1. Develop a master plan for the Veteran's Memorial area that is consistent with the Delaney Park Memorial Policy. The Illustrated Master Plan shown on page 3 of Appendix C reflects a draft alternative for the Veterans Memorial Redevelopment.

The final design will be provided through the Veterans Memorial Design Task Force that was appointed by the Mayor on June 15th 2007. The task force will direct the use of the 2007 bond funds and will define the guidelines for any future changes to the memorial that will be paid for with private funds.

2. Development of the Civic/Historic Christmas Tree space as a public plaza to include a public art element.

Zone 4: I Street and extending 4 city blocks to E Street This area currently includes 4 sub-sized softball fields, and is used as an open play area when the fields are not in play.

Citizens liked the open space, vistas and that there were no permanent structures or buildings. They liked the historic airstrip character of the open space and the multiple uses such as kite flying and emergency use. The southern edge with a bed and breakfast, church, and nice homes was liked as well as the lack of memorials. The playground adjacent to the park, Frontier Park, is also an area that the community likes. People who were interviewed said that the serendipitous activity that occurred in the park was enabled by large, unscheduled open space and that the festivals and events were wonderful.

The issues that were identified included the overhead wires and visual clutter, the electrical substation, transient problems, lack of bathrooms and comfortable seating such as benches and picnic tables, lack of organized activities, noise at night, drinking, partying, and the poor level of maintenance and a dead-weed infested lawn.

Recommendations

The recommendations for improvements in Zone 4 are shown in Appendix C on pages 4 and 5 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. Softball Fields: Remove 2 fields. Redesign the remaining fields to align right field with the north-south axis as shown on pages 4 and 5 of the Illustrated Master Plan Drawings. Designate these fields as wood bat/limited flight ball use only. Improve lawn areas and install automatic irrigation system.
2. 9th Avenue sidewalk and landscape improvements
3. Replace landscape amenities including benches and trash receptacles
4. Install power outlets at key locations
5. Install park gateway and way-finding elements at key pedestrian intersections
6. Improve neighborhood connections; install gateway focal plantings and seating pockets along 10th Ave and define pedestrian crossing points to neighborhood.
7. Install pedestrian scale lighting

Long-Term Improvements

1. Install public restrooms
2. G Street Corridor Improvements
3. Underground Parking – This 4 block area would be suitable for future development of underground parking to serve Downtown growth. A total of 2,000 to 2,400 spaces could be developed on two levels.

Memorial and Public Art Improvements

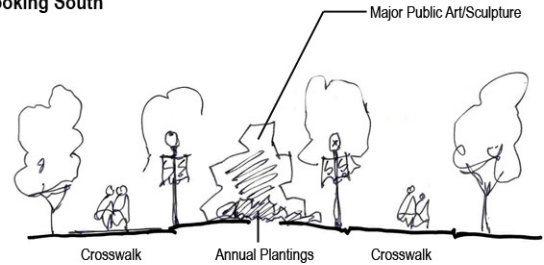
1. Maintain existing land survey monument
2. Memorial Development in designated locations only and consistent with the Delaney Park Memorial Policy
3. Improve Victim's Tree: Replant the Victim's tree into the ground or appropriate raised planting bed within the G St. corridor. The area around the tree should accommodate Alaskans for Peace and Justice use as a civic gathering space that can accommodate approximately 200 people.

G Street Connection

G Street is the symbolic center of Delaney Park Strip (when including Denali Elementary School) and as such is the gateway to Downtown including G Street District, the PAC, Convention Center and Town Square Park from South Addition. This street R.O.W. is 60 feet wide and has had pavement and access closed for a number of years. Presently there is remnant street lighting on wooden poles with overhead wire and an asphalt paved walkway. G Street at 9th Avenue has two pedestrian crosswalks and signalization. Design elements should include the following:

- The 60 foot G Street right of way should be vacated.
- Whether or not the G Street right of way is vacated, appropriate efforts should be undertaken to protect the G Street Connection from its former use as an urban street and to ensure that this section of Delaney Park remains permanently closed to vehicular traffic.
- All utilities shall be placed underground
- A decorative walkway between 9th and 10th Avenues paved with textured concrete, brick or other non-asphalt materials, measuring a maximum of 12 feet in width for 80% of its length and a maximum of 24 feet in width for 20% of its length.
- Seating areas with benches and trash containers grouped to encourage socialization at the north and south ends of the walkway, in the sections of the walkway (comprising 20% of its length) that can measure up to 24 feet in width.
- Flower planting beds and perennial shrubs that complement surrounding activities, provide focal points to the mountain vistas, and are limited to the north and south entry points of the walkway adjoining 9th and 10th Avenues.

Gateway Treatment for G Street and 9th Ave. Intersection
Looking South

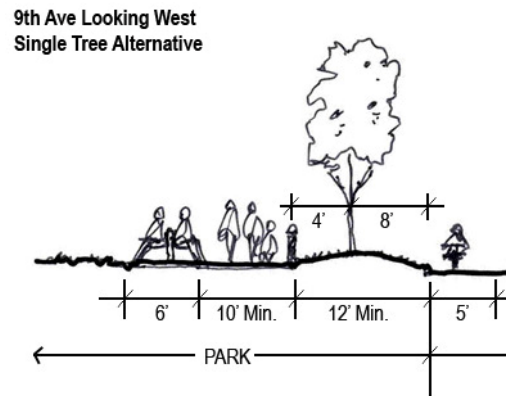
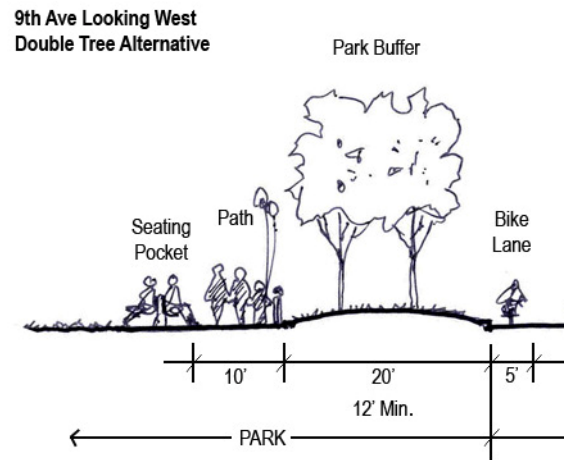


- Ornamental trees shall be low-level and limited to the north and south entry points of the walkway adjoining 9th and 10th Avenues.
- Pedestrian scale lighting at appropriate spacing.
- Interactive public art, sculpture piece, or gateway feature at the 9th Avenue entry point that complements surrounding activities.
- Way-finding kiosks and interpretive signage at the north or south entry points of the walkway adjoining 9th and 10th Avenues.
- Incorporate Alaska Victim’s Tree into the G St. Corridor Design

Road Improvements - 9th Avenue E Street to L Street for Zones 3 and 4

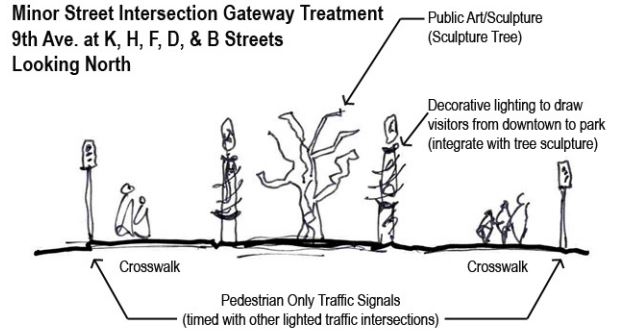
This section of 9th Avenue has a lower volume of traffic than the eastern sections with no parking allowed and four lanes of traffic. West bound traffic requires only a left turn lane at L Street while east bound traffic requires a left turn lane at K, I, H, F and E Street. The north side has a mix of historic single story homes serving as offices, two to four story office buildings and churches. The sidewalk along the park edge is 5 feet in width. The existing park use has four softball fields with backstops or hedges adjacent to the walk on the park side and memorials from I to L Street. This section of the park will have the highest degree of connection to Downtown Anchorage, especially along E Street and F/G Street to the Dena’ina Civic and Convention Center and experience a corresponding higher public use for special events and activities related to Downtown. This section should have the following facilities:

- Parking should be considered along one side of the street with a three lane cross-section or,
- A two lane cross section should be considered with a raised median 12 to 20 feet wide with turning pockets for required left turns. The planting median should have

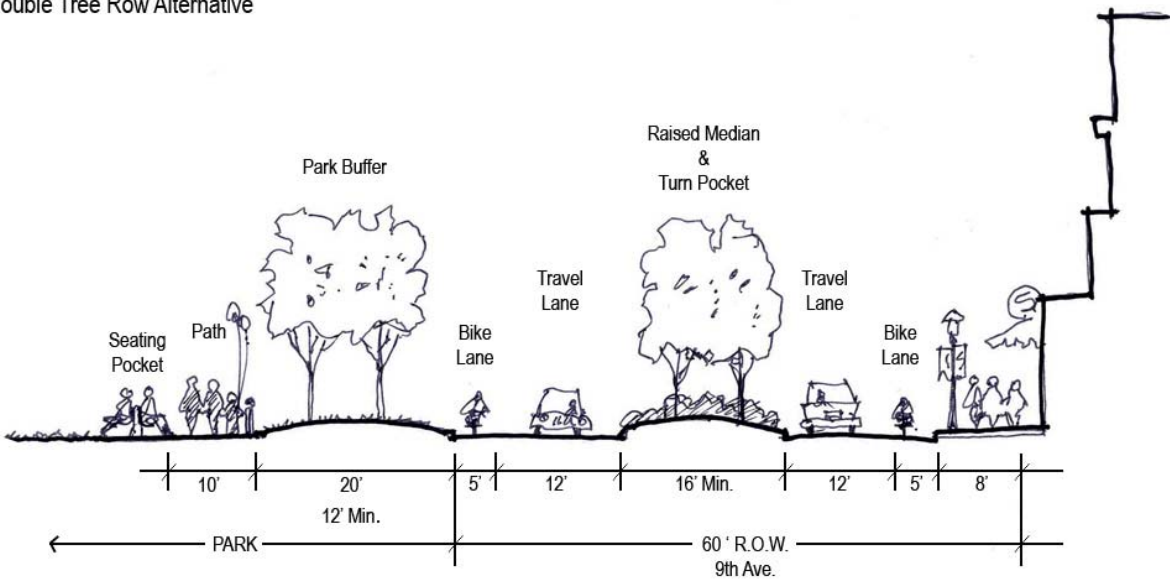


either a single or double row of street trees with ground cover depending on width of the planting median (see double tree alternative section on page 31 and single tree alternative on page 34)

- Sidewalk along the south side of 9th Ave. should be set back from the roadway by a minimum of 12 feet for a single row of street trees or 20 feet for a double row. The material should be a decorative sidewalk with textured concrete or brick pavement. The planting area should be gently mounded at a maximum of 1:4 slope to the center
- Pedestrian crossings with signalization at E, G, I and L Street and markings at F, H and K Streets
- Low level pedestrian bollard lighting 40 feet on center should be placed along the walkway
- Street tree plantings should be limbed to 6 feet in height above the ground to allow for visual connection into the park.
- Bike route lanes should be considered along both travel lanes.



9th Ave. Section Looking West
Double Tree Row Alternative



Zone 5: E Street and extending 2 city blocks to C Street. This area includes Pete’s Gym, a hockey rink, a small skating rink and grass area, horseshoe pits, sand volleyball courts and tennis courts.

Citizens liked the openness and views of the mountains, Pete’s Gym and the variety of multiple-uses that are all free or charge a minimal fee to the entire community. They liked that in the summer the entire block was used 20 hours a day and that there was a diverse cross section of the community using the facilities.

Issues identified include ice build-up during that winter that makes walking difficult, homeless camps in the hedges, trash, lack of security, and poor maintenance of the grounds.

Recommendations

The recommendations for improvements in Zone 5 are shown in Appendix C on page 6 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. Improve lawn areas and install automatic irrigation system
2. 9th Avenue landscape improvements; retain sidewalks and replace plantings where appropriate
3. Replace landscape amenities including benches and trash receptacles
4. Install power outlets at key locations
5. Install park gateway and way-finding elements at key pedestrian intersections including E Street and C Street (see Appendix A, Design Guidelines pages 58, 59 for illustrated sections detailing E St. and C St).
6. Improve downtown and neighborhood connections.
7. Install pedestrian scale lighting
8. Upgrade transit stop



9. Landscape edge aesthetic and safety upgrades; remove or thin Mugo pines and replant with appropriate planting material
10. Hockey rink, basketball court and tennis court upgrade; improve all sport facility surfaces and install new facility amenities
11. Plaza/ice skating oval upgrade; including a paved plaza, vendor space for a lunch cart or café and a children's water feature
12. Upgrade to Pete's Gym; upgrade building and improve entry walk.

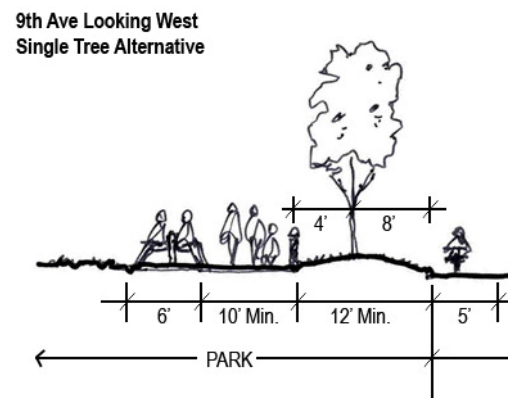
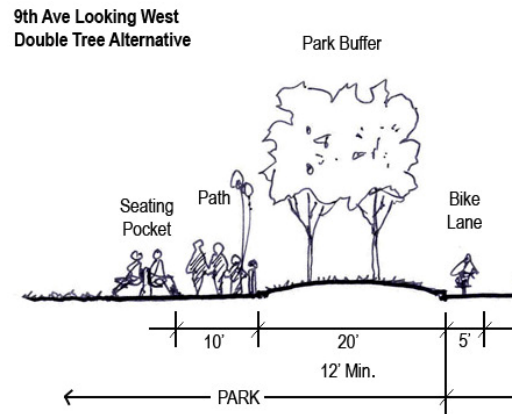
Memorial and Public Art Improvements

1. Upgrade and enhance historic train engine
2. No new memorial development

Road Project - 9th Avenue C Street to E Street for Zone 5

This section of 9th Avenue has a moderately high volume of traffic with no parking allowed and four lanes of traffic. West bound traffic requires only a left turn lane at E Street while east bound traffic requires a left turn lane only at D Street. The north side has a large parking lot, owned by the state, that may become housing and two older structures two story or less that serve as private offices. The sidewalk along the park edge is set back from the road by a landscape buffer that varies from 12 to 24 feet in width with seating and an 8 to 10 foot concrete walkway. The park use in this area includes tennis, horseshoe pits and ice skating. The only major building in the park is located in this block (Pete's Gym) facing 10th Avenue. This section should have the following facilities:

- Parking should not be allowed on either side of the street
- A three lane cross section should be considered along with a raised median 12 to 20 feet wide with turning pockets for required left turns. The planting median should have either a single or double row of street trees with ground cover (see double

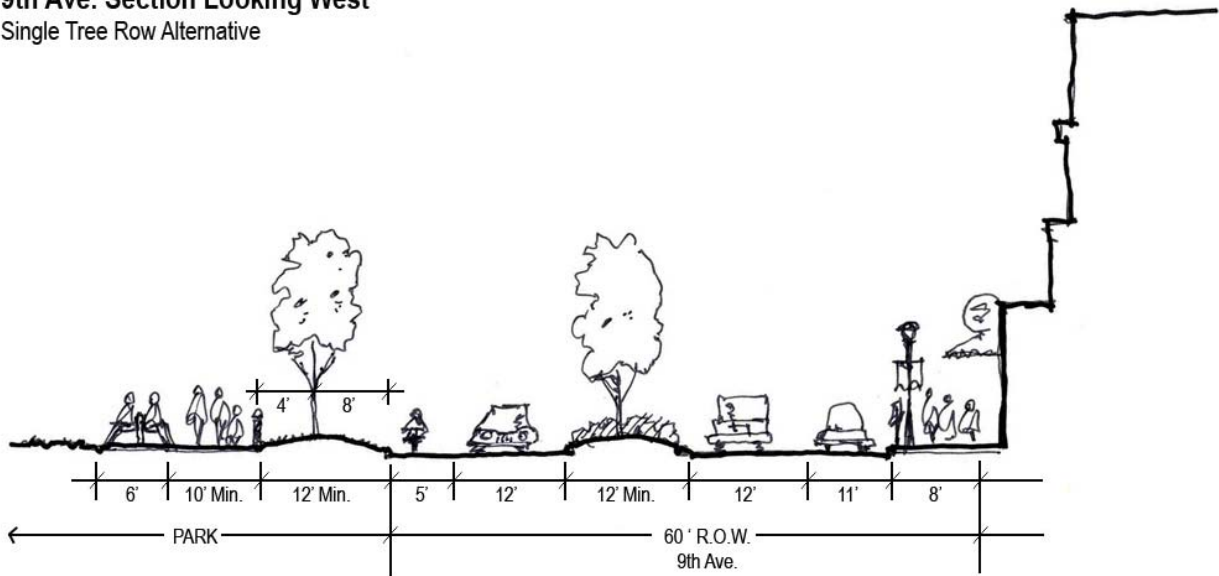


tree alternative section on page 31 and single tree alternative below).

- Sidewalk along the south park side should maintain the existing location and widths
- Moderate level pedestrian style lighting 40 feet on center
- Pedestrian crossings and signalization at A and C Street and markings at D Street
- Plantings should be thinned and replaced as required to maintain visual connection into the park
- Bike route lanes should be considered along both travel lanes.

9th Ave. Section Looking West

Single Tree Row Alternative



Zone 6: C Street extending to Denali Elementary School to Cordova Street. This area of the park has two softball fields with outfield fencing and a permanent restroom. A tunnel connecting the park to Denali Elementary School has been closed for safety reasons.

Citizens like the open feel of the park with views of the mountains, the connection to Denali Elementary School as an anchor at one end of the park, and the elevation differences within the park.

Issues identified were during scoping were the unsafe tunnel connection to the school (which has since been closed), the isolated, disconnected and unwelcoming sense of the area, the speed of traffic along 9th, “A” and “C” Streets that block pedestrian circulation, and the unsafe condition of the permanent bathroom.

Recommendations

The recommendations for improvements in Zone 6 are shown in Appendix C on page 7 of the Illustrated Master Plan Drawings.

Short-Term Projects

1. Improve lawn areas and install automatic irrigation system, upgrade 2 softball fields and add new fencing.
2. 9th Avenue sidewalk and landscape improvements
3. Replace landscape amenities including benches and trash receptacles
4. Install power outlets at key locations
5. Install park gateway and way-finding elements at key pedestrian intersections
6. Improve neighborhood and downtown connections.
7. Install pedestrian scale lighting
8. Landscape enhancements along the C Street gateway and along 10th Ave.

Long-Term Improvements

1. Upgrade the existing restroom
2. Enhance the Denali Elementary School-Delaney Park connection by redesigning the tunnel under A Street.
3. Underground Parking – This 2 block area would be suitable for future development of underground parking to serve Downtown growth. A total of 1,000 to 1,200 spaces could be developed on two levels.

Memorial and Public Art Improvements

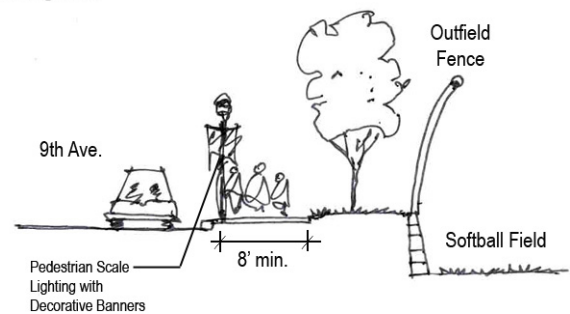
1. No new memorial development

Road Project - 9th Avenue A Street to C Street for Zone 6

This section of 9th Avenue is four lanes with a high volume of traffic and a significant volume of traffic turning at either A or C Street. On-street parking is not allowed. West bound traffic requires only a left turn lane at C Street while east bound traffic requires left turn lanes at B and A Streets. The north side has federal office buildings and along the park side two softball fields. The sidewalk along the park edge is 5 feet wide with limited room for expansion due to the location of the softball fields. This section should have the following facilities:

- Parking should not be allowed on either side of the street
- A three lane cross section should be considered along with a raised median 12 to 20 feet wide with turning pockets for required left turns. The planting median should have either a single or double row of street trees with ground cover (see double tree median section on page 31 and single tree median section on page 34)
- Sidewalk along the south park side 6 to 8 feet wide
- Pedestrian crossings with signalization at A and C Street with marking at B Street
- Bike lanes should be considered along both travel lanes

9th Ave. between A St. and C St.
Looking East



- Moderate level pedestrian style lighting 40 feet on center
- Street tree planting 20 feet on center set back from the sidewalk a minimum of 8-10 feet.
- Low retaining wall and fencing to act as outfield barrier should be located along the southern edge of the south walkway.

V. STRATEGIC ACTION PLAN

It is important that the public see a demonstrated change in the management, operations and appearance to Delaney Park if they are to begin to trust the Department of Parks and Recreation to follow their recommendations. But to make this happen it is also the responsibility of the community to provide additional support through volunteering and donations to allow an increase in park maintenance to take place.

There were a number of key items suggested by the community that can begin to be implemented in the summer of 2007. These items are short-term, can have immediate recognizable results, are doable, and are shared by the majority of the community. This includes four categories of specific types of responses listed below; Planning and Design; Management; Partnerships; and Improvements. Following is the initial recommendations for items that could be undertaken that would have immediate results in improving the park and responding to public concerns.

1. Planning and Design - This includes working with the ongoing street and related downtown projects as they are developing to ensure that design elements are coordinated.

- E Street Corridor Team
- Downtown Planning Team
- 9th Avenue Planning Team
- Transit bus stop for L Street
- Way-finding and signage plan in coordination with E Street Project
- Urban Design Commission review of all new proposed development as funding and plans are developed

2. Management – This includes municipal policies and management practices that can be modified or adapted to better meet public expectations.

- Develop a memorial policy approved by the Park Commission and adopted by the Assembly
- Develop a special event policy
- Park Maintenance – develop a “Zone Gardening” approach with dedicated park maintenance staff for Delaney Park

3. Partnerships – Work immediately with identified groups to improve relationships.

- Anchorage Downtown Partnership
- Pete’s Gym management agreement
- Anchorage School District - utilize elementary school students in the design process for items like signage
- Establish Friends of Delaney Park group through the Anchorage Park Foundation or other non-profit organization to assist with management and operation of the park and fund raising for improved maintenance and long-term improvements. Funding from this organization can be utilized with the maintenance department to raise the standard of care for the park to Class A service level as recommended in the plan.

4. Construction and Improvement Projects – The 2007 Municipal Park bond package, has \$250,000 earmarked for repair of existing facilities and \$200,000 for upgrades to the Veterans Memorial. Additional funding will have to come from volunteer labor and donations through the Anchorage Park Foundation.

- Replace trash containers with P&R approved standard
- Upgrade benches and develop gathering areas

- Improve pedestrian walkways – as part of the 9th Avenue project, install pedestrian walkway along 9th Avenue that moves the walk away from the street and adds a landscape buffer between the road and the walkway.
- Improve public safety by removing thick hedge plantings and evergreen plantings and replant with appropriate low shrubs or lawn
- Upgrade turf and install irrigation beginning with the west end of the park in Zones 1 and 2
- Implement signage and way-finding plan
- Improve Rose Garden and Veterans Memorial to meet ADA requirements. Work with organizations and draft memorial policy to develop plans consistent with the intent of the park master plan.

DELANEY PARK STRATEGIC ACTION PLAN

Item	Description	Time Line Key Actions	Responsible Agency	Consultant
Downtown Plan	Adoption of the Comprehensive Anchorage Downtown Plan by Assembly	Public Release December 2006 Adoption 2007	Planning Department	MIG
E Street Plan	Street design and pedestrian improvements and construction	DSR Jan. 2007 Construction starts 2008-2010	PM&E	MAKERS
9 th Avenue	Street design and pedestrian improvements and construction	Plan Design Winter 2006-07 Construction 2007-08	PM&E	USKH
Transit Bus Stop	L Street transit bus stop	Plan and Construction 2007	Transit	
Delaney Park Master Plan	Adoption of master plan for park through Park Commission and P&Z	Park Commission July/August 07 P&Z Fall 2007	Parks and Recreation P&Z	PPS initial work P&R final plan
Memorial Policy	Adoption of policy governing memorials and public art in Delaney Park	Park Commission recommendations Summer 07	P&R	
Management Use Policy	Adoption of special event policy including large events, noise and parking	Park Commission Fall 2007	P&R	
Zone Garden Management	Initiation of zone gardening for park as part of transfer of Park Maintenance	Summer 2007 trial	P&R Streets	Depending on funding and donations
Pete's Gym Management Agreement	Update current management agreement	Summer 2007	P&R	

Item	Description	Time Line Key Actions	Responsible Agency	Consultant
ASD Partnership	Work with elementary schools to develop signage and other youth oriented activities within the park	Fall 2007	P&R	
Friends of Park Group	Work with CAG and other citizens to develop volunteer base to assist with fundraising, maintenance and management issues for the park	Adopt a Park Group Summer 2007 Formal Friends Group and Fundraising 2008	Park Foundation	
Anchorage Downtown Partnership	Work with ADP for vendor fees, special events and possible security issues	After adoption of plan Fall-Winter 2007	P&R	ADP
Safety Improvements	Volunteer based projects including trimming or removal of hedges that block visual access to the park	Summer 2007	Park Foundation	Volunteer Groups
Amenities Upgrade	Replace benches and trash receptacles with approved park standards	Fundraising 2007 Install 2008	Park Foundation	Volunteer Groups
9 th Avenue Upgrades	Improve pedestrian walkways and landscape along 9 th Avenue between L and A Streets	2008-09	PM&E	Project bid as road project
Rose Garden Upgrades	Work with volunteer group to implement challenge grant	Summer 2007	P&R Rose Society	
Veteran's Memorial Upgrades	Work with volunteer groups to develop master plan and consolidation of memorials including planning, fund raising and construction	Planning winter 2006-07 Funding 2007 Construction 2008	P&R Veteran's Commission	

APPENDICES

APPENDIX A: DESIGN STANDARDS AND GUIDELINES

PURPOSE AND INTENT

This section provides for the broad design elements as well as for site-specific design standards where appropriate to implement the community vision for Delaney Park. As the density of Downtown Anchorage increases, it is especially important to create recommendations and guidelines that foster urban development that is compatible with surrounding uses, respectful of the natural environment and viewsheds and fosters an exciting and vibrant public park.

The following guidelines are intended to assist Municipal staff, property owners, and citizens participating in the planning, programming, and design of key elements that are necessary to maintain and enhance Delaney Park. The following public groups, boards and Municipal staff should look to these guidelines for direction:

- Department of Parks & Recreation staff in evaluating sites for acquisition.
- Those planning and designing public parks and open space.
- Design Review Boards in their evaluation of private development projects.
- Municipal staff reviewing proposals for development incentive programs.
- Any member of the public who may be involved in the planning and design process.

When individual park blocks and adjacent areas are developed as funding becomes available, they will include detailed sections, drawings and images of the concepts described on the following pages. The Anchorage Downtown

Comprehensive Plan design standards (Chapter 6 Urban Design) shall take precedent over Delaney Park specific guidelines.

OVERARCHING DEVELOPMENT STRATEGIES

This section deals with the overarching improvements to the entire park for enhanced connectivity to surrounding attractions, road and street improvements, as well as visual quality and open space requirements for the park.

Open Space – Lineal Strip Feel

The linear feel of Delaney Park is the overarching design element that was uniformly recognized by the entire community. The feeling of an airstrip or strip of land defines the character and meaning of Delaney Park and should be protected above all else. Plantings or structures should be limited along the central axis of the park and located along edges where appropriate. The central area should be predominantly lawn with some low plantings, walkways, or seating areas permitted but not allowed to dominate the landscape. Memorials, public art or other major design elements should incorporate the lineal feel of the park into design solutions that are compatible to the park overarching design theme.

Viewsheds

Closely aligned with the lineal strip feel of the park is the desire to preserve long viewsheds east to west across the long axis of the park. In addition to internal park views, the community felt strongly that views to the Chugach Mountains and to Cook Inlet should be preserved. This means that plantings and gateway features along the main north south corridors should not block views between blocks. Where amenities such as street trees, lighting and gateway features are desirable along these major corridors, they should be



focused at intersections or utilize columnar materials to limit obstruction or frame distant views.

Historic Character

As one of our oldest public parks, design elements and signage should reflect and enhance the historic character of the park. Park amenities may borrow from historic patterns and park signage should focus on historic events relevant to the building of Anchorage and the relationship to Delaney Park. The use of timeless materials such as stone, timbers and cast iron should be integrated as appropriate into the site design details.



General Guidelines

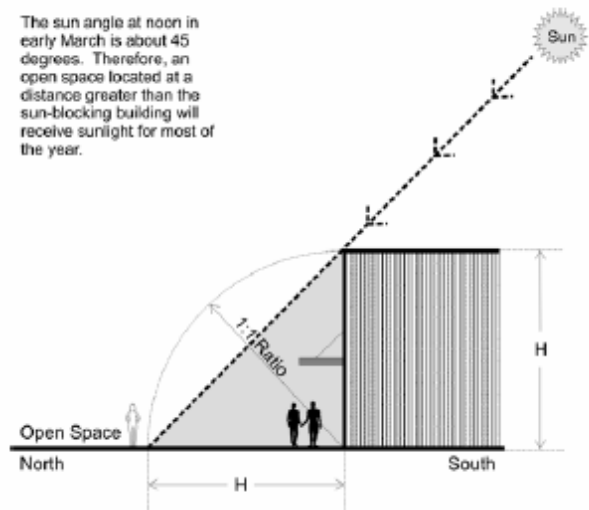
General guidelines apply across a broad range of park conditions and are intended for a wide variety of objectives.

Sunlight: All applicable open spaces should be sited to receive direct, year round sunlight at noon, if possible. This is especially true of areas with predominantly passive activities, such as seating and picnicking. Direct sunlight is less important, although desirable, in active areas, such as sports courts and off-leash areas. Locate seating for good sun exposure. Consider “heat traps”—south-facing areas with walls reflecting sunlight.

Accessibility: All facilities must comply with the Americans with Disabilities Act.

Transit: All applicable facilities should be integrated with adjacent transit stops by, at a minimum, providing physical and visual access from the transit stop area.

Incentives: When administering regulatory and incentive programs, engage developers to meet both public and private open space objectives by



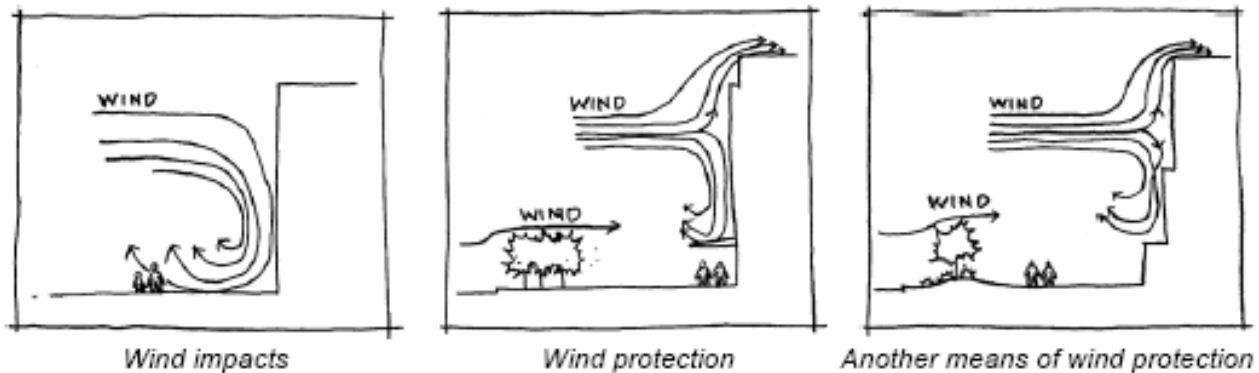
encouraging coordinated open space development and coordinated public/private improvements.

Grade: Unless there is a compelling reason to the contrary, locate plazas and park features no more than 3 feet above or below street level.

Views: Take advantage of views to mountains and inlet and other amenities. Frame views by location of plantings and some structures to act as windows or picture frames to distant features.

Information: Provide safe and easy access to public information and telephones.

Wind and Weather: Avoid seating in the center of larger, unprotected areas. Avoid wind funnels: narrow openings between buildings. Provide weather protection where appropriate, especially where it can extend the hours of use.



Size: Urban plazas and gathering places will generally have a “human scale” if they are less than 60 feet across. Large areas that are unbroken by plantings, seat walls and other amenities should be limited to where large public gathering are anticipated.

Noise: High levels of traffic, industrial, and other ambient noises detract from the enjoyment

of a plaza. Noise can be partially mitigated by detracting attention from the noise source through the introduction of such elements as fountains or waterfalls and buffering with landscape.

Seating: Provide adequate seating in protected areas. Generally, for urban plazas, provide one linear foot of seating per 30 square feet of plaza. Movable seating and tables are encouraged. Ledges and steps can also serve as seating, provided they are at least 16 inches in depth and height.

Amenities: Provide necessary site furniture and amenities, such as waste receptacles, bicycle racks, fountains, game tables, kiosks, children's play equipment, and artwork.

Spatial Variety and Articulated Edges: Unless there is a specific symbolic or functional desire to accommodate large-scale activities, large open spaces should be spatially defined into smaller, more easily identifiable and relatable areas that facilitate orientation and territory definition. People commonly gather at articulated edges in or around a plaza. A distinct sense of place can be achieved, in part, by defining edges and establishing a sense of enclosure through the use of canopies, trees, shrub plantings, arcades, and trellises, which must be balanced with issues of visibility and defensibility.

Good Management: During planning and design, consider how the park will be managed and maintained. Consider programmed events, regular or seasonal activities, and opportunities for Adopt-A-Park activities.

Use Guidelines

Use guidelines deal with the number and types of activities in parks, plazas, and open spaces.

They are particularly relevant to park planning and space programming activities.

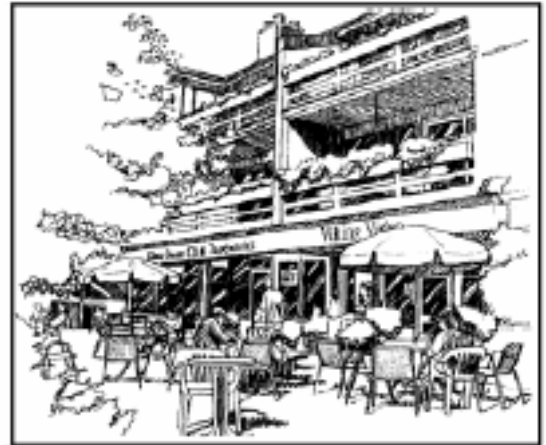
High-Priority Uses: When programming the uses for an applicable park and/or recreational facility, refer to high-priority park and recreation uses identified in the Anchorage Park Plan and/or park planning design guidebook as well as the Delaney Park Special Event Policy guidelines. Endeavor to include at least two high-priority uses in the improvement. The mix of compatible uses at each facility should encourage increased use and human activity, expanded hours of usage, and optimized benefit from an individual asset.

Adjacent Open Spaces: Where possible, open space adjacent to, or near, other open spaces should feature complementary uses and appropriate circulation. Combining open space on adjacent parcels is generally desirable. Safe, well-lit pedestrian connections—especially through-block connections—are encouraged and should be a feature of open space planning on full-block developments.

Adjacent Uses: Consider adjacent land uses in park location and design. Ensure that park design and activities are compatible as much as possible with adjacent uses. Where possible, integrate parks with adjacent properties in terms of circulation patterns, spatial layout, and design character.

Peripheral Uses: For plazas, small seat pockets, and portions of the larger park, peripheral uses that generate activity, such as eating and drinking outlets, small retail, and music performances are particularly important to the overall attractiveness and liveliness of the park.

Services Extending the Range of Uses: Provide secure electrical outlets, water spigots, restrooms, and other services that will encourage a greater range of uses and visitor comfort for all seasons.



Relationship to Street

A park's orientation to the street is an important factor for a number of reasons, including access, security, and attractiveness. The nature of the street/park relationship depends on both the character of the park elements and that of the street for each specific block. Therefore, the following guidelines should be conditioned by the nature of the adjacent street.

Orientation: If the site fronts on a designated Green Street or Principal Pedestrian Street in a Pedestrian-Designated Zone and the park or recreational facility is desirable on such a street, then the applicable facility should be oriented to that street unless the City finds that there is a compelling reason to the contrary.

Accessibility: All applicable facilities should be directly—physically and visually— accessible from the adjacent street. Depending on the type of uses and design character, the open space may either be directly integrated with the sidewalk or separated by an appropriate enclosure with one or more prominent entries.

Green Streets: Address the following guidance regarding Green Streets:

(a) Green Streets are intended to:

- Serve as landscaped open spaces connecting the surrounding neighborhoods.
- Foster and focus pedestrian and neighborhood activity.
- Create a sense of neighborhood identity.
- Integrate buildings and open spaces into a more unified whole.

(b) As opposed to larger, high-volume streets, which are intended to be attractive and continuous thoroughfares, Green Streets are more pedestrian oriented, intimate, and activity focused. Given this direction, parks on, or connected to, Green Streets should conform to the following guidelines:

- Open spaces and public facilities should enhance neighborhood circulation by connecting directly to Green Streets and, if possible, provide a mid-block connection.
- Open spaces should enhance approaches and entries into buildings adjacent to the park.
- Open spaces should include pedestrian elements and features to attract a wide variety of users.
- Open spaces should be visible from the street. In most cases, integration of the open space with the sidewalk will be desired. However, in some cases, such as an off-leash area, children's playground, or enclosed oasis-type space, some separation between the park and the street may be preferred.
- A variety of open spaces is desired; therefore, new open spaces should not duplicate existing spaces but provide different settings and activities.
- The selection of landscape elements, such as plant materials, paving, lighting, and site furniture, should consider those elements of the Green Street streetscape. In some cases, it may be best to integrate or extend the streetscape elements; in other cases complementary or contrasting elements may be preferred.
- Park designs that create gateways to a neighborhood are encouraged.

Safety and Security (CPTED)

Crime Prevention Through Environmental Design (CPTED) refers to a group of strategies intended to reduce the fear of crime and the opportunities to commit crime. It acknowledges that the existing environment can influence criminal behavior. The application of CPTED guidelines is critical to the safety and success of new parks. The guidelines below are based on the City of Seattle's Facility Standards and the

Seattle Police Department's Crime Prevention Program.

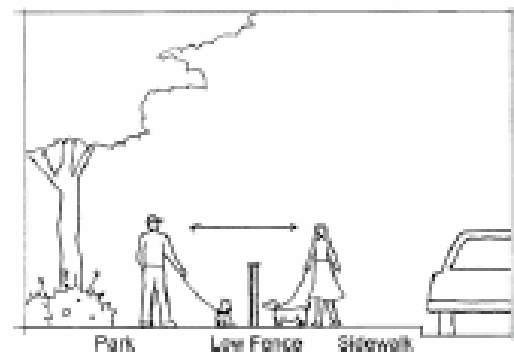
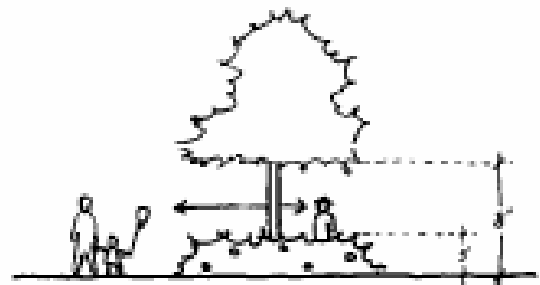
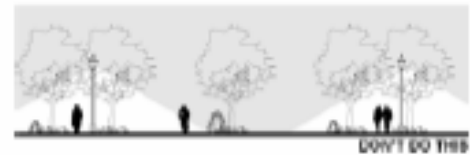
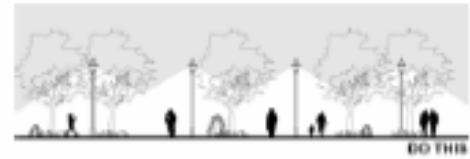
Natural Surveillance: Natural surveillance, or “passive surveillance,” occurs when areas of the park are open to view by the public and neighbors. For example, the ability of neighboring residents or workers to look down on the park is a major crime deterrent.

Where possible, urban park and plaza design should maximize the number of “eyes on the park.” Another aspect of natural surveillance is the ability of an officer driving by or through the park to see the facilities that might be targeted by offenders. The screening and vegetation around the parking lots should be trimmed to allow visibility of the ground plane. Orient restrooms, shelters, and other structures so that they are easily visible from the roadways and parking areas.

Lighting: Lighting should reflect the intended hours of operation; i.e., lighting of playfields or structures in local parks may actually encourage after-hour criminal activities. Motion sensing lights perform the double duty of providing light when needed and letting trespassers know that “they have been seen.” Unless there is a compelling reason to the contrary, provide at least the following minimum light levels:

- Areas of high activity, attractions (such as fountains), or special services (such as phone booths): 4 foot-candles.
- Pedestrian paths: 2 foot-candles.
- General areas of low activity where security is a concern and parking: 1 foot-candle.
- Use cut-off fixtures to avoid light spill to adjacent properties.

Landscaping: Avoid irregularly shaped sites that offer hiding places. Plants should follow the 3-to-7 rule of thumb: hedges no higher than 3 feet and tree canopies starting no lower than 7 feet. This is especially important around



entryways and windows. Landscaping should also be designed so that it does not interfere with lighting design.

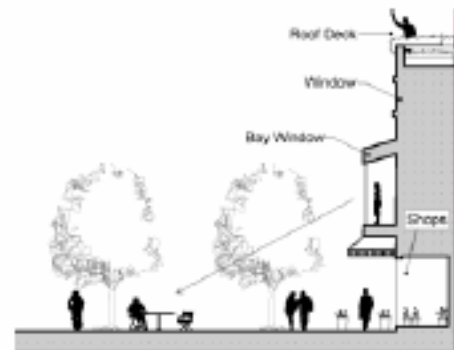
Fencing: Fences should allow people to see into the park and to spaces within the park. Avoid fences that create entrapment areas.

Entrances: Park entrances should be prominent, well-lit, and highly visible from inside and outside of the park.

Windows: Encourage windows that look out onto parks and provide good natural surveillance. Parks with residential and/or other adjacent uses that look out onto the park space will discourage criminal activity. Retirees, stay-at-home parents, and people working from home offices can provide good surveillance for the neighborhood during the day.

Natural Access Control: Access control refers to homes, businesses, parks, and other public areas having distinct and legitimate points for entry and exit. However, this should also be balanced to avoid “user entrapment”—not allowing for easy escape or police response to an area. Generally, crime perpetrators will avoid areas that only allow them one way to enter and exit, that have high visibility, and/or that have a high volume of user traffic. This can be assured by:

- *Entry Points:* Park designs with open, uninhibited visibility and a defined entry point generally, but not always, can discourage criminal activity. A good example is a park with transparent fencing around the perimeter and one large opening in the gate for entry. Putting active uses near this entrance creates more traffic and more surveillance.
- *Circulation:* Park entries and walkways should be emphasized with lighting, landscaping, and signage so that users can clearly see them.



- *Buildings:* Park building entrances should be accentuated through architectural elements, lighting, landscaping, or other treatments.
- *Borders:* Visible and attractive borders that separate the park from private spaces should be provided.
- *Restrooms:* Park restrooms should be located in visible, well-trafficked areas—preferably visible from an adjacent roadway, but the park should be visible from adjacent uses.

Territoriality: Territoriality means showing that your community “owns” your neighborhood. While this includes removing graffiti and keeping buildings and yards maintained, it also refers to small personal touches. Creating flower gardens or boxes, putting out seasonal decorations, or maintaining the plants in traffic circles sends a clear message that people in the neighborhood care and won’t tolerate crime in their area. This approach is often called “fixing broken windows” after the book by George Kelling and Catherine Coles, which demonstrates that such proactive actions can reduce crime.

Maintenance and Target Hardening: Well-maintained parks send the message that the area is well cared for, observed, and owned. Target hardening, as the name suggests, is constructing the facility so that it is a difficult crime target and deals more with the design of the individual site feature than the park’s layout. Target hardening includes methods such as:

- *Boundaries:* Utilize appropriate plants to maintain site lines.
- *Materials:* Durable, high-quality, and maintainable exterior materials should be used.
- *Walls:* Walls should be treated in a way that deters graffiti. Provide texture, anti-graffiti coverings, or landscaping, as appropriate.
- *Locking Systems.*

Defensible Space: Do not locate or design parks where potential perpetrators can lurk or commit a crime and then flee via a convenient escape route.

STREET IMPROVEMENTS

Goals and Intent

The streets and roadways that surround Delaney Park Strip provide for the edges and gateways through the park and are important public features that should respect the nature of the park and help define the boundaries and entryways into and through the park. While the streets must continue to safely move traffic through the area, it is just as important that safe pedestrian walkways, landscape buffers and appropriate amenities such as lighting and public art are included into the overall design of each street. Traffic speed and movement should be secondary to the overall experience of the park user and the general public on foot.



9th Avenue Corridor

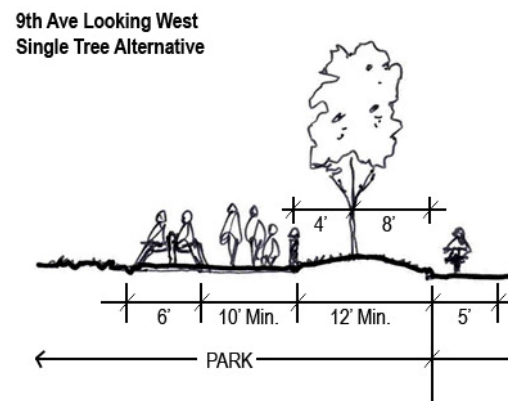
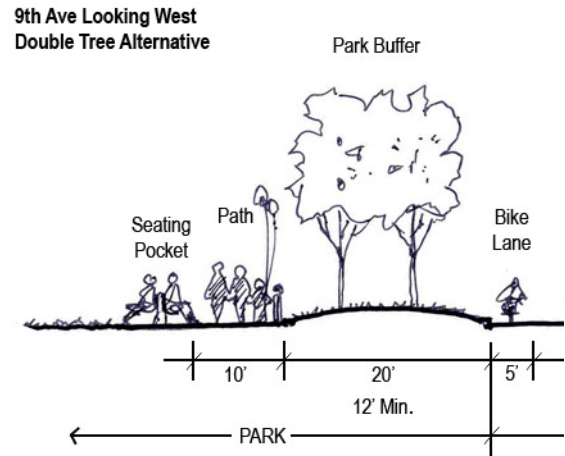
General Intent – 9th Avenue connects Fairview with Downtown and serves as a major vehicular circulation route. The street is currently scheduled for a major redesign to address both vehicular traffic as well as pedestrian linkage between L Street and Ingra/Gambell Streets. Discussion is underway about some sections of the street moving from 4 lanes to a 3 lane cross-section with parking along one side. Following is a description of the possible design considerations of various sections of 9th Avenue as it passes Delaney Park Strip.

Specific Guidelines

- Parking should be considered on one side of the street with a three lane cross-section or,
- A two lane cross section should be considered along with a raised median 12 to

20 feet wide with turning pockets for required left turns. The planting median should have either a single or double row of street trees with ground cover (see pages 30 and 33 for illustrated sections).

- Sidewalk along the south park side should be set back from the roadway by a minimum of 12 feet for a single row of street trees or 20 feet for a double row of street trees. The material should be a decorative sidewalk with textured concrete or brick pavement. The planting area should be gently mounded at a maximum of 1:4 slope to the center.
- Street tree plantings should be limbed to 6 feet in height above the ground to allow for visual connections into the park.
- Sidewalks should be between 6 to 12 feet wide and where no parking is provided they should be set back from the roadway with a landscape buffer.
- Pedestrian crossings with signalization should be at all major intersections and secondary intersections should provide for pedestrian access as appropriate.
- Bike lanes should be considered along both travel lanes
- Moderate level pedestrian style lighting should be placed at appropriate areas
- Low retaining wall and fencing where necessary to adjust grade changes.



10th Avenue

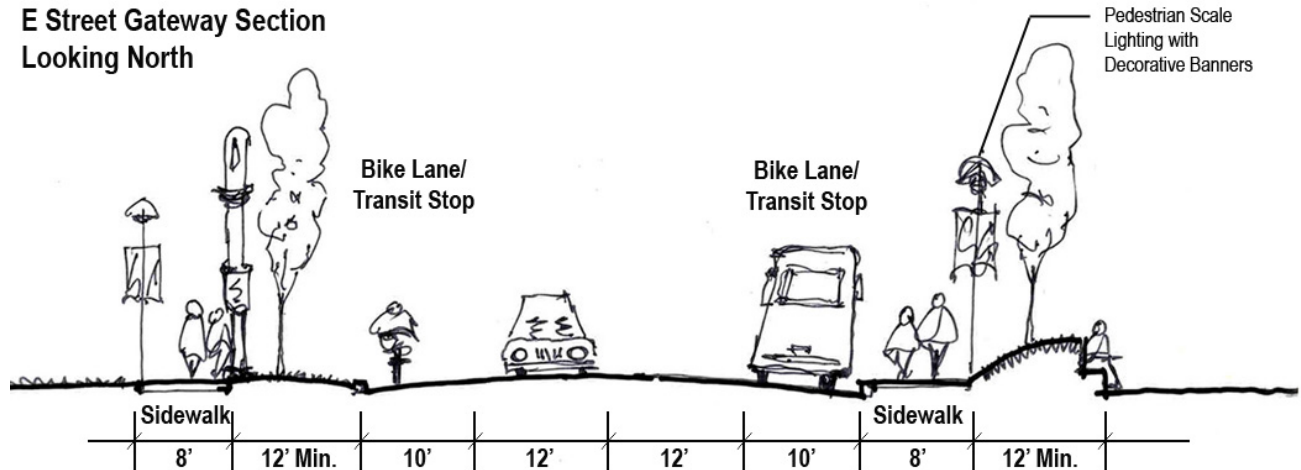
This street is predominantly residential in nature with two way traffic and diagonal parking along the park edge. Some parallel parking is allowed along the residential edge of the street. This street should have the following facilities:

- Parking allowed on both sides with diagonal along the north (park) edge of the street and parallel along the south (residential) edge of the street
- Sidewalk along the north park side 6 to 8 feet wide



- Pedestrian scale lighting that matches the E Street Corridor final lighting selection
- Public art or specialty features marking the area as a gateway to Downtown Anchorage

E Street Gateway Section Looking North

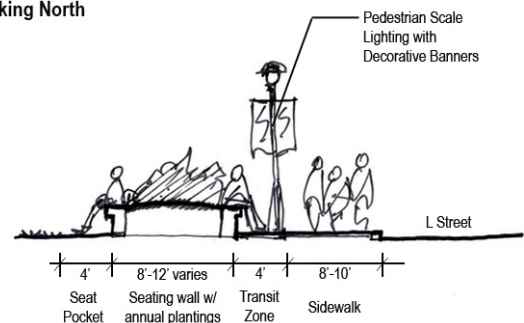


A/C Couplet and L/I Couplet

These are major north south collector streets with 3 to 4 lanes of one way traffic. The portion of these streets passing through Delaney Park should be considered as a Gateway opportunity providing links to the Anchorage Museum of History and Art as well as related shopping and residential districts. The sidewalks are set back from the roadway by small grass strips or landscape plantings with 6-8 foot walkways. This section should have the following facilities:

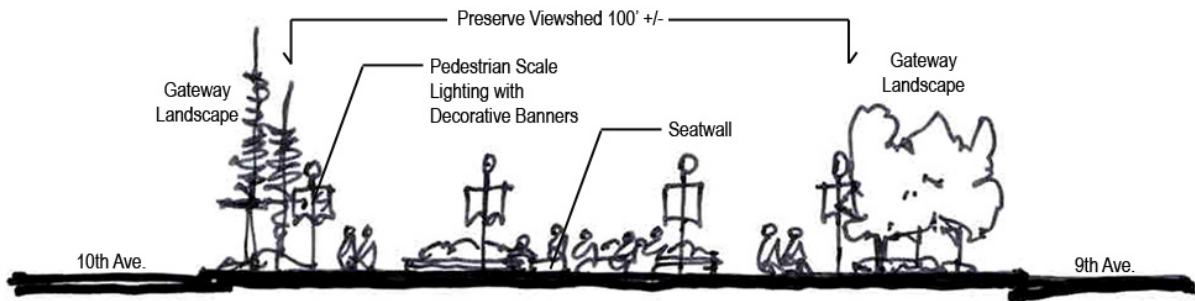
- Maintain one way traffic and traffic lanes
- Bus pull outs where appropriate for bus routes (L Street)
- Bike lanes 6 feet wide where appropriate
- Sidewalk width of 8 to 10 feet either adjacent to the curb or set back 12 feet minimum from the curb
- Landscape elements that are columnar in nature such as Columnar Aspen or Mt. Ash

L St. Transit Stop Looking North



- Pedestrian scale lighting as well as roadway lighting compatible with the park setting
- Public art or specialty features marking the area as a gateway to Downtown Anchorage

L Street Gateway Elevation Looking West



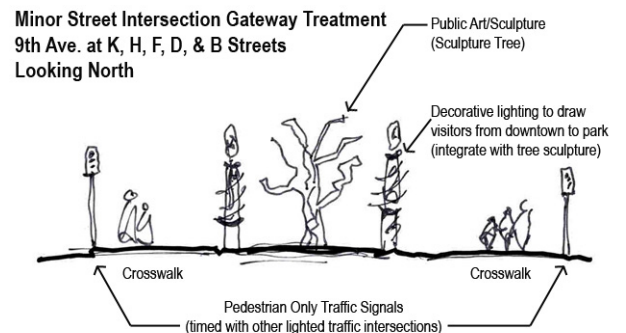
PEDESTRIAN CONNECTIONS

General Intent

A successful Downtown requires a safe, attractive pedestrian environment. Connection of the park to various Downtown districts and attractions as well as to surrounding residential districts is critical to the safe function of the park. These connections will be made through a number of streetscape enhancements, including increased sidewalk widths, traffic calming measures, heated sidewalks, lighting, signage, art work, and street furniture.

Pedestrian Connection Guidelines

- All utilities shall be placed underground
- Decorative sidewalk with textured concrete, brick or other non-asphalt materials, a minimum of 10 feet in width
- Seating areas with benches and trash containers grouped to encourage socialization



- Flower planting beds and perennial shrubs that complement surrounding activities, provide focal points and complement the mountain vistas
- Low level ornamental flowering trees
- Pedestrian scale lighting at appropriate spacing
- Interactive public art or sculpture piece or gateway feature
- Way-finding kiosks and interpretive signage
- Secondary pedestrian crosswalk striping and possible signalization timed with major intersection lights.
- Street trees consistent with 9th Avenue planting

Connections to South Addition

Access to South Addition across 10th Avenue should be marked with striped crosswalks and bulb outs at key intersections. Design elements should include the following:

- Crosswalk striping
- Bulb outs at street intersections
- Decorative sidewalk with textured concrete, brick pavement or other non-asphalt material
- Street trees consistent with 10th Avenue planting – low scale flowering ornamental
- Pedestrian scale bollard lighting placed on center at appropriate widths
- Special connection from Delaney Park to Frontier Park to allow for safe access for children using play equipment
- Interactive public art or sculpture piece or gateway feature

Connection to Fairview

The portion of 9th Avenue east of Delaney Park should be designed to encourage pedestrian movement along both sides of the street with wider sidewalks, bulb outs at intersections, decorative lighting, decorative pavement patterns, plantings and public art work.

Development of a three lane section with intermittent parking along one side or raised center median should be considered along the entire length of the roadway. Design elements should consider the following:

- Parking should be considered along one side of the street or,
- A three lane cross section with a raised median 12 to 20 feet wide with turning pockets for required left turns should be considered. The planting median should have either a single or double row of street trees with ground cover.
- Sidewalk should be a minimum of 8 feet in width and have patterned or textured surface materials
- Pedestrian crossings should have signalization at all east/west crossings and at major north/south crossings
- Pedestrian scale lighting 40 feet on center should be placed along the walkway on both side of the roadway
- Street tree plantings should be located where sidewalk width permits a minimum of 6 foot clear walking zone or placed at bulb outs at intersections
- Bike route lanes should be considered along both travel lanes
- Public art shall be considered as appropriate
- Way-finding signage shall be strategically located to assist in location of major nodes along the route

Connection to Tony Knowles Coastal Trail

The Tony Knowles Coastal Trail is located west of Delaney Park, but access is cut off by the Alaska Railroad. Current access to the trail is located at Elderberry Park to the north and Westchester Lagoon to the south. There is a strong desire to develop a trail connection from the terminus of 9th Avenue to the Coastal Trail. This will require either an underpass or overpass to cross the Alaska Railroad tracks. As residential housing increases along 9th Avenue



and Downtown, there will be an increased need to connect to the trail.

LANDSCAPE & OPEN SPACES

General Intent

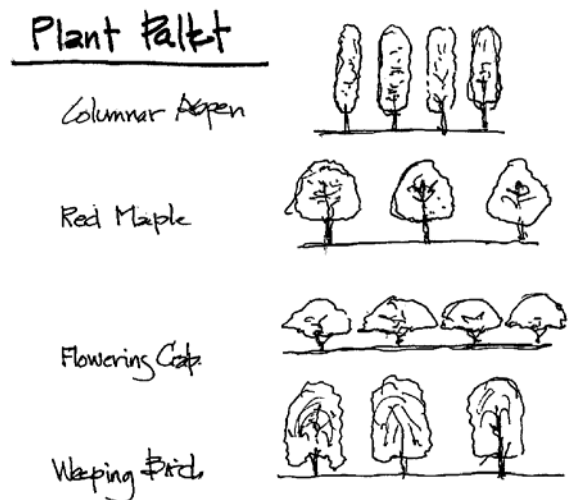
The landscape and open spaces for Delaney Park are particularly important because the park is designed to function as one of Anchorage's most civic of public spaces. Consequently, urban design considerations, in addition to the landscape design, will be critical to the successful implementation of Delaney Park as a unique destination, creating a lively place to play and watch people, and encourage pedestrian activity with clear circulation patterns, both internally and externally to the park.

Planting Pallet

Trees

The use of trees in Delaney Park should be done with care to avoid damage to the lineal nature of the park and the viewsheds to the east and west. The selection of tree species should also consider the climate, the height and mature spread of the tree, as well as color and textures to complement to overall nature of the park. Trees should be carefully placed to frame views to distant landscape such as mountains and inlet and maintain a visual connection into the park by providing a ratio of 3 feet to 7 feet so that visual connection is always maintained into the park. The recommended pallet of street trees includes the following

- Norway Maple – these trees have been used successfully within the vicinity as a slow growing hard wood. They should be considered as a major planting element especially along 9th Avenue



- Columnar Mountain Ash – A common street tree used throughout the Anchorage bowl. This is an acceptable substitute for Norway Maple, but does not provide the unique individual character desired for the park overall theme
- Weeping Cut-leaf Birch – this species has proven hardy to the region and can be used as accent plantings, as well as for 9th or 10th street plantings
- Flowering Crab Apple Trees – a variety of species are appropriate for 10th Avenue planting, as well as for some interior plantings along walkways. The lower growth pattern makes these an ideal tree for interior spaces and along residential zones.
- Columnar Swedish Aspen – this variety has been successfully utilized in the downtown area and would be an appropriate gateway tree for placement along the north and south roadways.
- Conifer Trees – the use of evergreen trees should be limited to focal points such as gateway treatments at intersections to minimize the impact to the visual connection between blocks and not to obstruct distant views.



Shrubs

Low level shrubs should be used as accent plantings at intersections and as screening for seat pockets or formal areas. Selection should focus on low growing varieties that require minimum maintenance such as rugosa roses, spirea, alpine current, juniper and others that have a maintained height of 3 feet or less so as not to obstruct views into the park.

Ground Cover

The dominant ground cover for Delaney Park will be turf grasses that will be mowed on a weekly basis. The grasses will be a recommended blend of Kentucky Blue Grass, Fescues and Rye hardy to the northern region



and adaptable to high level of public use. All lawn areas shall be irrigated with automatic sprinkler systems.

Annuals

Annual flower plantings will be used sparingly to provide accent to formal areas, gateways and to public buildings. The use of annuals will be limited based on available budget and resources.

Focal Plantings

Locate groupings of trees and shrubs to accent park edges and to mark gateways into the park at major road intersections.

AUTOMATIC IRRIGATION

General Intent

Lawn areas and plant material shall receive an appropriate amount of seasonal water to ensure the healthy growth and survival of the plant material.

- Lawn areas shall have fully automatic irrigation capable of providing up to 2 inches of rain fall per week at 60 % overlap coverage.
- Plant beds and trees shall have automatic irrigation capable of providing appropriate amounts of water to individual species. Irrigation will include both automatic heads, risers and drip irrigation as appropriate.
- Irrigation equipment and piping shall conform to industry standards, be frost resistant and meet park design standards.
- Automatic controls shall be centrally located with manual override capabilities.



Plazas and Gathering Areas

It is important that public gathering areas be designed to minimize impact to the lineal feel of the park while at the same time provide public spaces to gather, sit and watch others at play, socialize and interact with other citizens. These areas should have a unique sense of design and feel part of the overall landscape plan. At a minimum the public areas should include some of the following:

- Special concrete, brick or natural stone pavers that accent focal points and provide interest and variety to the plaza; these areas should not have poured in place concrete as a paving material
- Uniform park amenities that form an integrated park feature including park benches, trash receptacles and bike racks
- Ornamental trees that create shade and provide buffers at the edges of the plaza area
- Formal plantings used selectively to create seasonal color and variety in the area
- Water features, raised planters or public art located to create interest
- Pedestrian scale lighting



Seating Pockets

Small gathering areas should be provided along the edges of the park as well as at key public facilities and gathering areas. These seating pockets should provide for quiet observation of the park, individual contemplation, or small group gatherings. At a minimum the areas should include the following elements:

- Uniform seating design consistent with the park theme for 4 to 8 people
- Hard surface paving for the bench areas, as well as for adequate walking space to reduce maintenance costs and accommodate ADA requirements
- Trash receptacles
- Pedestrian scale bollard lighting
- Landscape screening for areas placed between roadway and the park that provides

some level of buffer, but that does not obscure safe views into the park

- Solar exposure that provides wind breaks while orienting the visitor towards the sun

Site Furnishings and Public Art

- Site furniture should be consistent throughout the site and should be of high quality and durable materials and placed for the convenience of pedestrians
- Benches should occur at regular intervals along 9th and 10th Avenue and in the plaza areas. Benches should not be placed in lawn areas or without proper orientation.
- Trash receptacles should be located with benches at appropriate locations throughout the park
- Café tables should be located at Pete’s Gym and other gathering areas to expand summer use of the outdoor plaza spaces surrounding the building
- Public art is encouraged as it adds interest and character to the site. Public art should be complementary to the overall design theme of the park and visually pleasing to diverse user groups. Art may be interactive and designed to allow children to climb or other forms of uses.
- Use bollards similar in style to pedestrian lighting bollards to secure areas from vehicular traffic at key public areas.



Memorials

The placement of memorials and monuments in Delaney Park shall comply with the overarching memorial policy of the department. The design goals for memorials are to be an integrated and cohesive part of the overall park design theme.

- Memorials shall reflect the character of Delaney Park and shall not substantially change the character or intended park use
- Memorials should avoid disturbing existing natural and cultural resources and should be respectful of community values



- The memorial should be sited so that it does not interfere with, or encroach on an existing memorial
- The memorial shall enhance the aesthetic quality of Delaney Park and not be aesthetically intrusive
- The memorial shall be constructed of durable material suitable to and compatible with the local outdoor environment
- Landscape features of memorials shall be compatible with the climate and vegetation types applicable to the region and suitable to the Delaney Park planting pallet
- Memorials shall be consistent with the Delaney Park Memorial Policy guidelines

Maintenance Standards

Delaney Park facilities shall be designed to receive the highest level of service provided by the park maintenance division. The Department will institute a “Zone Gardener” concept for the park depending on availability of funding. A Zone Gardener will provide a single point of contact for all park maintenance tasks performed within the park and shall direct all work, coordinate with District Managers on special events and work with volunteer groups such as Adopt-a-Park organizations to improve park maintenance. This shall include the following:

1. Lawn Maintenance
 - a. Mow lawn to maximum recommended height for the specific turf variety at least once weekly during the growing season
 - b. Aerate as required, but not less than once every two years in high traffic areas
 - c. Edge sidewalks, borders, fences and other appropriate areas once by-weekly during the growing season
 - d. Install sod or seed to maintain uniform turf coverage of 90%

- e. Weeds should cover no more than 15% of the grass surface consistent with established IPM threshold
 - f. Inspect thatch layer regularly and remove as needed
 - g. Remove grass clippings only if coverage is unsightly or impacts health of the turf
 - h. Inspect regularly for insects, disease and rodents, and respond to outbreaks according to IPM threshold standards within three days
2. Landscape Plant Material maintenance
- a. Inspect plant material for insects and disease as required
 - b. Treat plant material for insects and disease as required within 48 hours of identification of pests
 - c. Utilize Integrated Pest Management (IPM) practices
 - d. Prune dead and diseased plant material as required
 - e. Provide shaping and pruning for ornamental values, as appropriate, once per season
 - f. Replace dead plant material within 48 hours of notification
3. Paved surface maintenance
- a. Remove debris and glass immediately upon discovery
 - b. Remove sand, dirt, and organic debris from roads, walks, lots and hard surfaces weekly
 - c. Remove trip hazards from pedestrian areas immediately upon discovery
 - d. Repair concrete walks, patios, curbs and other surfaces as needed
 - e. Repair asphalt walks, parking lots, roadways and other surfaces as needed
4. Structure maintenance
- a. Inspect fences, gates and other landscape structures at least once annually
 - b. Complete other repairs within 48 hours

- c. Repair storage and shop buildings as necessary
5. Winter Maintenance
 - a. Restrict snow storage or blowing of snow onto landscape lawns and planting areas along perimeter streets
 - b. Maintain a winter walking path of a minimum of ¼ mile snow free zone
 - c. Maintain ice rinks for winter use including ice hockey and free skate areas

SITE LIGHTING

Goal and Intent

The exterior lighting of the park will serve two roles. First, and most importantly, lighting provides safety and security for the area. The lighting should be efficient by providing a minimum of at least one foot candle but varying intensity throughout the park. Lighting should have an absence of stray light and glare. Second, lighting provides aesthetic enhancement to the park by unifying the design elements and creating focal points. Special lighting techniques may be used to enhance pedestrian gateways at intersections, plazas and pedestrian crossings.

Street Lighting

- Street lighting should conform to the appropriate style of lighting consistent with the overall street lighting plan.
- The height of fixtures should be uniform throughout the park
- Street lighting should be white light provided by LED lighting, metal halide or similar source
- Lighting shall have deflectors or cutoff features to limit stray light and to focus light on road surfaces and minimize glare
- Encourage decorative lighting throughout the park, especially seasonal lights
- Use a lighting palette that blends in with Downtown lighting

Pedestrian Scale Lighting

- Pedestrian scale lighting will utilize a consistent lighting fixture so that the lighting will be uniform in design and color, complementary to the overall design of the park, and in scale with the park design elements
- The height of fixtures should be uniform throughout the park with a range of 10 to 14 feet
- Pedestrian scale lighting should be white light provided by metal halide or similar source
- Lighting shall have deflectors to limit stray light and to focus light on pathway surfaces
- Light poles shall have adaptors for hanging flower baskets and banners



Low Level Bollard Lighting

- Low level bollard scale lighting will utilize a consistent lighting fixture so that the lighting will be uniform in design and color, complementary to the overall design of the park, and in scale with the park design elements
- The height of fixtures should be uniform throughout the park with a height of 4 feet
- Bollard scale lighting should be white light provided by metal halide or similar source
- Lighting shall have deflectors to limit stray light and to focus light on pathway surfaces

Street Tree and Ornamental Lighting

- Landscape accent lighting may be used and are encouraged in plazas, streetscapes and walkways provided they are consistent with adjacent buildings and indicative of the quality of the overall park.
- Ornamental lights may be utilized with street tree plantings as accents or for entire block themes.



- Special lighting for fountains, sculptures and other public art is encouraged, provided the lighting does not cast glare or interfere with the enjoyment of these spaces
- Electrical outlets shall be provided at intervals to allow lighting of trees without stringing lights from one tree to another and to provide for outdoor special events to reduce the need for portable generators.

SIGNAGE & WAY-FINDING

Goals and Intent

A well-organized and coordinated signage system is essential to identify uses, direct pedestrians and provide information to park visitors. An integrated sign system can serve the dual role of creating identity and prestige for the park by presenting a unified theme. As park, street and pedestrian projects within Downtown Anchorage proceed, a detailed way-finding and signage plan should be developed that will provide a system of signs that are graphically and aesthetically unified.



Permanent Signs

- All site signs should be coordinated so that the style is consistent throughout the park. Site signs should be high quality and maintain a uniform color scheme, material and design. A unifying park logo should link the signs with one another.
- Primary entrance signs identify the park and occur at key locations where major roadways pass through the park such as A and C Streets and E Street.
- Way-finding signs indicate location of the park visitor and related park facilities. They should be designed in a similar format scaled to pedestrian movement.
- Information and Interpretive signs provide for historic background of the park and related activities. These signs should be located in such a way as to encourage



pedestrians to stop and read the information and to understand the relevance of the event to the park history. They should be designed in a similar format and scaled to pedestrian movement.

BUILDINGS, STRUCTURES & FACILITY ELEMENTS

Goals and Intent

The architectural style of permitted buildings, structures and facilities plays a critical role in conveying the sense of place for Delaney Park Strip. The structural style, architectural detailing and massing will help frame the pedestrian environment that is key to the success of the park. The design elements must create a unified image without sacrificing creativity and individuality within the facilities themselves. The park structures must present a coherent and unified appearance that conveys a sense of high quality to the park visitor. At a minimum, park facility elements shall consider the following:

- All facility elements should be coordinated so that the style is consistent throughout the park. Facility elements should be high quality and maintain a uniform color scheme, material and design.
- High quality and durable materials such as brick, stone, and cast iron or steel are encouraged.
- Structures should be designed to limit wind exposure and provide wind relief where appropriate.
- Appropriate screening with plant material and walls to minimize visual impacts.

Facilities Include

Pete's Gym existing building shall be the only permanent structure allowed in the park for



year-round occupancy. This aging facility will require major upgrades at some point in the future. New features for Pete's Gym shall consider the following:

- Historic character of the existing structure and surrounding uses
- Maximum building height of 30 feet

Other structures permitted within the park subject to these guidelines shall include:

- Kiosks
- Restrooms
- Storage Buildings
- Temporary Vendor Carts
- Ice Rink liners
- Ball field fencing and backstops

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 1								
Short-Term Projects								
Lawn Areas	Upgrade existing lawns including rototilling, adding topsoil and seeding	S.F.	175,000	\$ 2.00	\$ 350,000.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	175,000	\$ 1.00	\$ 175,000.00	■		
Benches	Replace benches with concrete base and new approved bench	Each	12	\$ 3,200.00	\$ 38,400.00	■		
Trash Receptacles	Replace with new approved trash containers	Each	12	\$ 3,100.00	\$ 37,200.00	■		
9th Avenue Walkway	8 foot decorative concrete walkway along 9th Ave.	S.F.	5,200	\$ 10.00	\$ 52,000.00	■		
Tree Planting	Install Norway Maple 2.5 inch cal. Trees 20 feet on center adjacent to 9th Ave	Each	32	\$ 1,500.00	\$ 48,000.00	■		
Lighting	Install pedestrian scale bollard lighting along 9th Ave. at 40 feet on center	Each	17	\$ 6,000.00	\$ 102,000.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	4	\$ 5,000.00	\$ 20,000.00	■		
Neighborhood Crossings	Install pedestrian crossings and bulb outs at key streets	Each	2	\$ 25,000.00	\$ 50,000.00	■		
Long-Term Projects								
Public Restrooms	Install public restrooms for summer use	Lump	1	\$ 400,000.00	\$ 400,000.00		■	
Trail Connection to Coastal Trail	Develop overhead or underpass to connect trail from 9th Ave. to Coastal Trail	Lump	1	\$1,750,000.00	\$ 1,750,000.00			■
Rose Garden Upgrades	Work with Rose Society to develop plan and construction of Rose Garden improvements	Lump	1	\$ 200,000.00	\$ 200,000.00			■
Total Cost Zone 1					\$ 3,247,600.00	\$ 897,600.00	\$ 400,000.00	\$ 1,950,000.00

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 2								
Short-Term Projects								
Lawn Areas	Upgrade existing soccer field and lawns including rototilling, adding topsoil and seeding	S.F.	175,000	\$ 2.00	\$ 350,000.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	175,000	\$ 1.00	\$ 175,000.00	■		
Benches	Replace benches with concrete base and new approved bench	Each	12	\$ 3,200.00	\$ 38,400.00	■		
Trash Receptacles	Replace with new approved trash containers	Each	12	\$ 3,100.00	\$ 37,200.00	■		
9th Avenue Walkway	8 foot concrete walkway along 9th Ave.	S.F.	5,200	\$ 10.00	\$ 52,000.00	■		
Tree Planting	Install Norway Maple 2.5 inch cal. Trees 20 feet on center adjacent to 9th Ave.	Each	32	\$ 1,500.00	\$ 48,000.00	■		
Lighting	Install pedestrian scale bollard lighting along 9th Ave. at 40 feet on center	Each	17	\$ 6,000.00	\$ 102,000.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	4	\$ 5,000.00	\$ 20,000.00	■		
Neighborhood Crossings	Install pedestrian crossings and bulb outs at key streets	Each	2	\$ 25,000.00	\$ 50,000.00	■		
Long-Term Projects								
Public Restrooms	Install public restrooms for summer use	Lump	1	\$ 400,000.00	\$ 200,000.00		■	
Pope Memorial Upgrade	Work with Pope Visit Memorial Committee to develop master plan and upgrades to area	Lump	1	\$ 100,000.00	\$ 100,000.00			■
L Street Gateway	Upgrade landscape amenitites along L Street as street is improved	Lump	1	\$ 250,000.00	\$ 250,000.00		■	
Total Cost Zone 2					\$ 1,447,600.00	\$ 897,600.00	\$ 450,000.00	\$ 100,000.00

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 3								
Short-Term Projects								
Lawn Areas	Upgrade existing lawns including rototilling, adding topsoil and seeding	S.F.	150,000	\$ 2.00	\$ 300,000.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	175,000	\$ 1.00	\$ 175,000.00	■		
Benches	Replace benches with concrete base and new approved bench	Each	24	\$ 3,200.00	\$ 76,800.00	■		
Trash Receptacles	Replace with new approved trash containers	Each	12	\$ 3,100.00	\$ 37,200.00	■		
9th Avenue Walkway	8 foot concrete walkway along 9th Ave.	S.F.	5,200	\$ 10.00	\$ 52,000.00	■		
Tree Planting	Install Norway Maple 2.5 inch cal. Trees 20 feet on center adjacent to 9th Ave	Each	32	\$ 1,500.00	\$ 48,000.00	■		
Lighting	Install pedestrian scale bollard lighting along 9th Ave. at 40 feet on center	Each	34	\$ 6,000.00	\$ 204,000.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	8	\$ 5,000.00	\$ 40,000.00	■		
Neighborhood Crossings	Install pedestrian crossings and bulb outs at key streets	Each	2	\$ 15,000.00	\$ 30,000.00	■		
Long-Term Projects								
Public Restrooms	Upgrade existing public restrooms for summer use	Lump	1	\$ 200,000.00	\$ 200,000.00		■	
Veteran's Memorial	Work with Veteran's Committee to develop plan and implement upgrades to memorial	Lump	1	\$1,000,000.00	\$ 1,000,000.00			■
MLK Memorial	Work with volunteer groups to maintain integrity of MLK Memorial	Lump	1	\$ 100,000.00	\$ 100,000.00			■
Civic Space	Develop plan for central gathering area	Lump	1	\$ 500,000.00	\$ 500,000.00		■	
Total Cost Zone 3					\$ 2,788,000.00	\$ 988,000.00	\$ 700,000.00	\$ 1,100,000.00

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 4								
Short-Term Projects								
Lawn Areas	Remove ballfields and upgrade existing lawns including rototilling, adding topsoil and seeding	S.F.	350,000	\$ 2.00	\$ 700,000.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	350,000	\$ 1.00	\$ 350,000.00	■		
Benches	Replace benches with concrete base and new approved bench	Each	24	\$ 3,200.00	\$ 76,800.00	■		
Trash Receptacles	Replace with new approved trash container	Each	12	\$ 3,100.00	\$ 37,200.00	■		
9th Avenue Walkway	10-12 foot decorative concrete walkway along 9th Ave.	S.F.	15,600	\$ 10.00	\$ 156,000.00	■		
Tree Planting	Install Norway Maple 2.5 inch cal. Trees 20 feet on center adjacent to 9th Ave.	Each	120	\$ 1,500.00	\$ 180,000.00	■		
Lighting	Install pedestrian scale bollard lighting along 9th Ave. at 40 feet on center	Each	45	\$ 6,000.00	\$ 270,000.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	6	\$ 5,000.00	\$ 30,000.00	■		
Long-Term Projects								
Public Restrooms	Install public restrooms for summer use	Lump	1	\$ 400,000.00	\$ 400,000.00		■	
G Street Corridor	Develop pedestrian gateway including special pavement, public art, lighting, seating and signage	Lump	1	\$ 375,000.00	\$ 375,000.00		■	
Total Cost Zone 4					\$ 2,600,000.00	\$ 1,825,000.00	\$ 775,000.00	

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 5								
Short-Term Projects								
Lawn Areas	Upgrade existing lawns including rototilling, adding topsoil and seeding	S.F.	50,000	\$ 2.00	\$ 100,000.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	150,000	\$ 1.00	\$ 150,000.00	■		
Benches	Replace benches with concrete base and new approved bench	Each	24	\$ 3,200.00	\$ 76,800.00	■		
Trash Receptacles	Replace with new approved trash containerss	Each	12	\$ 3,100.00	\$ 37,200.00	■		
9th Avenue Walkway	Retain existing walk and upgrade planting as appropriate	Lump	1	\$ 50,000.00	\$ 50,000.00	■		
Hockey Rink	Upgrade ice hockey rink including new boards, pavement for basketball and new equipment and outdoor lighting	Lump	1	\$ 400,000.00	\$ 400,000.00	■		
Horseshoe and Sand Volley Ball Courts	Upgrade facilities	Lump	1	\$ 100,000.00	\$ 100,000.00	■		
Tennis Court	Resurface Tennis Courts to design standards	Each	9	\$ 50,000.00	\$ 450,000.00		■	■
Lighting	Install pedestrian scale bollard lighting along 9th Ave at 40' on center	Each	32	\$ 6,000.00	\$ 192,000.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	4	\$ 5,000.00	\$ 20,000.00	■		
Neighborhood Crossings	Install pedestrian crossings and bulb outs at key streets	Each	2	\$ 25,000.00	\$ 50,000.00	■		
Long-Term Projects								
Pete's Gym Upgrade	Develop improvement plan for gym and surrounding areas to increase park use	Lump	1	\$1,250,000.00	\$ 1,250,000.00			■
Free Skate Rink & Plaza Water Park	Upgrade grass skating area with pavement for summer activities including water park for youth, seating and outdoor café	Lump	1	\$ 500,000.00	\$ 500,000.00		■	
Total Cost Zone 5					\$ 3,401,000.00	\$ 1,201,000.00	\$ 590,000.00	\$ 1,610,000.00

Item	Description	Unit	Quantity	Unit Cost	Total Cost	Basic Park Amenity/Facility Upgrades	Additional Park Ammenities or Facilities	Upgrades that will require additional non-park funding
Zone 6								
Short-Term Projects								
Lawn Areas	Upgrade turf areas including rototilling, adding topsoil and seeding	S.F.	175,000	\$ 2.50	\$ 437,500.00	■		
Automatic Irrigation	Install irrigation including back flow preventer, pipe and sprinkler heads for lawn and plants	S.F.	175,000	\$ 1.50	\$ 262,500.00	■		
Softball Field	Upgrade two fields with new outfield fencing, backstops, infield mix and other amenitites	Lump	1	\$ 100,000.00	\$ 100,000.00			
Trash Receptacles	Replace with new approved trash containers	Each	8	\$ 3,100.00	\$ 24,800.00	■		
9th Avenue Walkway	8 foot concrete walkway along 9th Ave.	S.F.	5,200	\$ 10.00	\$ 52,000.00	■		
Tree Planting	Install Norway Maple 2.5 inch cal. Trees 20 feet on center adjacent to 9th Ave.	Each	32	\$ 1,500.00	\$ 48,000.00	■		
Lighting	Install pedestrian scale bollard lighting along 9th Ave. at 40 feet on center	Each	24	\$ 6.00	\$ 144.00	■		
Electrical Power	Provide lighting for winter tree lights and outdoor use	Lump	1	\$ 25,000.00	\$ 25,000.00	■		
Wayfinding Signs	Install signage at 9th and 10th Ave. side of walkways through park	Each	4	\$ 5,000.00	\$ 20,000.00	■		
Neighborhood Crossings	Install pedestrian crossings and bulb outs at key streets	Each	2	\$ 25,000.00	\$ 50,000.00	■		
Long-Term Projects								
Public Restrooms	Upgade existing public restrooms for summer use	Lump	1	\$ 200,000.00	\$ 200,000.00		■	
Picnic Area	Develop shelter and picnic area serving ball fields	Lump	1	\$ 250,000.00	\$ 250,000.00		■	
Underpass at A Street	Develop new underpass for connection to Denali Elementary School	Lump	1	\$1,250,000.00	\$ 1,250,000.00			■
Total Cost Zone 6					\$ 2,719,944.00	\$ 1,019,944.00	\$ 450,000.00	\$ 1,250,000.00
Total All Zones								
					\$ 16,204,144.00	\$ 6,829,144.00	\$ 3,365,000.00	\$ 6,010,000.00



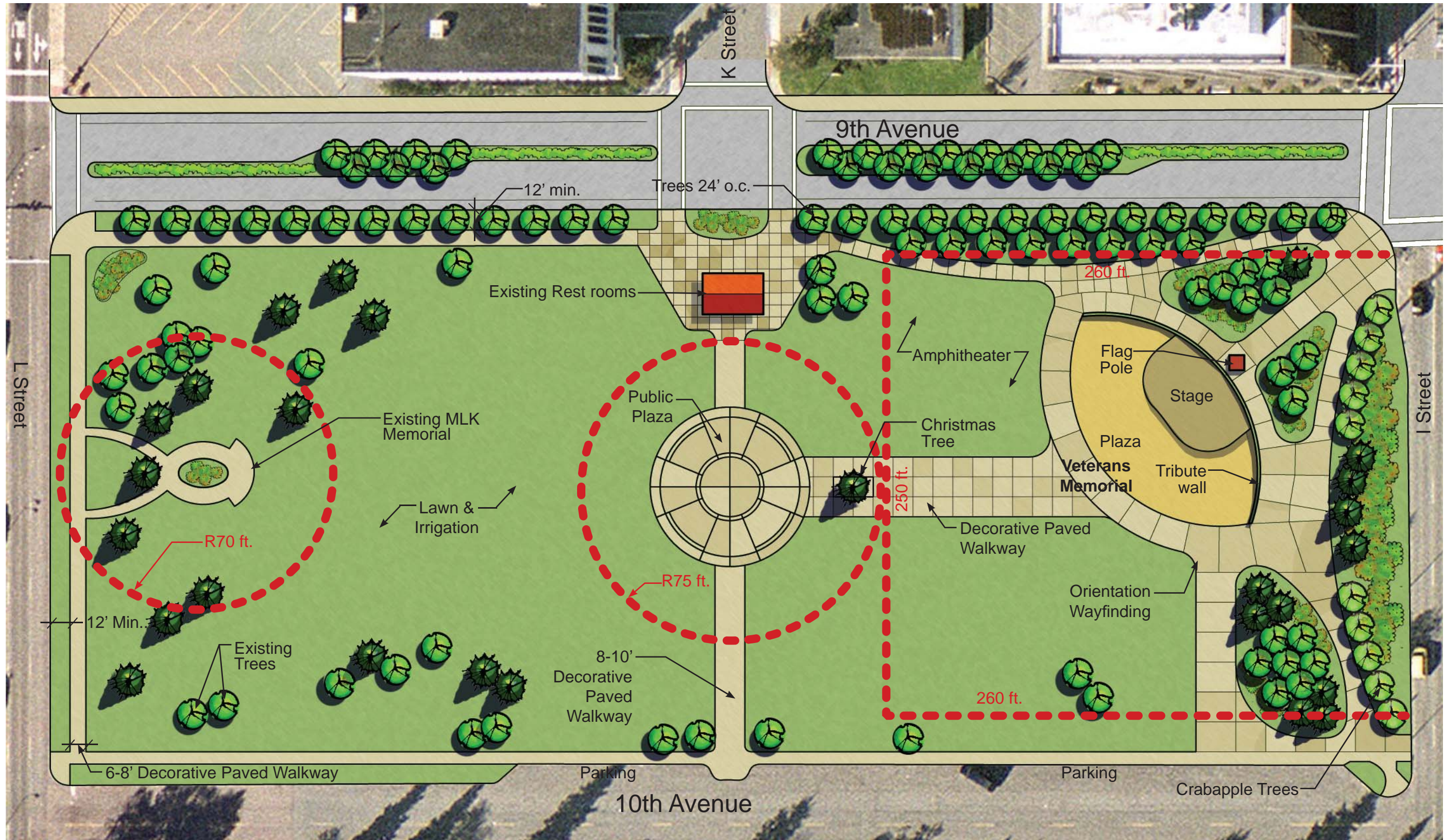
Delaney Park Master Plan: Zone 1, Preferred Alternate





Delaney Park Master Plan: Zone 2, Preferred Alternate





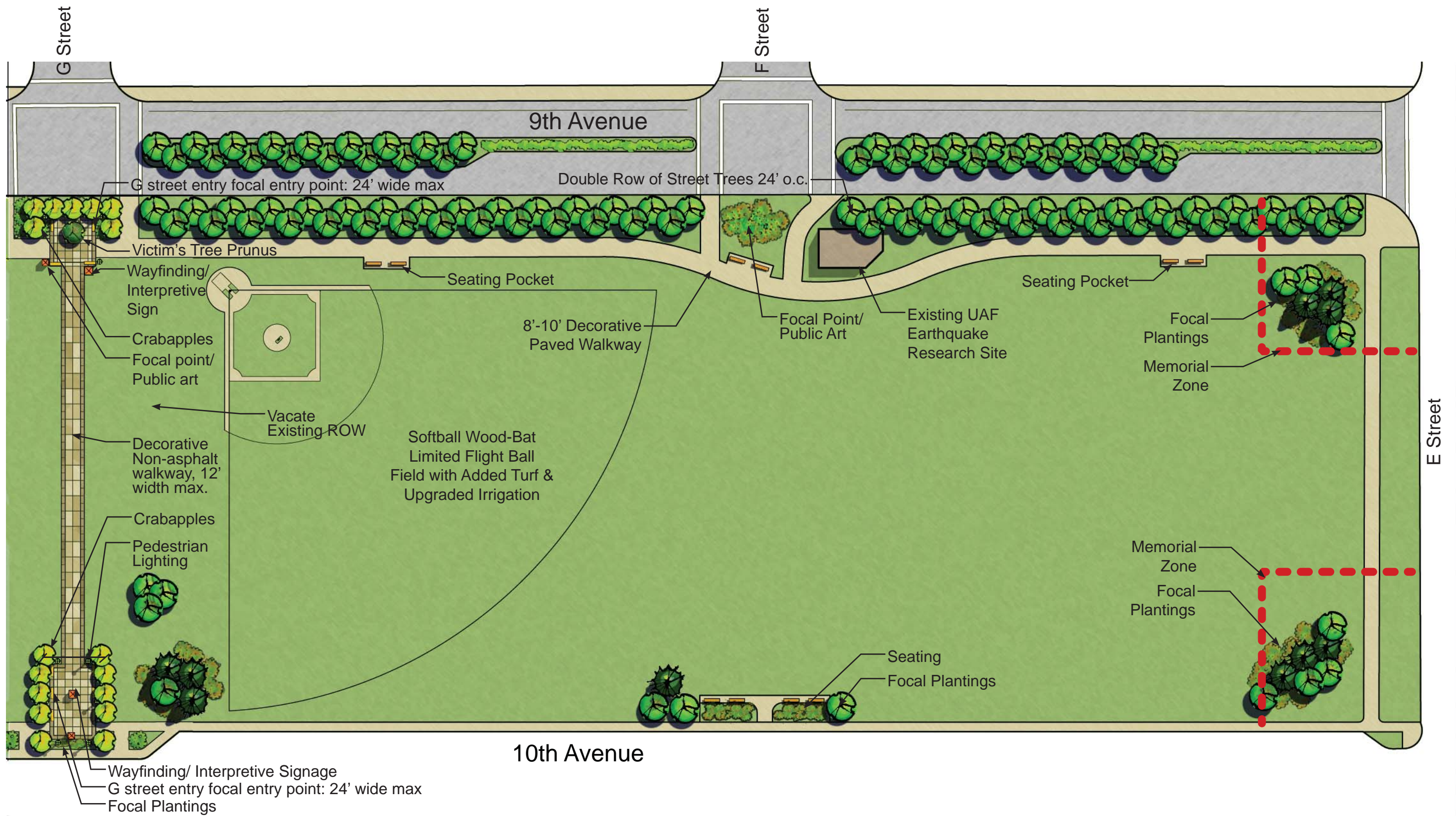
Veterans Memorial Note: This concept reflects a draft alternative for the Veterans Memorial Redevelopment. The final design will be provided through Veterans Memorial Design Task Force that was appointed by the Mayor on June 15th, 2007. The task force will direct the use of the 2007 bond funds and will define the guidelines for any future changes to the memorial that will be paid for with private funds





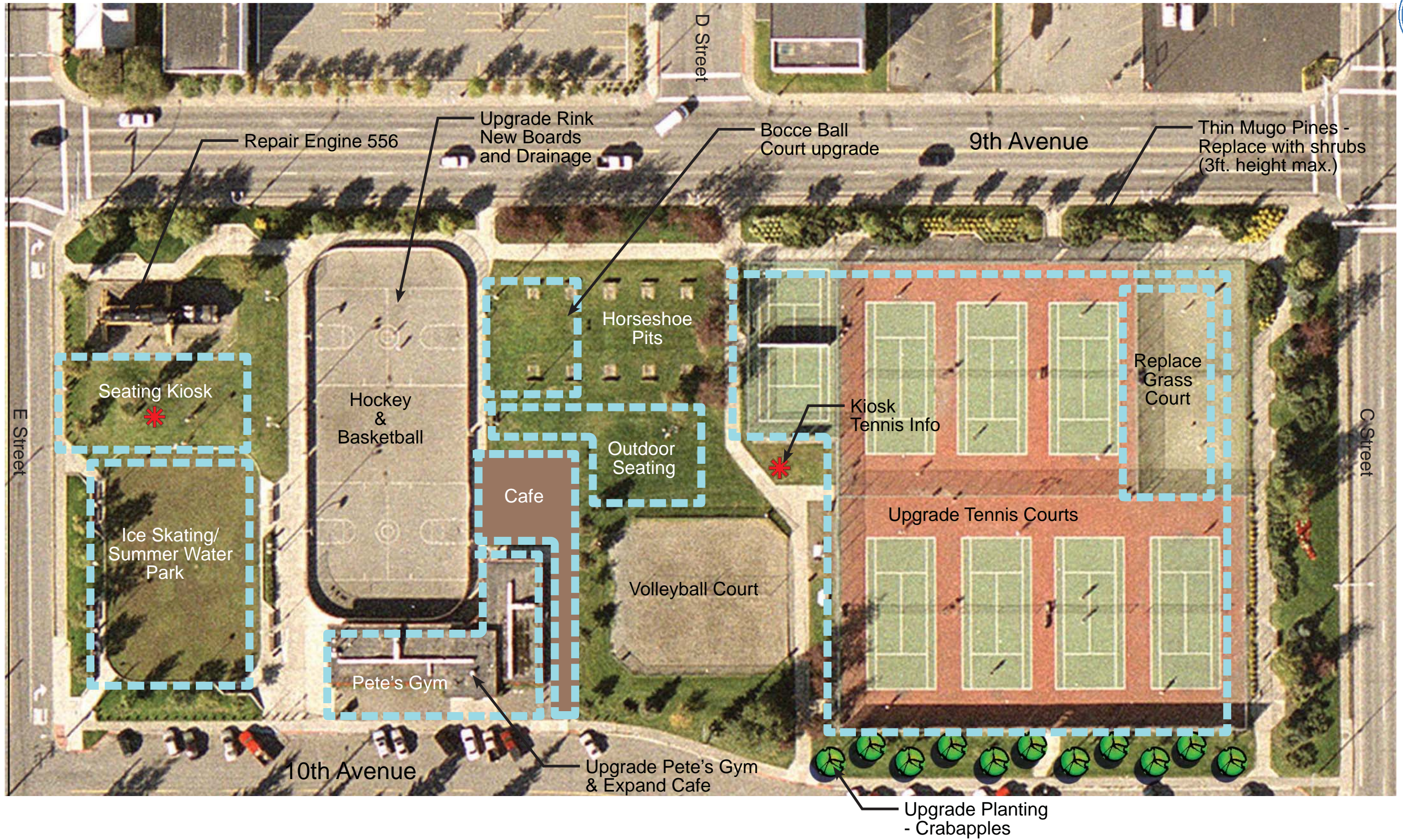
Delaney Park Master Plan: Zone 4 (West), Preferred Alternate





Delaney Park Master Plan: Zone 4 (East), Preferred Alternate





Delaney Park Master Plan: Zone 5, Preferred Alternate



